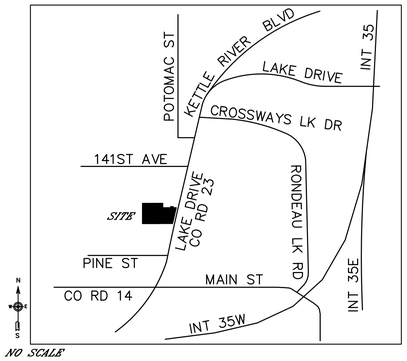
WALDOCH ADDITION

COLUMBUS, MN



NO SCALE

VICINITY MAP

SHEET INDEX

1 – TITLE SHEET
2 – SITE, GRADING, AND EROSION CONTROL
3 – ENLARGED GRADING AND EROSION CONTROL
4 – RIGHT TURN AND BYPASS LANE PLAN
5 – TYPICAL SECTION AND DETAILS
6–7 – STORMWATER POLLUTION PREVENTION PLAN

DEVELOPER:
DON AND JOHN WALDOCH
1384 LAKE DRIVE
COLUMBUS, MN 55025
(612) 810–9292

ENGINEER:
KRYSTLE BLOCH, P.E. (MN 49893)
BLOCH ENGINEERING, PLLC
32210 XEON ST NW
CAMBRIDGE MN 55008
(507) 995–2981

SURVEYOR:
TOM HODORFF
HARRY S. JOHNSON CO., INC
9063 LYNDALE AVENUE SOUTH
BLOOMINGTON, MN 55420
(952) 884–5341

BULK REGULATIONS:

BUILDING SETBACKS:
FRONT = 75 FEET
SIDE = 10 FEET
REAR = 35 FEET

ZONING:
THE PROPERTY IS ZONED FOR THE FOLLOWING:
COMMERCIAL/INDUSTRIAL – C/I

GOVERNING STANDARDS: COUNTY OF ANOKA STANDARDS, CITY OF COLUMBUS STANDARD CONTRACT DOCUMENTS AND TECHNICAL SPECIFICATIONS FOR UTILITY AND STREET CONSTRUCTION, 2018 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" , LATEST VERSION OF THE "MINNESOTA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MMUTCD)

UTILITIES:

GOPHER STATE ONE CALL
(651) 454–0002
gopherstateonecall.org

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 3-2, ENTITLED "STANDARD GUILDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. GSOC INFORMATION ABOVE.

REVISIONS

NO.	DATE	BY	DESCRIPTION

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PRELIMINARY

KRYSTLE L. BLOCH — 49893
10–15–2021
DATE — LIC. NO.

WALDOCH ADDITION
13824 & 13834 LAKE DRIVE
COLUMBUS, MN

OWNER / DEVELOPER:
WALDOCH PROPERTIES

BLOCH ENGINEERING

BLOCH ENGINEERING, PLLC
blochengineering.com
32210 XEON ST NW
CAMBRIDGE, MN 55008
krystle@blochengineering.com

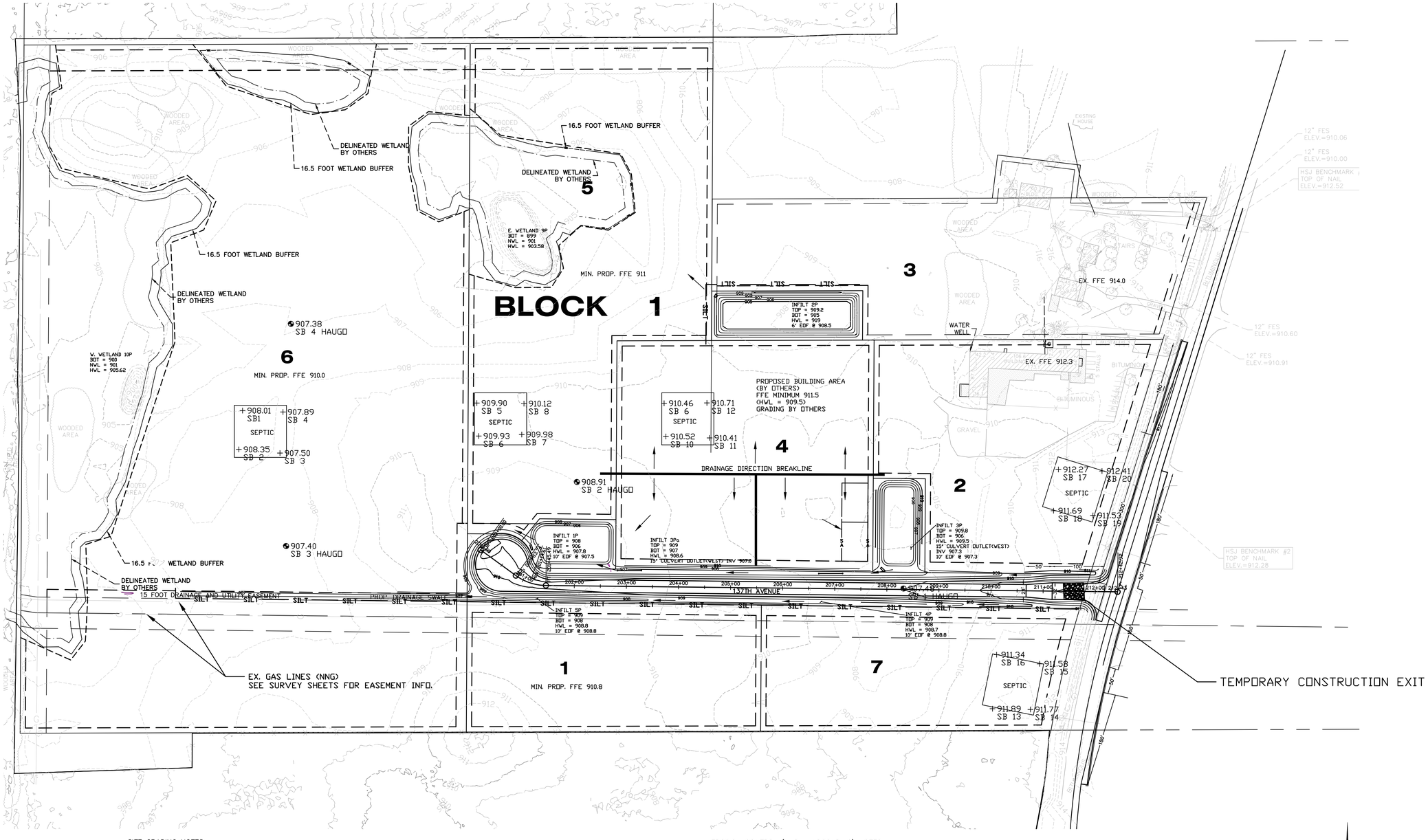
DRAWN BY: KLB	
CHECKED BY: KLB	
DESIGNED BY: KLB	
JOB NO. 21–23	
DATE: 10–15–21	
SHEET 1	SHEETS 7

