

4021 COON RAPIDS BLVD

COON RAPIDS, MINNESOTA

ISSUED FOR: COUNTY SUBMITTAL



ARCHITECT:

COLLAGE ARCHITECTS LLC
708 NE 15TH AVE.
MINNEAPOLIS, MN 55413
CONTACT: PETE KEELY
612-720-9552

DEVELOPER / PROPERTY OWNER:

HORNIG COMPANIES INC
1000 W 22ND ST
MINNEAPOLIS, MN 55405
CONTACT: XXXX
612-874-4400

ENGINEER / LANDSCAPE ARCHITECT:

CIVIL SITE GROUP
5000 GLENWOOD AVE
GOLDEN VALLEY, MN 55422
CONTACT: MATT PAVEK
612-615-0060

SURVEYOR:

CIVIL SITE GROUP
5000 GLENWOOD AVE
GOLDEN VALLEY, MN 55422
CONTACT: RORY SYNSTELIEN
612-615-0060

GEOTECHNICAL ENGINEER:

AMERICAN ENGINEERING TESTING
5548 BARTHEL INDUSTRIAL DRIVE NE, SUITE 500
800-792-6364

ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



Know what's below.
Call before you dig.

COON RAPIDS
4021 COON RAPIDS BLVD. NW, MN 55433

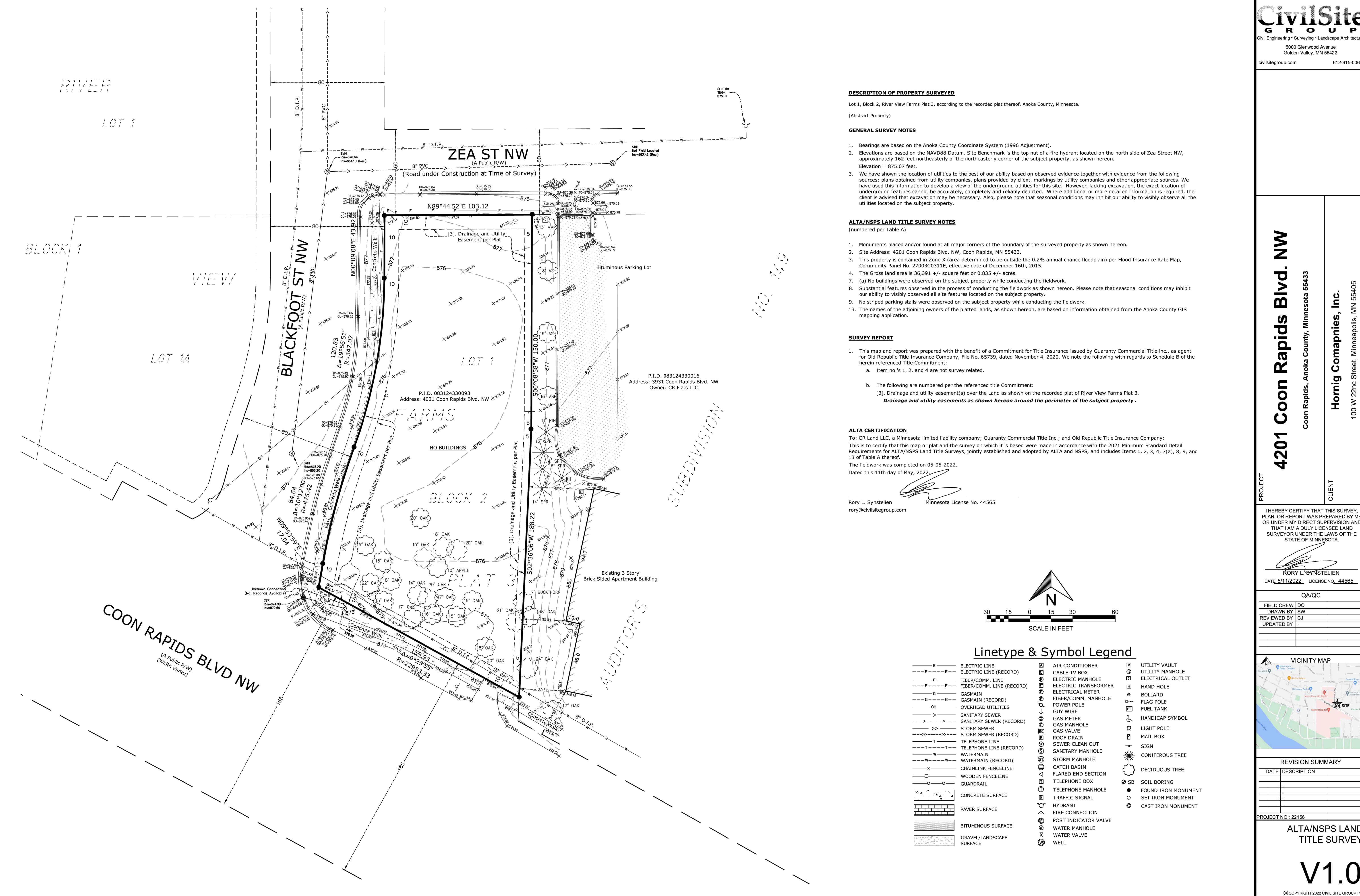
HORNIG COMPANIES INC.
1000 W 22ND ST, MINNEAPOLIS, MN 55405

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

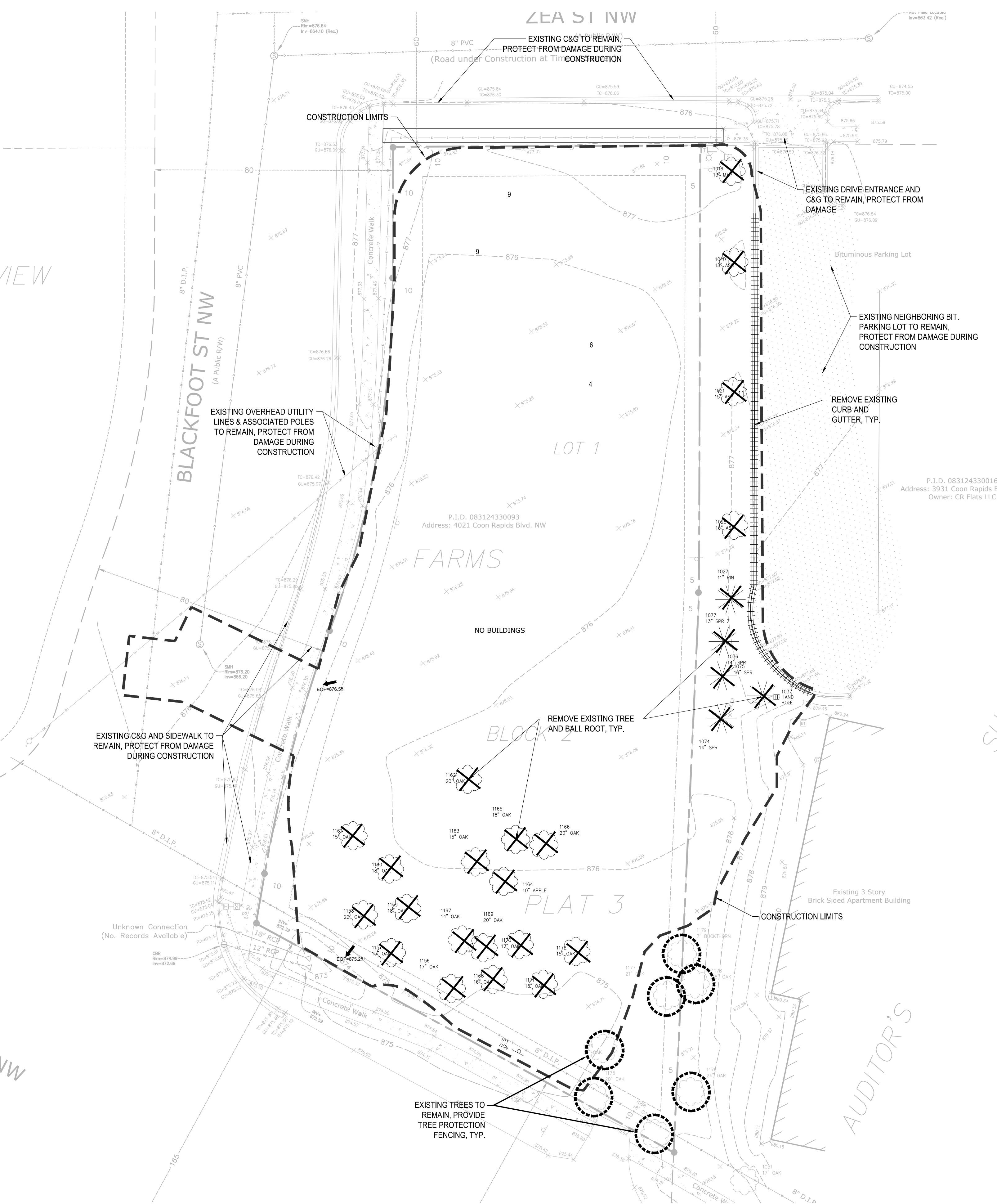
Matthew R. Pavek
DATE 11/21/22 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY
DATE 06/13/22 CITY SUBMITTAL
10/1/22 PERMIT SET
11/21/22 COUNTY SUBMITTAL

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
V1.0	SITE SURVEY
C1.0	REMOVALS PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
L1.0	LANDSCAPE PLAN: TREES AND GROUND COVERS
L1.1	LANDSCAPE PLAN: PERENNIALS AND SHRUBS
L1.2	LANDSCAPE PLAN NOTES & DETAILS
SW1.0	SWPPP - EXISTING CONDITIONS
SW1.1	SWPPP - PROPOSED CONDITIONS
SW1.2	SWPPP - DETAILS
SW1.3	SWPPP - NARRATIVE
REVISION SUMMARY	
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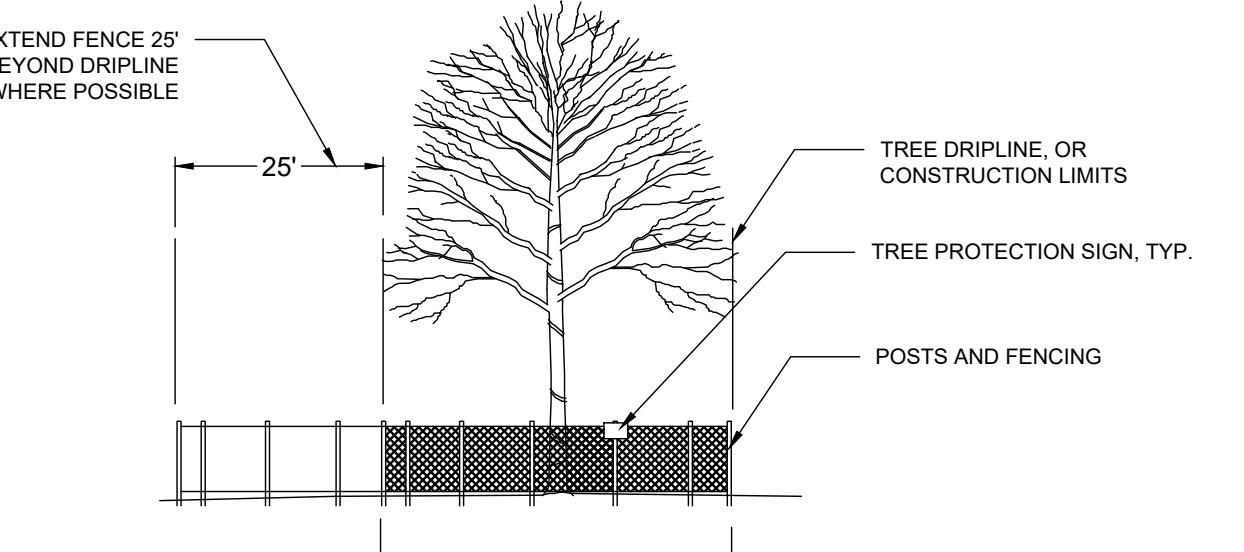


PRELIMINARY
NOT FOR
CONSTRUCTION



REMOVAL NOTES:

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
- REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
- REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
- EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
- REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
- EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
- PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
- MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS. FOR ANY WORK ON ADJACENT PRIVATE PROPERTY, THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER PRIOR TO ANY WORK.
- DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
- PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
- SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
- VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.
- ALL EXISTING SITE TRAFFIC/REGULATORY SIGNAGE TO BE INVENTORIED AND IF REMOVED FOR CONSTRUCTION SHALL BE RETURNED TO LGU.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



FURNISH A AND INSTALL TEMPORARY FENCE AT THE TREE'S DRIP LINE OR CONSTRUCTION LIMITS AS SHOWN ON PLAN, PRIOR TO ANY CONSTRUCTION. WHERE POSSIBLE PLACE FENCE 25' BEYOND DRIP LINE. PLACE TREE PROTECTION SIGN ON POSTS, ONE PER INDIVIDUAL TREE (FACING CONSTRUCTION ACTIVITY), OR ONE EVERY 100' LF ALONG A GROVE OR MULTI-TREE PROTECTION AREA.

1 TREE PROTECTION
NTS

CITY OF COON RAPIDS REMOVAL NOTES:

- ANY EXISTING WELLS OR SEPTIC TANKS FOUND ON THE SITE SHALL BE PROPERTY ABANDONED PER STATE REQUIREMENTS. DOCUMENTATION OF PROPER ABANDONMENT SHALL BE PROVIDED TO THE CITY.

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1.0 - SW1.3

REMOVALS LEGEND:

- 1125 EX. 1' CONTOUR ELEVATION INTERVAL
- REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PVMTS.
- REMOVAL OF STRUCTURE INCLUDING ALL FOOTINGS AND FOUNDATIONS.
- REMOVE CURB AND GUTTER, IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.

TREE PROTECTION

- TREE REMOVAL - INCLUDING ROOTS AND STUMPS



C1.0

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COON RAPIDS
4021 COON RAPIDS BLVD. NW, MN 55433

1000W 22ND ST, MINNEAPOLIS, MN 55405

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavek
DATE 11/21/22
LICENCE NO. 44263

ISSUE/SUBMITTAL SUMMARY
DATE 06/1/22
CITY SUBMITTAL
10/1/22
PERMIT SET
11/2/22
COUNTY SUBMITTAL

DRAWN BY: WB, BB REVIEWED BY: PS
PROJECT NUMBER: 22156

REVISION SUMMARY
DATE
DESCRIPTION

REMOVALS PLAN

GENERAL UTILITY NOTES:

1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
3. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
4. UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
5. CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
6. ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) AWWA C151, ASME B16.4, AWWA C110, AWWA C153 UNLESS OTHERWISE NOTED.
7. ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) ASTM D3034 & F679, OR SCH 40 ASTM D1785, 2665, ASTM F794, 1866) UNLESS OTHERWISE NOTED.
8. ALL STORM SEWER PIPE SHALL BE HDPE ASTM F714 & F2306 WITH ASTM D3212 SPEC FITTINGS UNLESS OTHERWISE NOTED.
9. PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
10. UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
11. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
12. A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
13. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
14. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
15. CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.
16. COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
17. COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
18. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
19. ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
20. CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
21. CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
22. CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
23. ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER STRUCTURES.
24. ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MN RULES, CHAPTER 4714, SECTION 1109.0.
25. FOR ALL SITES LOCATED IN CLAY SOIL AREAS, DRAIN TILE MUST BE INSTALLED AT ALL LOW POINT CATCH BASINS 25' IN EACH DIRECTION. SEE PLAN AND DETAIL. INSTALL LOW POINT DRAIN TILE PER PLANS AND GEOTECHNICAL REPORT RECOMMENDATIONS AND REQUIREMENTS.

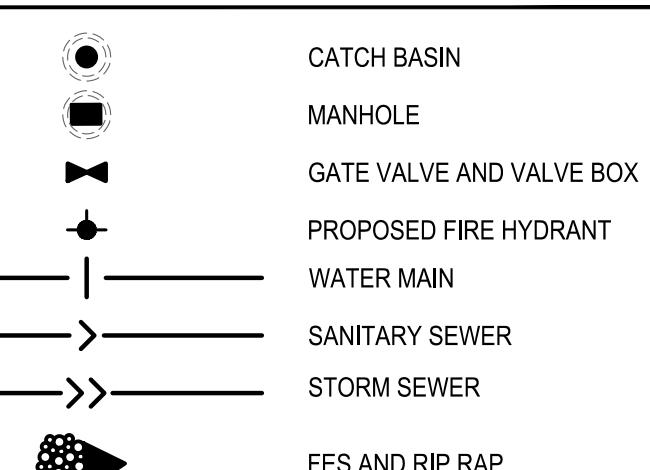
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Matthew R. Pavek

CITY OF COON RAPIDS UTILITY NOTES:

1. RESERVED FOR CITY SPECIFIC UTILITY NOTES.

UTILITY LEGEND:



C4.0

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BLACKFOOT ST NW
(A Public R/W)

CONSTRUCTION LIMITS

Bituminous Parking Lot

Existing 3 Story Brick Sided Apartment Building

VIEW

AUDITOPS

CORE DRILL CONNECTION TO EXISTING SANITARY MANHOLE PROP IE (SE)=867.20 COORDINATE WITH CITY

MAKE WET TAP CONNECTION TO EXISTING WATER MAIN, COORD. WITH CITY

PROPOSED GATE VALVE AND VALVE BOX

Unknown Connection (No. Records Available)

CBR Rim=874.99 Inv=872.69

8" D.I.P.