SITE, GRADING AND EROSION CONTROL

WALDOCH ADDITION IN COLUMBUS, MN

LEGEND

- . . . . FIRE HYDRANT
- . . . . WATER VALVE
- . . . . MANHOLE
- . . . . CATCH BASIN
- . . . . POWERPOLE
- . . . . LIGHT POLE
- . . . . GUY
- . . . . TRANSFORMER
- . . . . ELECTRIC METER
- . . . . TV PEDESTAL
- . . . . TELEPHONE PEDESTAL
- . . . . AIR CONDITIONER
- . . . . HAND HOLE
- . . . . SEMAPHORE
- . . . . GAS METER
- S . . . . SANITARY SEWER
- ST . . . . STORM SEWER
- W . . . . WATERMAIN
- G . . . . UNDERGROUND GAS MAIN
- T . . . . UNDERGROUND TELEPHONE
- E . . . . UNDERGROUND ELECTRIC
- TV . . . . UNDERGROUND CABLE T.V.
- OU . . . . OVERHEAD UTILITY LINES
- . . . . IRON MONUMENT FOUND
- . . . . IRON PIPE MONUMENT SET
- 901.38 . . . . EXISTING SPOT ELEVATION
- . . . . SOIL BORING
- . . . . SIGN
- . . . . DECIDUOUS TREE
- . . . . CONIFEROUS TREE
- . . . . DENOTES TREE AND BRUSH LIMITS
- . . . . DENOTES PROPOSED DRAINAGE ARROW
- (944.00). . . . DENOTES PROPOSED ELEVATION
- CS. . . . CURB STOP
- CO . . . . CLEAN OUT
- . . . . BUSH
- BG. . . . BARBECUE GRILL
- . . . . AUTO SPRINKLER
- . . . . BASKETBALL HOOP
- . . . BENCH
- . . . . WATER SPIGOT
- . . . TRENCH DRAIN
- MW . . MONITORING WELL
- . . . . STORM DISIPATER
- . . . SATELITE DISH
- . . . . TELEPHONE
- . . . . ELECTRIC PEDESTAL
- . . . FLAG POLE
- . . . . GROUND LITE
- . . . . MAILBOX
- . . . . ROOF DRAIN
- . . . TRANSMISSION TOWER
- . . . . VENT PIPE
- . . . . WELL
- . . . PROPOSED DRAINAGE ARROW
- 944.00. . . PROPOSED ELEVATION
- SILT . . . SILT FENCE



SITE GRADING NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE FIELD LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT (651) 454–0002.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
4. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS, IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT TO THE OWNER FOR REVIEW.
7. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
8. ALL DISTURBED AREAS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE HYDROSEEDED
9. MINIMIZE COMPACTION IN INFILTRATION AREA.

EROSION CONTROL (AND LANDSCAPING) NOTES:

1. ALL DISTURBED AREAS TO BE SEEDED AND MULCHED, EXCEPT AS NOTED IN NUMBER 8 BELOW..
2. MULCH TYPE 1 (DISK ANCHORED) IN DISTURBED AREAS OTHER THAN SOD AND INFILTRATION AREA.
3. SEED MNDOT TYPE 35–221, AT A RATE OF 36.5 LB/AC
4. SEED MNDOT TYPE 33–261, AT A RATE OF 35 LB/AC. USE ON POND BOTTOM AND UP SIDE SLOPES, WHERE IT WILL TRANSITION TO THE 35–221 MIX.
5. ALL SLOPES STEEPER THAN 4:1, SHALL BE RESTORED WITH SEED AND PROTECTED WITH EROSION CONTROL BLANKET PER MnDOT SPEC. 3885.1
6. USE BIODEGRADABLE EROSION CONTROL BLANKET ON POND SLOPES. MULCH ON POND BOTTOM.
7. MINIMIZE SOIL COMPACTION IN SWALES AND POND.
8. ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY SHALL BE SODDED.
9. AFTER SEEDING, PLACE POST–CONSTRUCTION SILT FENCE AROUND INFILTRATION BASINS AFTER GRADING HAS COMMENCED FOR THIS PROJECT TO PROVIDE PROTECTION FOR FUTURE GRADING/SITE WORK.
10. EOF ON INFILTRATION PONDS MUST BE PERMANENTLY STABILIZED WITH TURF REINFORCEMENT MAT OR GEOGRID.