8 PVC

8" D.I.P.

876.53 GU=876.09 TC=876.43

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COON RAPIDS

4021 COON RAPIDS BLVD. NW, MN 55433

HORNING COMPANIES INC.

AT THIS PLAN,
REPORT WAS
DER MY DIRECT
T I AM A DULY
AL ENGINEER
THE STATE OF
A.

ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
06/13/22	CITY SUBMITTAL
10/12/22	PERMIT SET
11/01/22	COUNTY SUBMITTAL

DRAWN BY:WB, BB REVIEWED BY: PS
PROJECT NUMBER: 22156

REVISION SUMMARY	
DATE	DESCRIPTION
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UTILITY PLAN

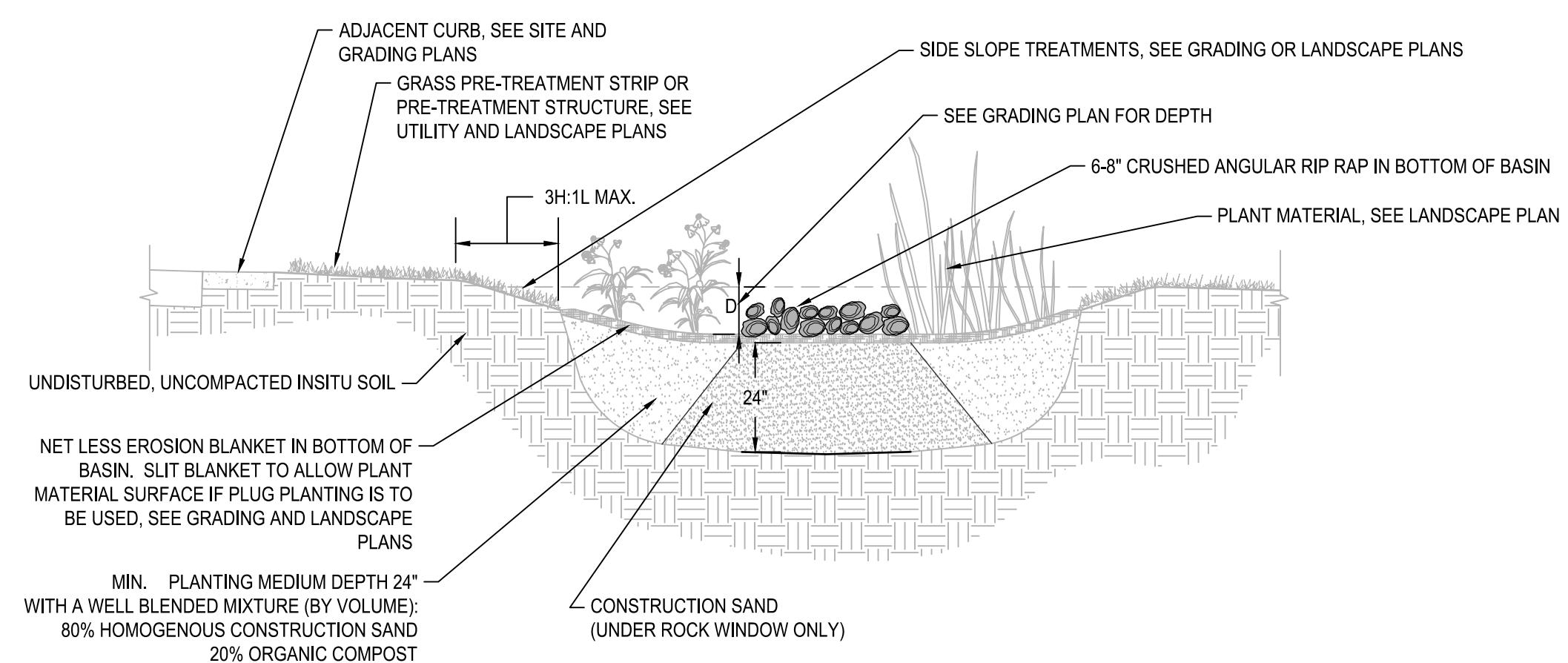
CHAPTER ELEVEN

PRELIMINARY.
NOT FOR
CONSTRUCTION

COON RAPIDS
4021 COON RAPIDS BLVD. NW, MN 55433
1000W 22ND ST. MINNEAPOLIS, MN 55405

HORNING COMPANIES INC.

1000W 22ND ST. MINNEAPOLIS, MN 55405



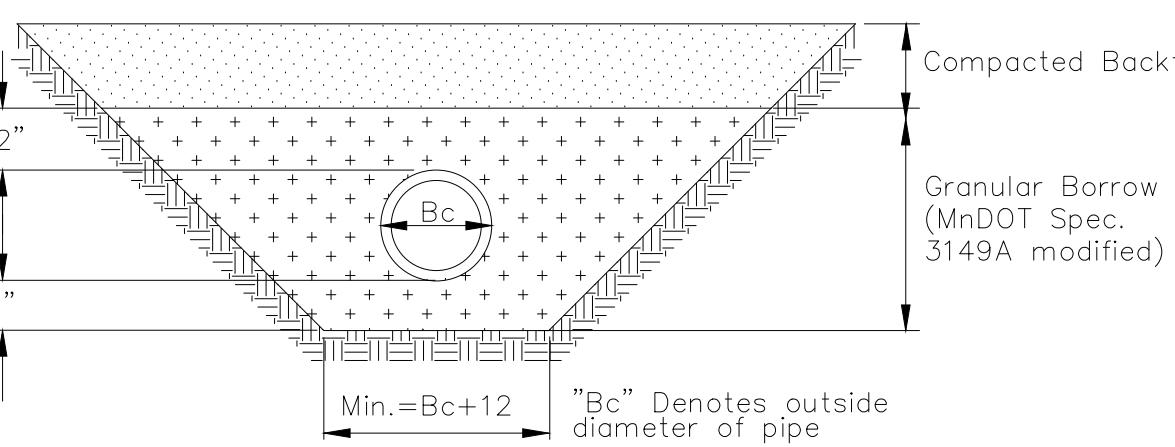
TYPICAL SECTION VIEW

CONSTRUCTION SEQUENCING

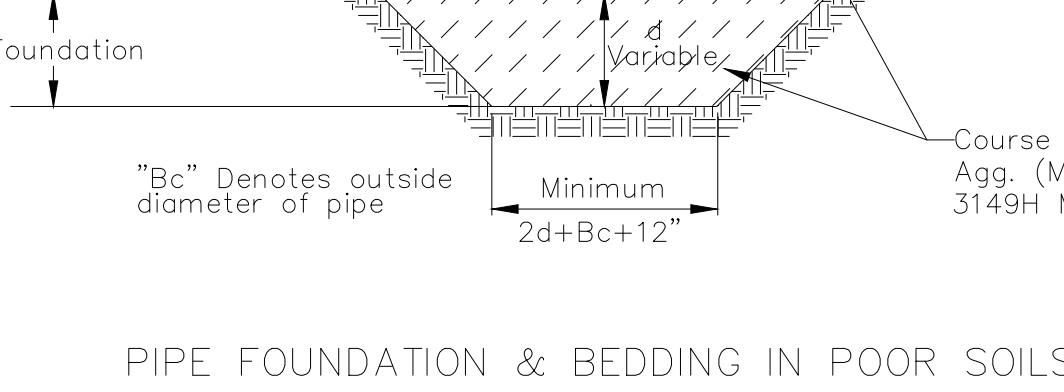
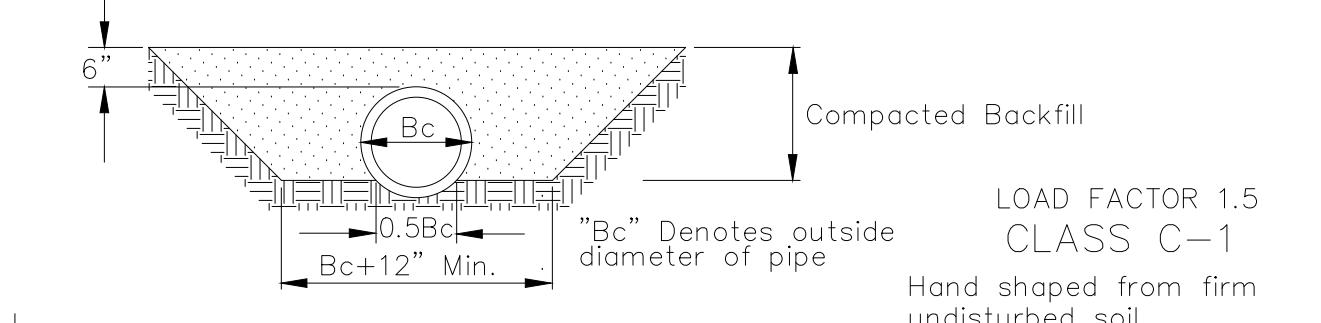
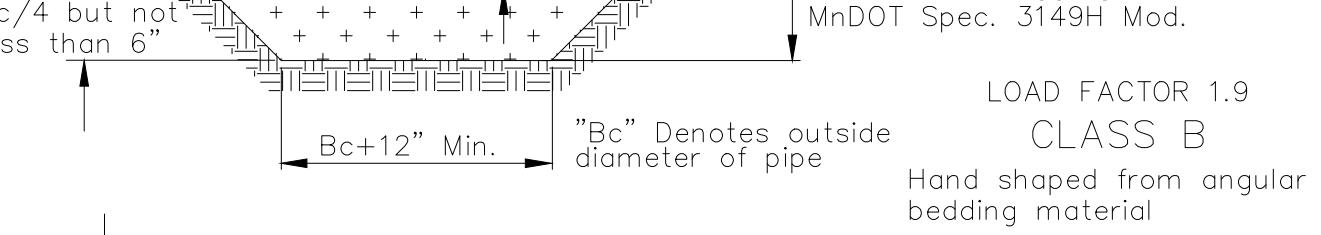
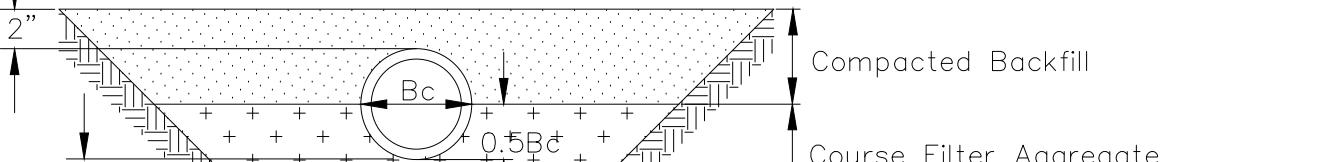
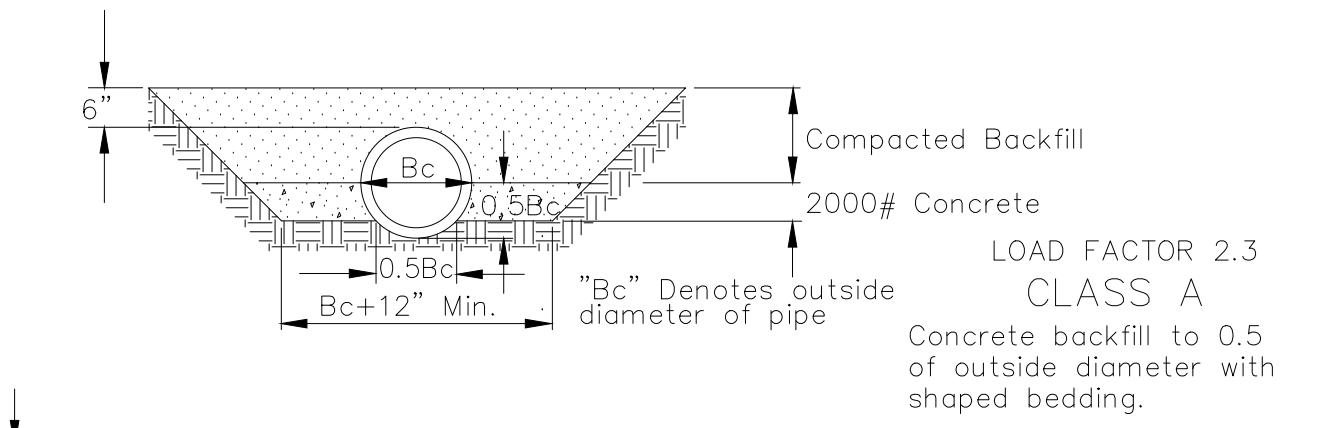
1. INSTALL SILT FENCE AND/OR OTHER APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE PRACTICE DURING CONSTRUCTION.
2. ALL DOWN-GRADIENT PERIMETER SEDIMENT CONTROL BMP'S MUST BE IN PLACE BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITY BEGINS.
3. PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES.
4. INSTALL UTILITIES (WATER, SANITARY SEWER, ELECTRIC, PHONE, FIBER OPTIC, ETC) PRIOR TO SETTING FINAL GRADE OF BIORETENTION DEVICE.
5. ROUGH GRADE THE SITE. IF BIORETENTION AREAS ARE BEING USED AS TEMPORARY SEDIMENT BASINS LEAVE A MINIMUM OF 3 FEET OF COVER OVER THE PRACTICE TO PROTECT THE UNDERLYING SOILS FROM CLOGGING.
6. PERFORM ALL OTHER SITE IMPROVEMENTS.
7. PLANT ALL AREAS AFTER DISTURBANCE.
8. CONSTRUCT BIORETENTION DEVICE UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA.
9. IMPLEMENT TEMPORARY AND PERMANENT EROSION CONTROL PRACTICES.
10. PLANT AND/OR ROCK MULCH BIORETENTION DEVICE.
11. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA IS ADEQUATELY VEGETATED.

GENERAL NOTES

1. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
2. GRADING OF BIORETENTION DEVICES SHALL BE ACCOMPLISHED USING LOW-COMPACTION EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF UNDERLYING SOILS.
3. ALL SUB MATERIALS BELOW THE SPECIFIED BIORETENTION DEPTH (ELEVATION) SHALL BE UNDISTURBED, UNLESS OTHERWISE NOTED.