N

50 0 100 200

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blochengineering.com

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CAMBRIDGE, MN 55008

krystle@blochengineering.com

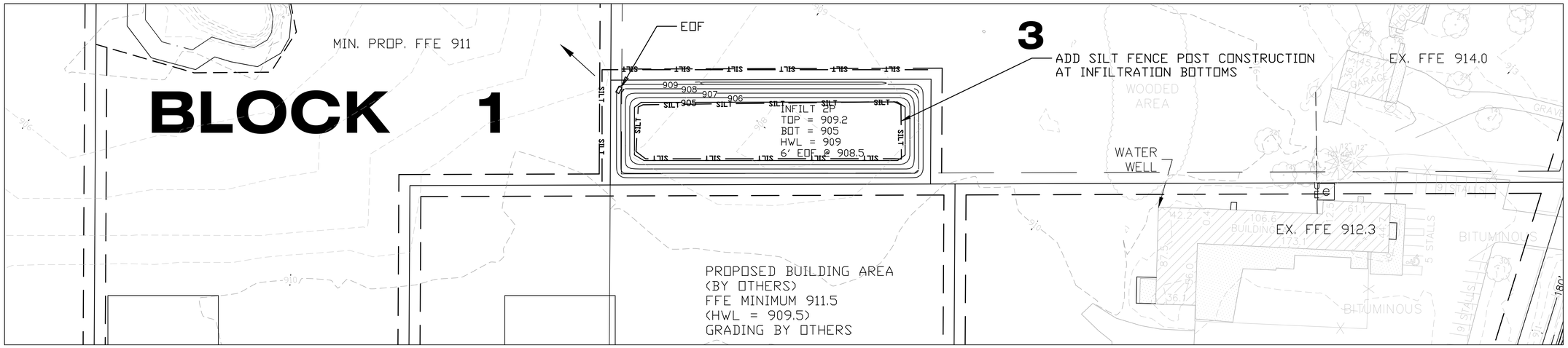
DRAWN BY:	KLB
CHECKED BY:	KLB
DESIGNED BY:	KLB
JOB NO.	21–23
DATE:	10–15–21

SHEET	SHEETS
2	7

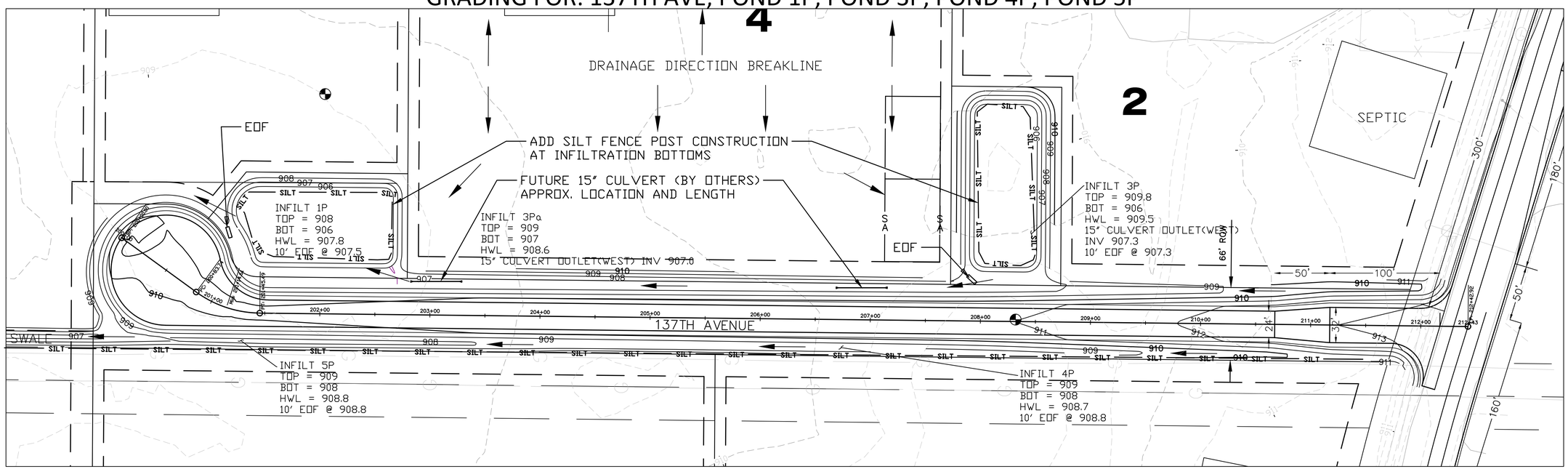
ENLARGED GRADING AND EROSION CONTROL

WALDOCH ADDITION IN COLUMBUS, MN

GRADING FOR: NORTH POND (3P)