PIPE FOUNDATION & BEDDING IN GOOD SOILS

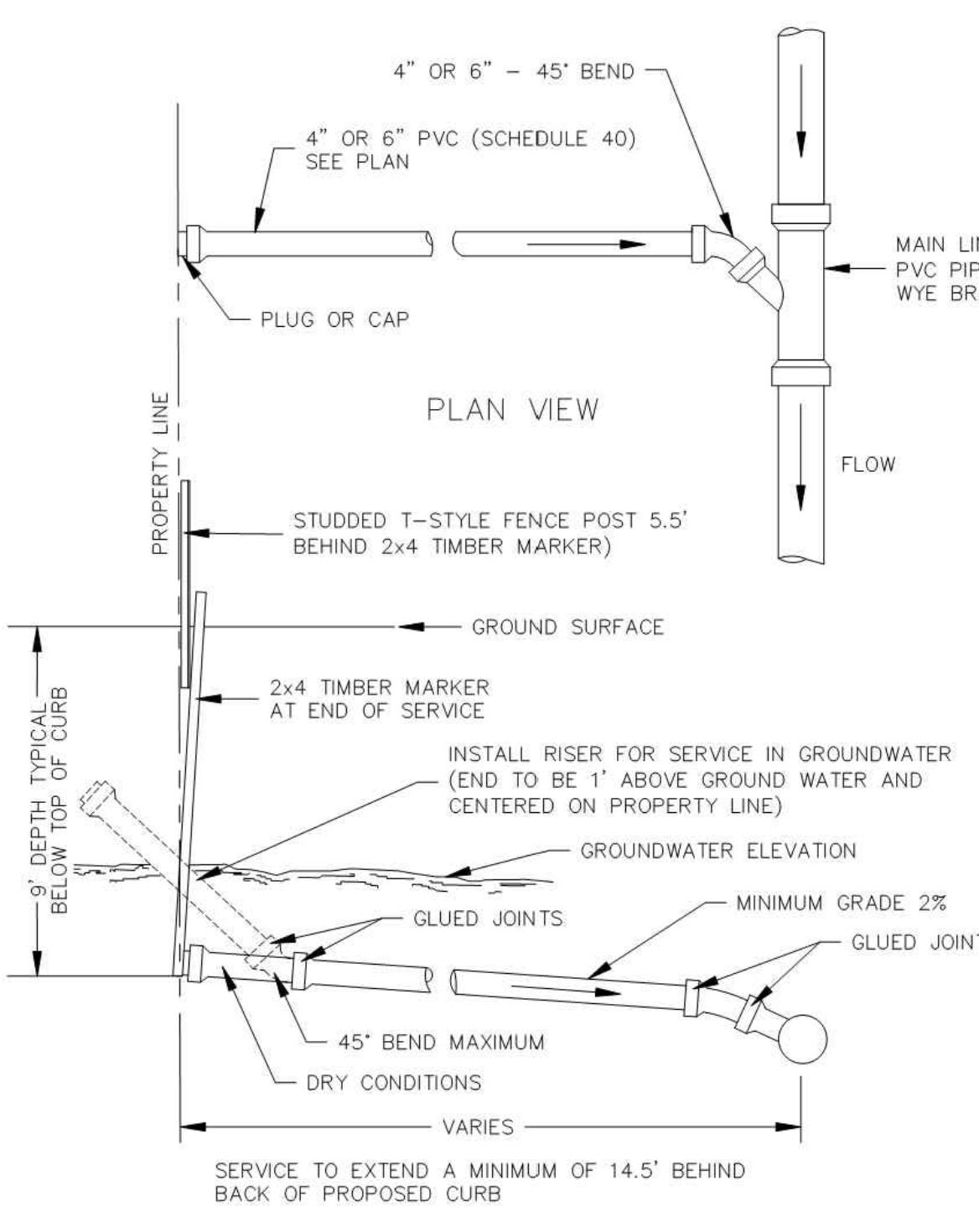


PIPE FOUNDATION & BEDDING IN POOR SOILS

1 NTS
BIO-INFILTRATION BASIN (RAIN GARDEN - TYP.)

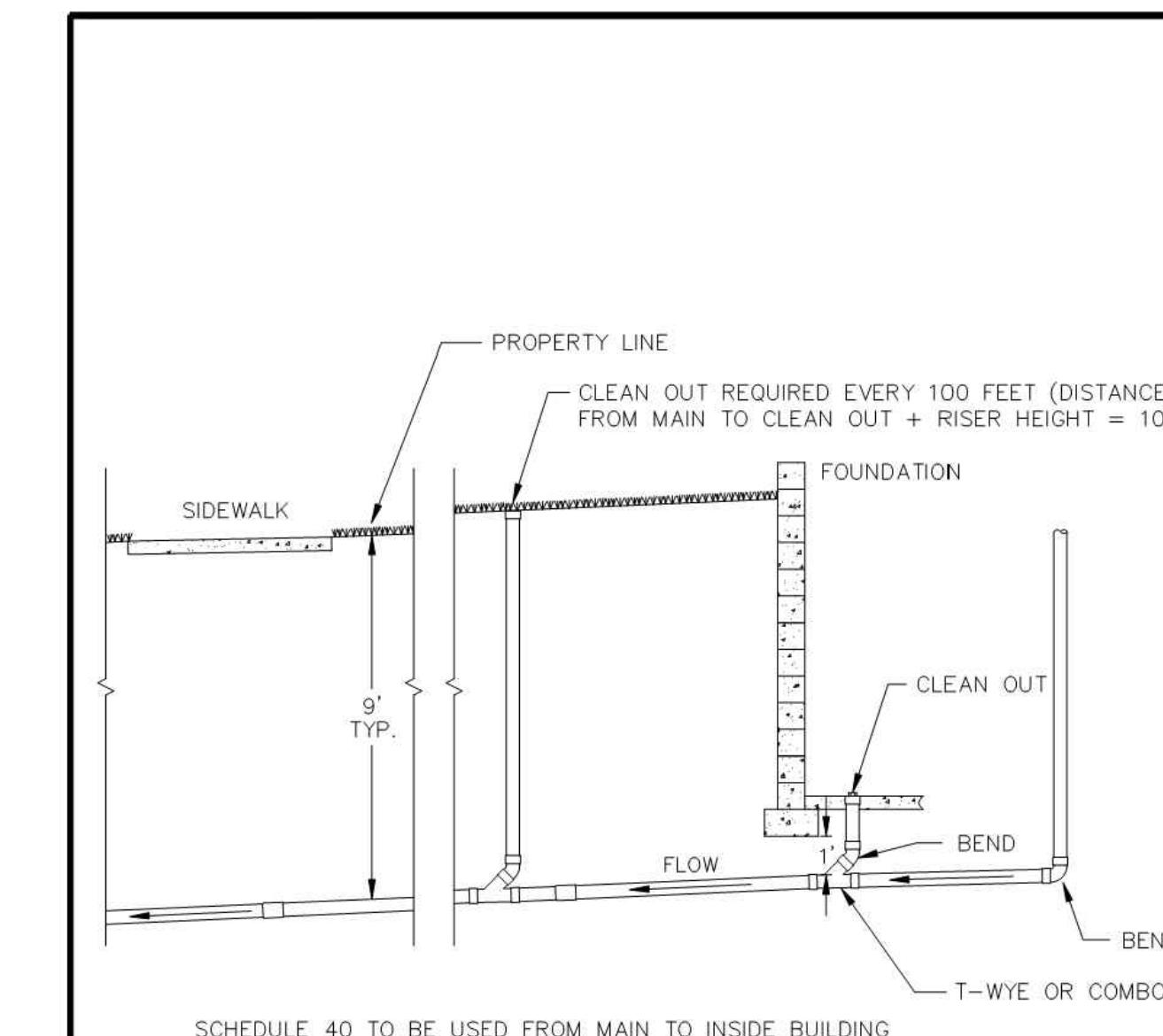
2 NTS
PIPE BEDDING - PVC

3 NTS
PIPE BEDDING - RCP & DIP



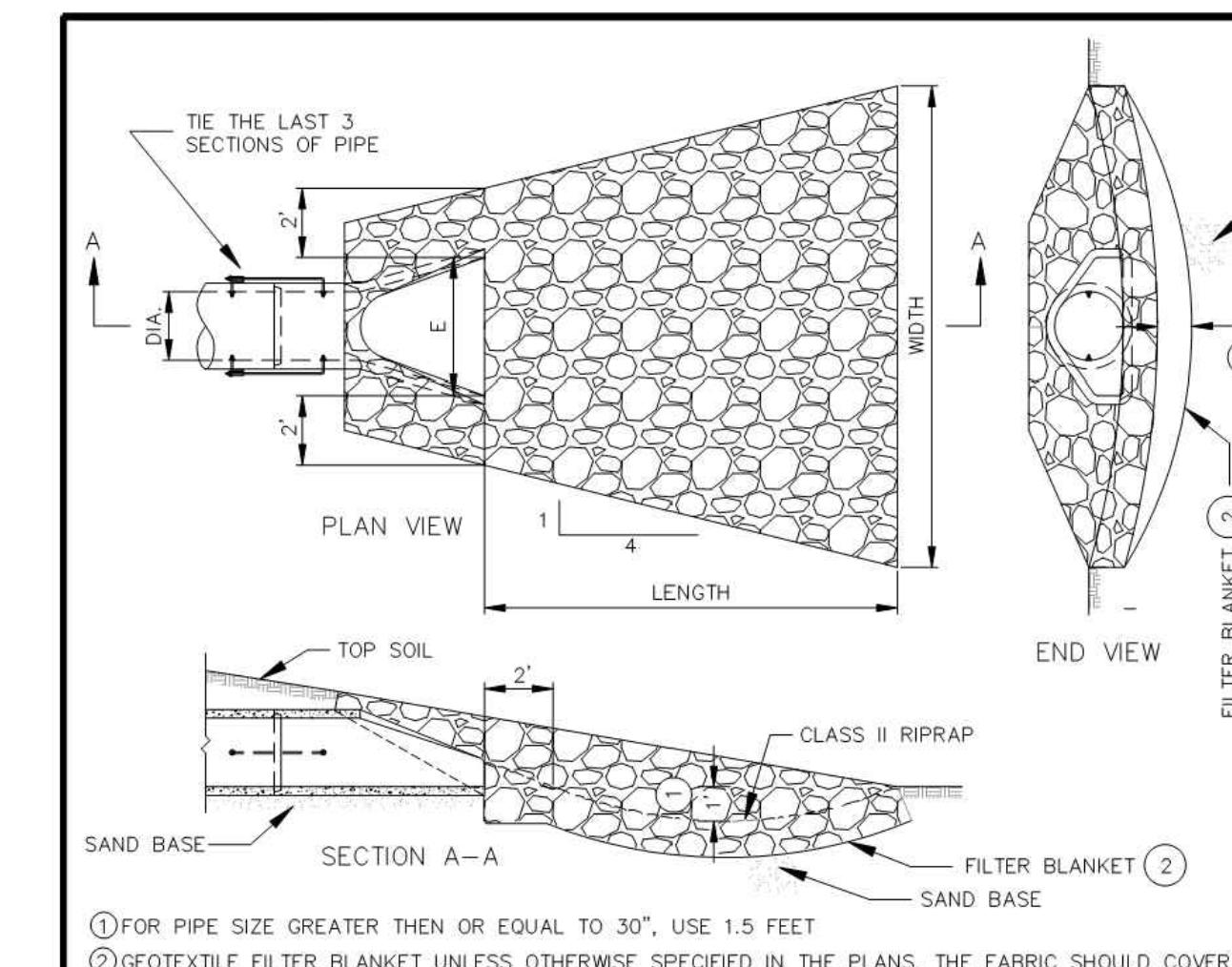
TYPICAL SEWER SERVICE

R.L.S. 1/16/2020 NONE SAN-1



SCHEDULE 40 TO BE USED FROM MAIN TO INSIDE BUILDING

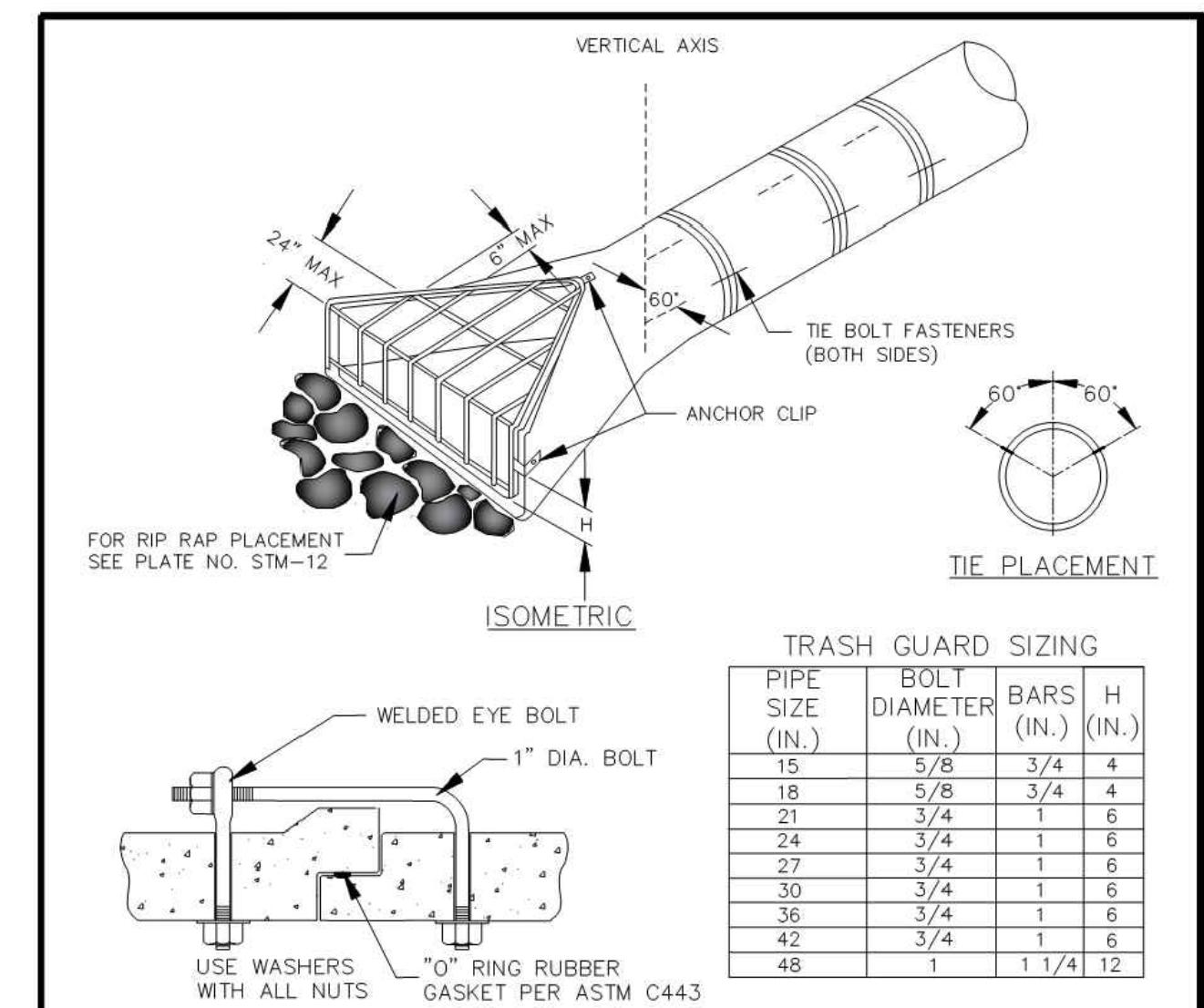
DRAWN: R.L.S. DATE: 1/7/2019 SCALE: NONE PLATE NO: SAN-31



PIPE DIAM. (IN.)	LENGTH (FEET)	WIDTH (FEET)	F.E.S. (IN.)	F.D. (IN.)	RIPRAP (CU.YDS.)
12	8	10	24	2.8	
15	8	10.5	30	3.9	
18	10	12	36	5.0	