GRADING FOR: 137TH AVE, POND 1P, POND 3P, POND 4P, POND 5P



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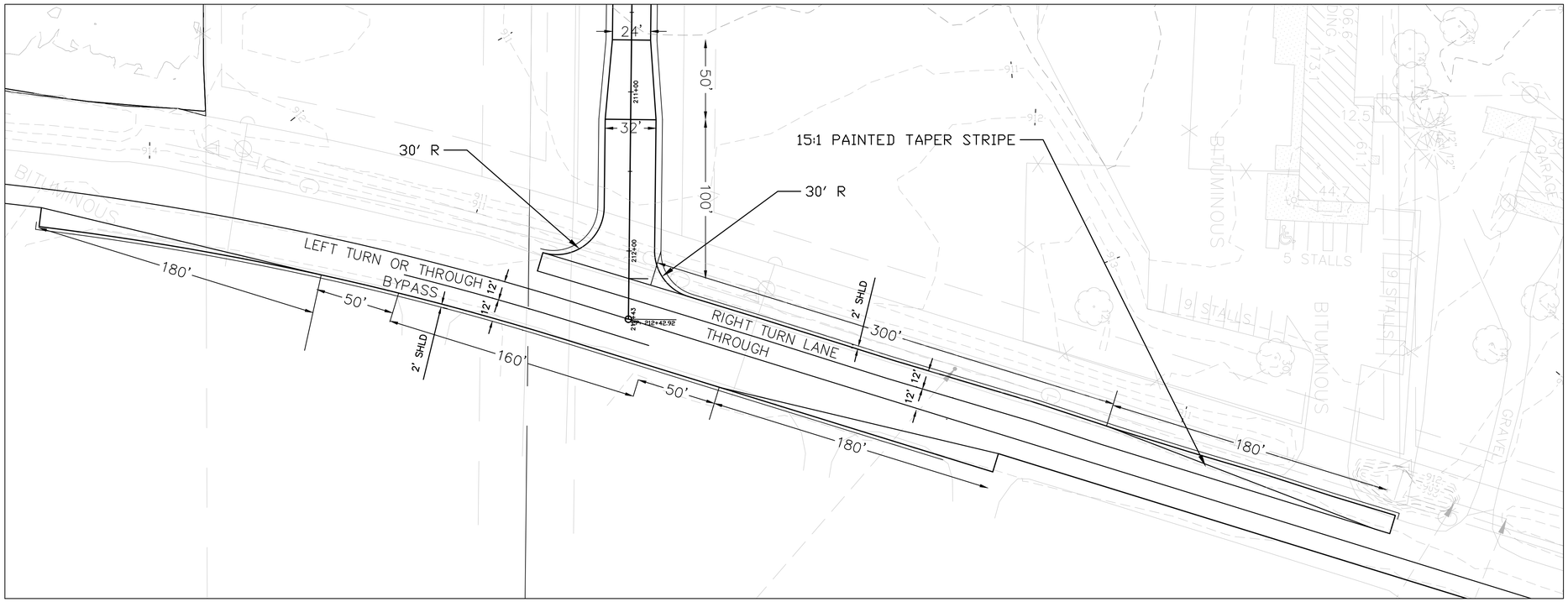
SHEET 3	SHEETS 7

RIGHT TURN AND BYPASS LANES

WALDOCH ADDITION IN COLUMBUS, MN



NOTES:

1. SEE SHEET 6 FOR COUNTY STANDARD DETAILS

N

10 0 20 40

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SHEET 4 | SHEETS 7

TYPICAL SECTION AND DETAILS

WALDOCH ADDITION IN COLUMBUS, MN

TYPICAL SECTION NOTES:

Transition from 24' to 32' pavement: 210+67.38 to 211+17.38

Right Ditch Section:

200+00 –207+30 : 1:4 inslope down 2'(over 8') from shldr, 3'wide bottom 1:3 backslope

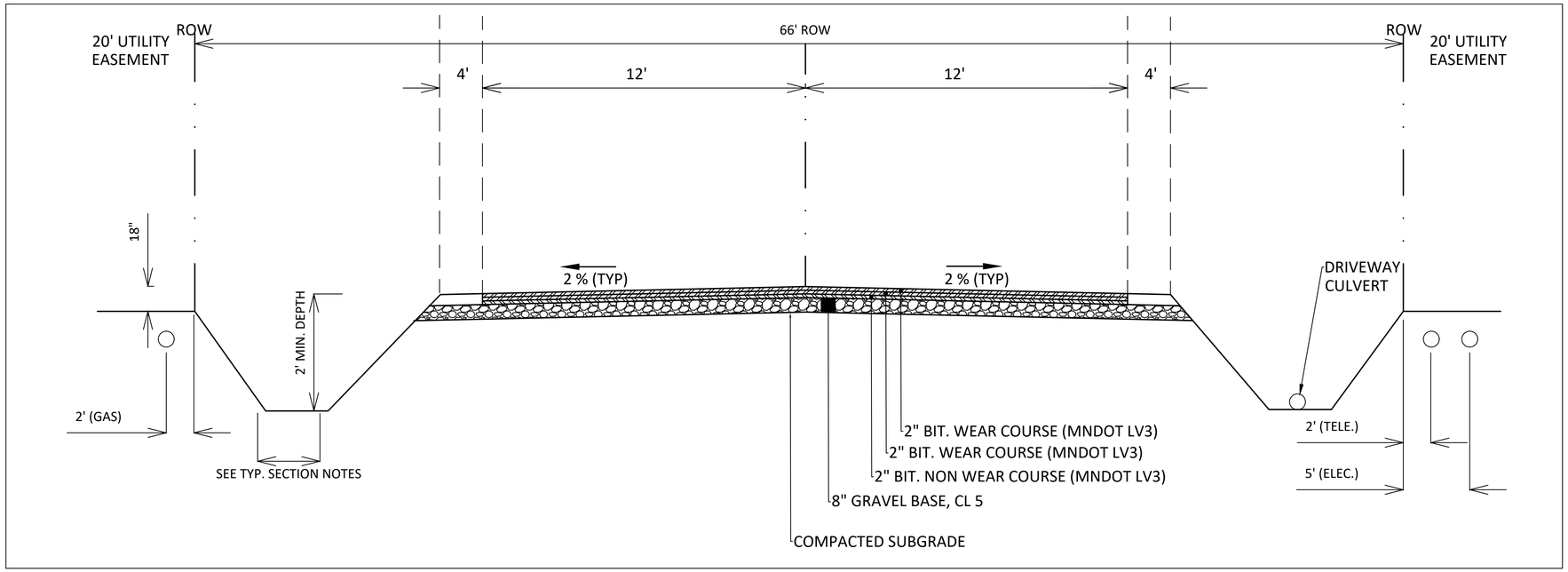
207+30 to 209+20: 1:4 inslope daylight to existing

209+20 to 210+60: 1:4 inslope down 2.5'(over 10') from shldr, 3'wide bottom 1:3 backslope

211+17.38 to 212+10: 1:4 inslope down 2.125'(over 8.5') from shldr, 3'wide bottom 1:3 backslope

Left Ditch Section:

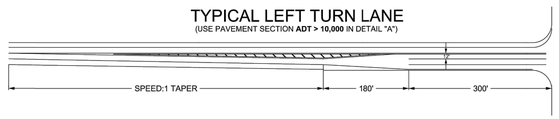
200+00–212+10: 1:4 inslope down 3'(over 12') from shldr, 6'wide bottom 1:3 backslope



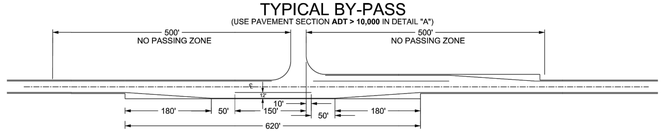
ANOKA COUNTY STANDARD DETAILS

ANOKA COUNTY HIGHWAY DEPARTMENT

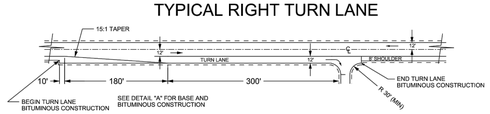
TYPICAL LEFT TURN LANE
(USE PAVEMENT SECTION **ADT > 10,000** IN DETAIL "A")



TYPICAL BY-PASS
(USE PAVEMENT SECTION **ADT > 10,000** IN DETAIL "A")



TYPICAL RIGHT TURN LANE



ALL DISTURBED SOIL MUST BE SEEDED, MULCHED, AND DISK ANCHORED IN ACCORDANCE WITH MN/DOT STANDARD SPECIFICATIONS. RAPID-DEGRADABLE STRAW BLANKET SHALL BE USED IN AREAS OF HIGH EROSION.

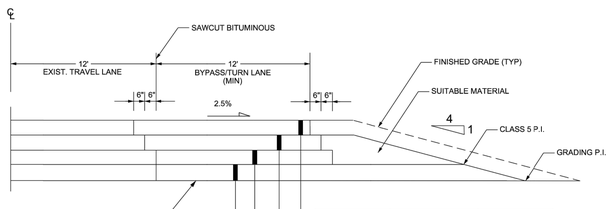
NOT TO SCALE

Turn/Bypass Lane Addition
On Existing Highway

EXHIBIT 1
January 2020

FILE NAME: DON

ANOKA COUNTY HIGHWAY DEPARTMENT



ADT <= 5,000	5,000 < ADT <= 10,000	ADT > 10,000
2.0" SPWEB340C	1.5" SPWEB340E	2.0" SPWEB340F
2.0" SPWEB340C	1.5" SPWEB340E	2.0" SPWEB340F
N/A	2.0" SPNW330B	2.0" SPNW330B
6.0" CLASS 5	6.0" CLASS 5	6.0" CLASS 5

MIX DESIGN
(2360 SPEC)

ALL DISTURBED SOIL MUST BE SEEDED, MULCHED, AND DISK ANCHORED IN ACCORDANCE WITH MN/DOT STANDARD SPECIFICATIONS. RAPID-DEGRADABLE STRAW BLANKET SHALL BE USED IN AREAS OF HIGH EROSION.