21	10	12.5	42	6.2	
24	12	14	48	7.5	
27	12	14.5	54	8.8	
30	14	16	60	10.0	
36	16	18	72	12.0	
42	18	19.5	78	13.8	
48	20	21	84	15.9	

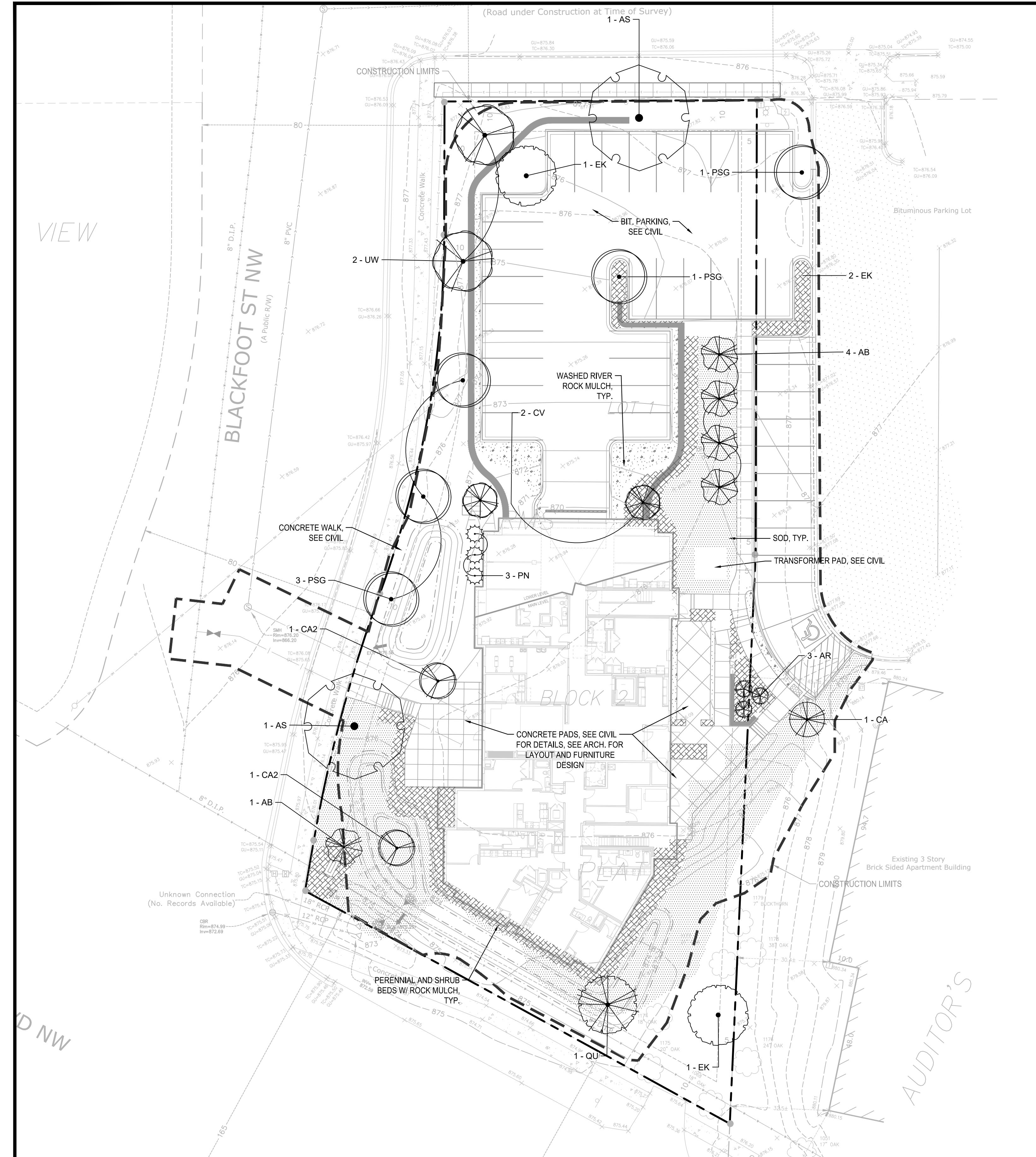
PIPE SIZES LARGER THAN THOSE SHOWN REQUIRE A SPECIAL DESIGN

DRAWN: R.L.S. DATE: 1/28/2018 SCALE: NONE PLATE NO: STM-12



NOTES: 1. USE TWO TIE BOLT FASTENERS PER JOINT INSTALLED AT 60 DEGREES FROM TOP OF PIPE.
2. LAST THREE JOINTS SHALL BE TIED.
3. TIE PLATES AND TRASH GUARD SHALL BE INCLUDED IN THE UNIT PRICE BID FOR APRON SECTION.
4. BARS AND PLATES ARE HOT-ROLLED STEEL.
5. BARS, PLATES, PIPE AND BOLTS ARE GALVANIZED.
6. MARKING POSTS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.

DRAWN: R.L.S. DATE: 2/4/2020 SCALE: NONE PLATE NO: STM-22



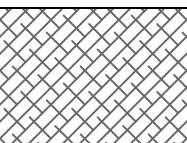
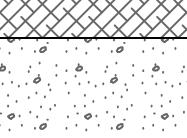
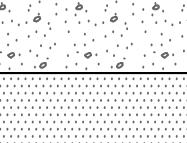
TREE SCHEDULE

TREE SCHEDULE					
TREES	QTY	COMMON / BOTANICAL NAME	CONT	NATIVE PLANTS	POLLINATOR FRIENDLY
AS	2	Sugar Maple / <i>Acer saccharum</i>	2.5" CAL. B&B	NATIVE	Y
AB	5	Apollo Sugar Maple / <i>Acer saccharum</i> 'Barrett Cole' TM	1.75" Cal B&B	NATIVE CULTIVAR	N
PSG	5	Princeton Sentry Gingko / <i>Ginkgo biloba</i> 'Princeton Sentry'	2.5" Cal. B&B	NOT NATIVE	N
EK	2	Espresso Kentucky Coffeetree / <i>Gymnocladus dioica</i> 'Espresso'	2.5" Cal. B&B	NATIVE CULTIVAR	N
QU	1	Urban Pinnacle Oak / <i>Quercus macrocarpa</i> 'JFS-KW3' TM	2.5" Cal. B&B	NATIVE CULTIVAR	
UW	2	New Horizon Elm / <i>Ulmus japonica</i> x <i>pumila</i> 'New Horizon'	2.5" Cal. B&B	NOT NATIVE	Y
	17				

EVERGREEN TREES	QTY	COMMON / BOTANICAL NAME	CONT	NATIVE PLANTS	POLLINATOR FRIENDLY
AR	3	Conical White Fir / <i>Abies concolor</i> 'Conica'	#7 CONT	NOT NATIVE	
PN	3	North Star Spruce / <i>Picea glauca</i> 'North Star'	#10 CONT	NATIVE CULTIVAR	
	6				

ORNAMENTAL TREES	QTY	COMMON / BOTANICAL NAME	CONT	NATIVE PLANTS	POLLINATOR FRIENDLY
CA2	2	American Hornbeam / <i>Carpinus caroliniana</i>	2" Cal. B&B	NATIVE	Y
CA	1	Pagoda Dogwood / <i>Cornus alternifolia</i>	1.5" Cal. B&B	NATIVE	Y
CV	2	Thornless Cockspur Hawthorn / <i>Crataegus crus-galli</i> inermis TM	1.5" Cal. B&B	NATIVE	Y
	5				

GROUND COVER SCHEDULE

GROUND COVERS	COMMON / BOTANICAL NAME	SIZE
	All Shrub and Perennial Beds / Planting Beds 1"- 3" Washed river rock, uniform in size over filter fabric, composed of round rocks that may be varied in color. Include aluminum edging as shown on plan, or as needed. See detail.	Mulch
	Rock Maintenance Strip / Rock Maintenance Strip 1"- 3" Washed river rock, uniform in size over filter fabric, composed of round rocks that may be varied in color. Include aluminum edging as shown on plan, or as needed. See detail.	Mulch
	Blue Grass Based / Sod Commercial grade, locally grown, well rooted sod blend of improved Kentucky Bluegrass w/ uniform	S-1

LANDSCAPE NOTES:

1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. WHERE SHOWN, SHRUB & PERENNIAL BEDS SHALL BE MULCHED WITH 4" DEPTH (MINIMUM AFTER INSTALLATION AND/OR TOP DRESSING OPERATIONS) OF RIVER ROCK MULCH.
3. ALL TREES SHALL BE MULCHED WITH SHREDDED CEDAR MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF PLANTING BED, IF APPLICABLE. ALL MULCH SHALL BE KEPT WITHIN A MINIMUM OF 2" FROM TREE TRUNK.
4. IF SHOWN ON PLAN, RANDOM SIZED LIMESTONE BOULDERS COLOR AND SIZE TO COMPLIMENT NEW LANDSCAPING. OWNER TO APPROVE BOULDER SAMPLES PRIOR TO INSTALLATION.
5. PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMPNESS OF PLANT MATERIAL FOR DURATION OF ACCEPTANCE PERIOD.
6. UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
7. CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
8. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 6" LAYER TOPSOIL AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
9. COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
10. ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
11. REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
12. SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
13. PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/BACK OF CURB.
14. CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INCLUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.

MULCH SCHEDULE

MULCH SCHEDULE				
AREA	MULCH TYPE	EDGING	FABRIC	REMARKS
TREE RINGS	4" DEPTH, SHREDDED CEDAR	YES	NO	SEE DETAIL SHT. L1.2
PLANTING BEDS	4" DEPTH, WASHED RIVER ROCK	YES	YES	
MAINT. STRIP AT BUILDING FOUNDATION	4" DEPTH, WASHED RIVER ROCK	YES	YES	SEE DETAIL SHT. L1.2

1. SEE SHEET L1.1 FOR PERENNIAL / SHRUB PLAN & PLANT SCHEDULE.
2. SEE SHEET L1.1 FOR IRRIGATION NOTES.
3. SEE SHEET L1.2 FOR PLANTING DETAILS.

CITY OF COON RAPIDS LANDSCAPE STANDARDS:

GENERAL LANDSCAPE REQUIREMENTS:	
OPEN SPACE	
TOTAL SITE - IMPERVIOUS - FRONTAGE =	
OPEN SPACE PROVIDED	
36,391 SF - 19,277 SF - 9,939 SF = 7225 SF OPEN SPACE	
OVERSTORY TREES	
1 OVERSTORY TREE PER 25 LF OF FRONTAGE ON COON RAPIDS BLVD.	
160 LF / 25 =	
6 OVERSTORY REQUIRED	
1 OVERSTORY TREE PER 40 LF OF FRONTAGE ON OTHER STREETS	
369 LF / 40 =	
9 OVERSTORY REQUIRED	
1 OVERSTORY TREE PER 3,000 SF OPEN AREA	
7,225 SF / 3,000 =	
2 OVERSTORY REQUIRED	
TOTAL OVERSTORY TREES REQ'D ON SITE =	
17	
ORNAMENTAL TREES	
1 ORNAMENTAL TREE PER 1,500 SF OPEN AREA	
7,225 SF / 1,500 =	
5 ORNAMENTAL REQ'D	
EVERGREEN TREES	
1 EVERGREEN TREE PER 3,000 SF OPEN AREA	
7,225 SF / 3,000 =	
2 EVERGREEN REQ'D	
SHRUBS	
1 SHRUB PER 5 LF OF ROAD FRONTAGE	
529 LF / 5 =	
106 SHRUBS REQUIRED	
1 SHRUB PER 250 SF OPEN AREA	
7,225 SF / 250 =	
29 SHRUBS REQUIRED	

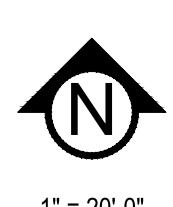
DRAWN BY:WB, BB REVIEWED BY: PS
PROJECT NUMBER: 00156

LEGEND

EDGING - SHALL BE COMMERCIAL GRADE, 4" DEPTH ALUMINUM, BLACK OR DARK GREEN IN COLOR, INCLUDE ALL CONNECTORS, STAKES, & ALL APPURTENANCES PER MANUF. INSTALL PER MANUF. INSTRUC /SPECs



Know what's below.
Call before you dig.