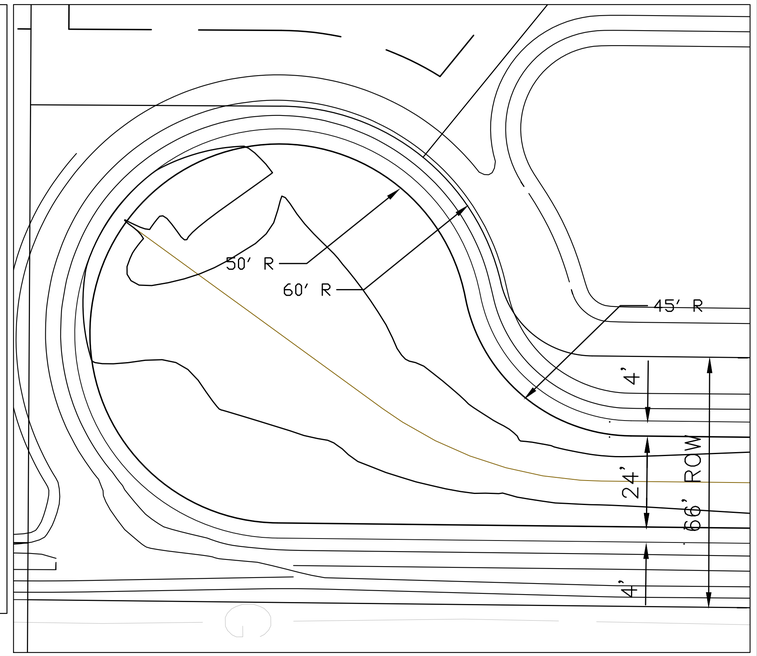
NOT TO SCALE

Base and Bituminous Construction Detail

DETAIL A
September 2019

FILE NAME: DON

CUL-DE-SAC DETAIL



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PRELIMINARY

KRYSTLE L. BLOCH — 49893
10–15–2021 — LIC. NO.
DATE

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SHEET 5 of SHEETS 7

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

PROJECT DESCRIPTION:

This proposed site plan consists of the new construction of a new roadway into a proposed commercial/industrial development. This will include regrading and paving. The total area of construction and grading will be approximately 3.8 acres.

All of the proposed newly graded site will flow to the proposed infiltration areas on the property.

SWPPP IMPLEMENTATION

The Contractor is responsible for implementation of the SWPPP and the installation, inspection, and maintenance of the erosion prevention and sediment control BMPs before and during construction. The Contractor will have an Erosion Control Supervisor who is responsible for coordinating the erosion prevention and sediment control BMPs.
Waldochs are responsible for long term operation and maintenance of the permanent storm water management system.

PROJECT CONTACT IMPLEMENTATION/MAINTENANCE:

Erosion and Sediment Control, BMP Inspection Performed By:
xxx (TBD)
xxx Contracting, LLC
xxx, MN xxxxx

Long Term Pond Maintenance Provided By:
John and Don Waldoch

TIMING OF BMP INSTALLATION

The erosion prevention and sediment control BMPs shall be installed as necessary to minimize erosion from disturbed surfaces and capture sediment on site.

1. Erosion and sediment control BMPs must be installed prior to the start of construction.
2. Where applicable, disturbed areas will immediately be temporarily stabilized prior to permanent turf establishment whenever construction ceases for 7 days, with special consideration of areas within 200 feet continuous positive slope of a surface water.
3. Temporary or permanent energy dissipation shall be placed at pipe outlets within 24 hours after connection to a surface water.
4. Temporary stabilization of stockpiles must be initiated immediately to limit soil erosion whenever any construction activity has permanently ceased on any portion of the site and will not resume for a period exceeding 7 calendar days.
5. Planned slopes of 1:3 (V:H) or steeper and greater than 75 ft. in length will be temporarily or permanently stabilized in increments not to exceed 75 ft., prior to constructing or disturbing a new increment.
6. BMPs must remain in place until final stabilization is achieved and permit NOT has been submitted to the MPCA.
7. The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water.
8. Developer/Contractor is responsible for removal of silt fence upon turf establishment.
9. Seeding of site shall be completed within two weeks of grading completion.

CALCULATIONS:

Total Area of Grading = Roadway and Ponds = 3.8 Acres (Does NOT include Lot 4, 5 acres, as this is a separate project)
Total Existing Impervious = 78,632 Square Feet (DOES include Lot 4 for drainage calculations)
Total New Impervious = 230,268 Square Feet (DOES include Lot 4 for drainage calculations)

WATER QUALITY VOLUME (TOTAL)= (1.1")(1'/12")(230,268 SF) = 21,108 CF
WQ VOLUME (LOT 4 ONLY) = 180,862 SF (LOT 4 SITE DESIGN BY OTHERS)
= (1.1")(1'/12")(180,862 SF) = 16,579 CF
WQ VOLUME (ROAD AND PONDS) = 5,429 CF

SOIL TYPES:

Majority A Soils (soil borings)

CONSTRUCTION SEQUENCE:

Construction to begin fall 2021. Silt fence around where specified and Rock entrances to be installed before any of the following scheduled events take place. Existing structures shall also be protected from sediment from the start of construction.

1. Grading
2. Road prep and construction
3. Infiltration pond final grading

Construction completion expected Summer 2022. All temporary erosion control measures will be removed and disposed of according to MPCA requirements. Final stabilization will be established.

If construction is not completed before winter, stockpiles and any slopes must be stabilized with appropriate BMPs (mulch, seed, erosion control blanket) as applicable to avoid erosion in the following spring season.

See NPDES CWS Permit Part 11 for inspection frequency adjustments throughout the course of scheduled construction.

IMPAIRED AND SPECIAL WATERS

There are no special or impaired waters within 1 mile of this site.

KARST AREA PROTECTION:

There is no active Karst in this site.

CALCAREOUS FENS:

No calcareous Fen sites exist on this project.

MITIGATION DUE TO REVIEWS:

There are no stormwater mitigation measures proposed as part of environmental, endangered species, archaeological or other required local, state or federal reviews conducted for the project.

EROSION CONTROL QUANTITIES:

EROSION CONTROL QUANTITIES		
	UNIT	QUANTITY
SILT FENCE	LF	1800
TEMP. CONSTRUCTION EXIT	EACH	1
POST CONST. SILT FENCE	LF	1455

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JOB NO. 21-23
DATE: 10-15-21

SHEET 6 | SHEETS 7

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

CONSTRUCTION NOTES:

Construction shall be in accordance with the MPCA NPDES General Stormwater Permit for construction activity, plans, Mn/DOT Spec. Book, Standard Specifications for Construction and the special provisions.
The Contractor shall maintain a stockpile of erosion control devices at all times for immediate usage.
The Contractor shall keep the inspection and maintenance log.
See permit Part 20 for SWPPP record retention requirements. SWPPP must be kept on site during construction by permittee who has operational control of that portion of the site.
In the event of accidental sediment or pollutant discharge, the City, MPCA local contact and/or State Duty Officer shall be notified. The MPCA State Duty Officer can be reached at (800) 422-0798.

TRAINING REQUIREMENTS:

1. The Permittee(s) shall ensure the individuals identified in this part have been trained in accordance with the NPDES CSW Permit's training requirements. The Permittee(s) shall ensure the training is recorded in or with the SWPPP before the start of construction or as soon as the personnel for the project have been determined.

   a. Who must be trained:
      i. Individual(s) preparing the SWPPP for the project.
      ii. Individual(s) overseeing implementation of, revising, and amending the SWPPP and individual(s) performing inspections. One of these individual(s) must be available for an on site inspection within 72 hours upon request by the MPCA.
      iii. Individual(s) performing or supervising the installation, maintenance, and repair of BMPs. At least one individual on a project must be trained in these job duties.
   b. Training content. The content and extent of training must be commensurate with the individual's job duties and responsibilities with regard to activities covered under this permit for the project. At least one individual present on the permitted project site (or available to the project site in 72 hours) must be trained in the job duties described in Permit Part 20.
   c. Training documentation:
      i. Documentation must be recorded with the SWPPP prior to the start of construction.
      ii. Names of the personnel associated with this project that are required to be trained per Part III.F of this permit.
      iii. Dates of training and name of instructor(s) and entity providing training.
      iv. Content of training course or workshop (including number of hours of training).
   d. The Permittee(s) shall ensure that the individuals are trained by local, state, federal agencies, professional organizations, or other entities with expertise in erosion prevention, sediment control or permanent stormwater management such as the University of Minnesota, Minnesota Erosion Control Association, Soil and Water Conservation Districts or the MPCA.

EROSION PREVENTION MEASURES:

1. Temporary or permanent stabilization of exposed soils, including stockpiles, shall be initiated immediately to limit soil erosion whenever any construction activity has temporarily or permanently ceased on that portion of the site and will not resume for a period exceeding 7 calendar days. (Permit Part 8.4 and 23.9).
2. The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water for any portion of the construction site, within 200 lineal feet, must be completed within 24 hours after connecting to a surface water or property edge. Mulch, hydromulch, tackifier, polyacrylamide, or similar practice is not acceptable stabilization in any part of a drainage ditch or swale with continuous slop greater than 2%. (Permit Part 8.6-8.8).
3. Use check dams along length of conveyance channels. (Permit Part 8.7).
4. Temporary or permanent energy dissipation devices must be installed at pipe outlets within 24 hours after connection to a surface water.
5. Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system.

SEDIMENT CONTROL MEASURES:

1. In order to maintain sheet flow and minimize rills and/or gullies, there shall be no unbroken slope length of greater than 75 feet for slopes with a grade of 1:3 or steeper.
2. Sediment control practices must be established on all down gradient perimeters and upgradient of any buffer zones. These practices shall remiain in place until final stabilization has been achieved and the Permit NOT form has been submitted to the MPCA.
3. Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
4. Vehicle tracking of sediment from the construction site (or onto streets within the site) must be minimized by Best Management Practices (BMPs) such as stone pads, concrete or steel wash racks, or equivalent systems. Tracked sediment onto paved surfaces must be removed daily, at minimum.
5. Per Part 9.3, if down gradient sediment controls are overloaded, additional upgradient sediment control practices or redundant BMPs to eliminate overloading must be installed, and the SWPPP must be amended.
6. See permit 9.6 and Part 11 for instructions on re-installation of sediment control practices after they've been adjusted.
7. See permit Part 9.7 and 9.8 for instructions on the removal of storm drain inlet protection BMPs.
8. Direct discharges from BMPs to vegetated areas, unless infeasible.

DEWATERING AND BASIN DRAINING:

1. If dewatering is required on the site, there must be a plan in place to prevent nuisance conditions, erosion and inundation of wetlands.
2. If using filters with backwash water, backwash water must be hauled away for disposal, returned to the beginning of the treatment process, or incorporated into the site in a manner that does not erode into runoff.

THE DESCRIPTION OF INSPECTIONS AND MAINTENANCE:

1. The Permittee(s) (either the owner or operator, whoever is identified in the SWPPP) must routinely inspect the entire construction site at least once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.

INSPECTION AND MAINTENANCE REQUIREMENTS MUST INCLUDE:

- Date and time of inspections. All inspections and maintenance conducted during construction shall be recorded within 24 hours in writing and these records must be retained in the SWPPP
- Name of person(s) conducting inspections.
- Findings of inspections, including specific locations where there are recommendations for corrective actions.
- Corrective actions taken (including dates, times, and party completing maintenance activities).
- Date and amount of all rainfall events greater than 1/2 inch (0.5 inches) in 24 hours. Rainfall amounts must be obtained by a properly maintained rain gauge onsite, a weather station within 1 mile of the project location, or a weather reporting system that provides site specific rainfall data from radar summaries.
- See permit Part 6.1-6.4 for amendments to SWPPP.
- Construction site vehicle exit locations must be inspected for evidence of off-site sediment tracking onto paved surfaces. Tracked sediment must be removed from all paved surfaces within 24 hours of discovery (NPDES CSW Permit Part 9.12).
- Infiltration and Bioretention facility must be inspected for sedimentation.
- Discharges discovered during inspections shall be documented per NPDES CSW Permit part 11.11.f

MAINTENANCE PERFORMANCE:

1. All nonfunctional BMPs must be repaired, replaced, or supplemented with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow access unless another time frame is specified that is not less restrictive than permit requirements. See permit Part 11.4 for specific requirements.
2. Perimeter control devices must be repaired, replaced, or supplemented when nonfunctional or sediment reaches on-half the height of the device.
3. Temporary and permanent sediment basins must be drained and sediment removed when the depth of sediment collected reaches on-half storage volume
4. All sediment deposits and deltas must be removed from surface waters (including drainage ways, catch basins, and other drainage systems) and the removal areas restabilized within 7 days.
5. Permanent stormwater treatment BMPs must be inspected and maintained per NPDES CSW Permit 11.3

POLLUTION PREVENTION MANAGEMENT:

1. Solid Waste: Sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be properly collected, stored, and disposed of in accordance with Minn. R.ch.7035. This includes any materials used for erosion control.
2. Hazardous and Toxic Materials: Includes, but is not limited to: Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in accordance with Minn.R.Ch.7045
3. External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of.
4. No engine degreasing is allowed on site.
5. Concrete washout onsite: All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
6. Building products that have the potential to leach pollutants must be under cover. (NPDES CSW Permit Part 12.2)
7. Pesticides, herbicides, insecticides, fertilizers, treatment chemicals, and landscaped materials must be under cover. (NPDES Permit Part 12.3).
8. Portable toilets must be positioned so that they are secure and will no be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn.R.ch.7041. (NPDES CSW Permit Part 12.6)
9. Spill Prevention and Response Requirements: Adequate supplies must be available at all times to clean up discharged materials and an appropriate method must be available for recovered spilled materials. Spills must be reported and cleaned up immediately as required by Minn. Stat. 115.061 using dry cleanup measures where possible.

FINAL STABILIZATION:

1. Permanent stabilization of exposed soils, including stockpiles, shall be initiated immediately to limit soil erosion whenever any construction activity has permanently ceased on any portion of the site and will not resume for a period exceeding 7 calendar days.
2. The permanent stormwater treatment system must be constructed, meet all requirements, and operating as designed.
3. All sediment must be removed from permanent stormwater management system and conveyance systems.
4. All temporary synthetic erosion prevention and and sediment control BMPs must be removed.
5. See Landscape sheets for turf establishment.
6. Final stabilization is achieved by a uniform perennial vegetative cover with a density of 70% of expected growth over the entire pervious area.

DISCHARGE TO WETLANDS:

2. If there is a wetland impact caused by filling, draining, excavation or inundation, how has that impact been addressed by permits or other approvals from an official statewide program (U.S. Army Corps of Engineers 404 program, Minnesota Department of Natural Resources, or the State of Minnesota Wetland Conservation Act)? If the impact is considered exempted or non jurisdictional by theses programs, how is the impact in conformance with the sequence mitigation requirements of MPCA water quality standards in MN Rule 7050.0186 <https://www.revisor.leg.state.mn.us/rules/?id=7050.0186>

MISCELLANEOUS:

1. Conventional erosion and sediment control to be used. If neccessary to use chemical treatment, permittee must follow guidelines as stated in NPDES Permit Part 9.18
2. No Site assessment for groundwater or soil contamination required.

REVISIONS			
NO.	DATE	BY	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY

KRYSTLE L. BLOCH — 49893
10–15–2021 — DATE — LIC. NO.

WALDOCH ADDITION
13824 & 13834 LAKE DRIVE
COLUMBUS, MN

OWNER / DEVELOPER:
WALDOCH PROPERTIES

BLOCH ENGINEERING

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DRAWN BY: KLB	
CHECKED BY: KLB	
DESIGNED BY: KLB	
JOB NO. 21–23	
DATE: 10–15–21	
SHEET 7	SHEETS 7