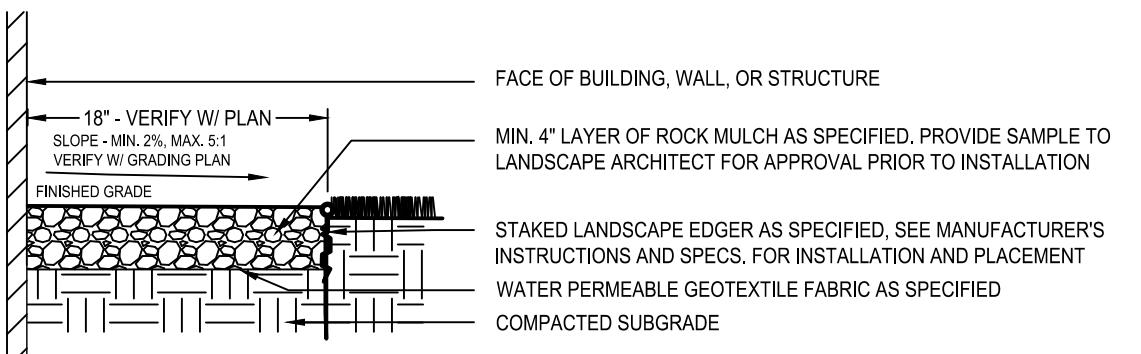
1" = 20'-0"

LANDSCAPE PLAN: TREES & GROUND COVERS

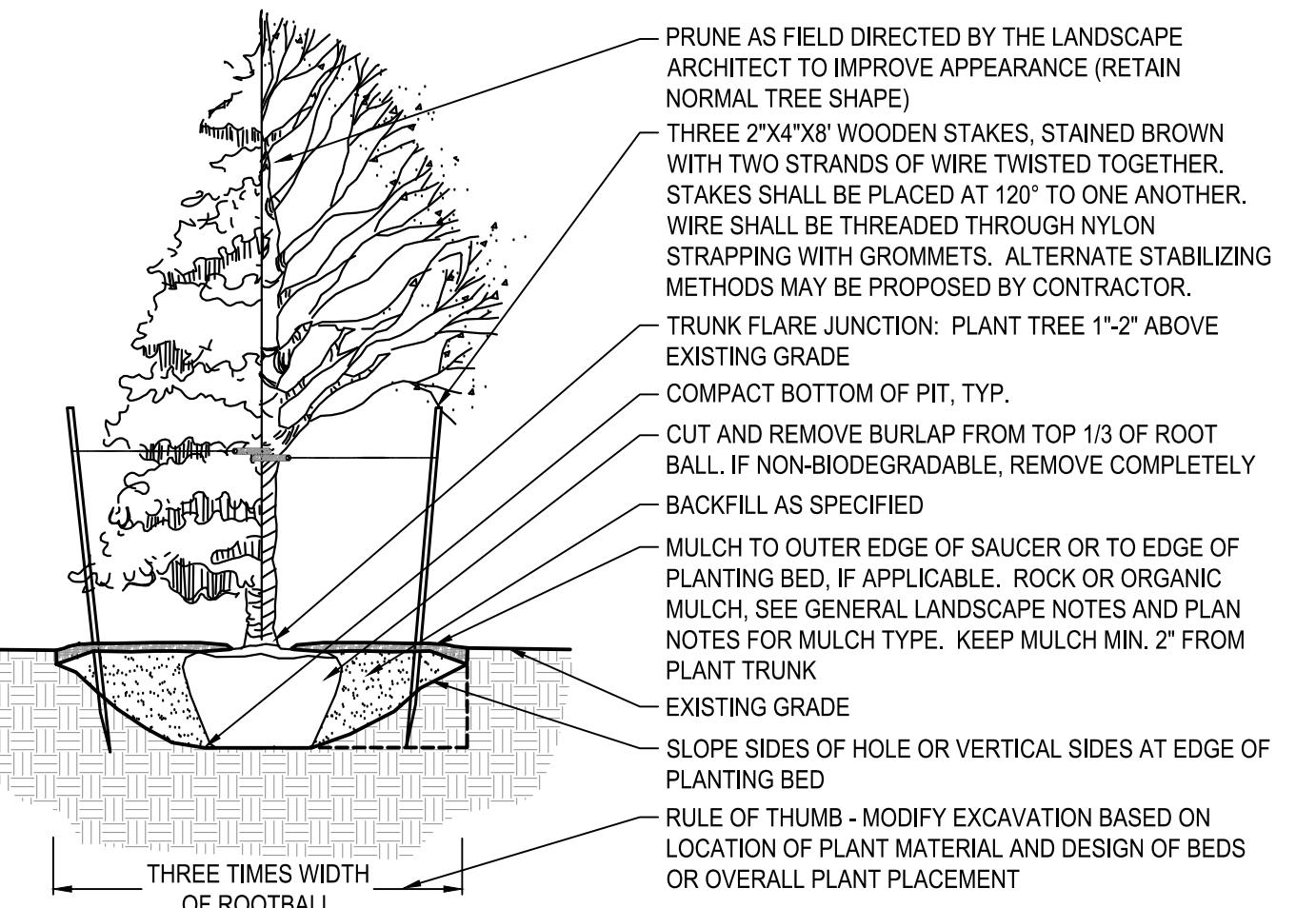
PRELIMINARY:
NOT FOR
CONSTRUCTION

COON RAPIDS
4021 COON RAPIDS BLVD. NW, MN 55433

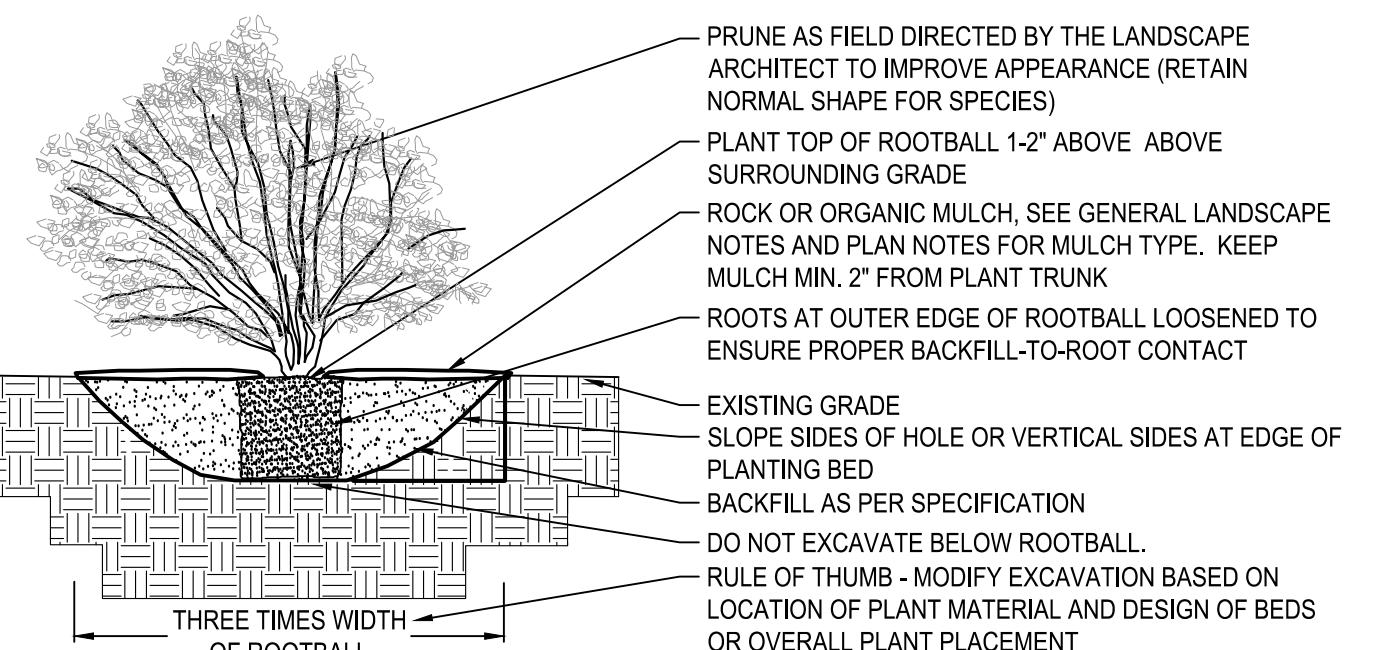
HORNING COMPANIES INC.
1000W 22ND ST. MINNEAPOLIS, MN 55405



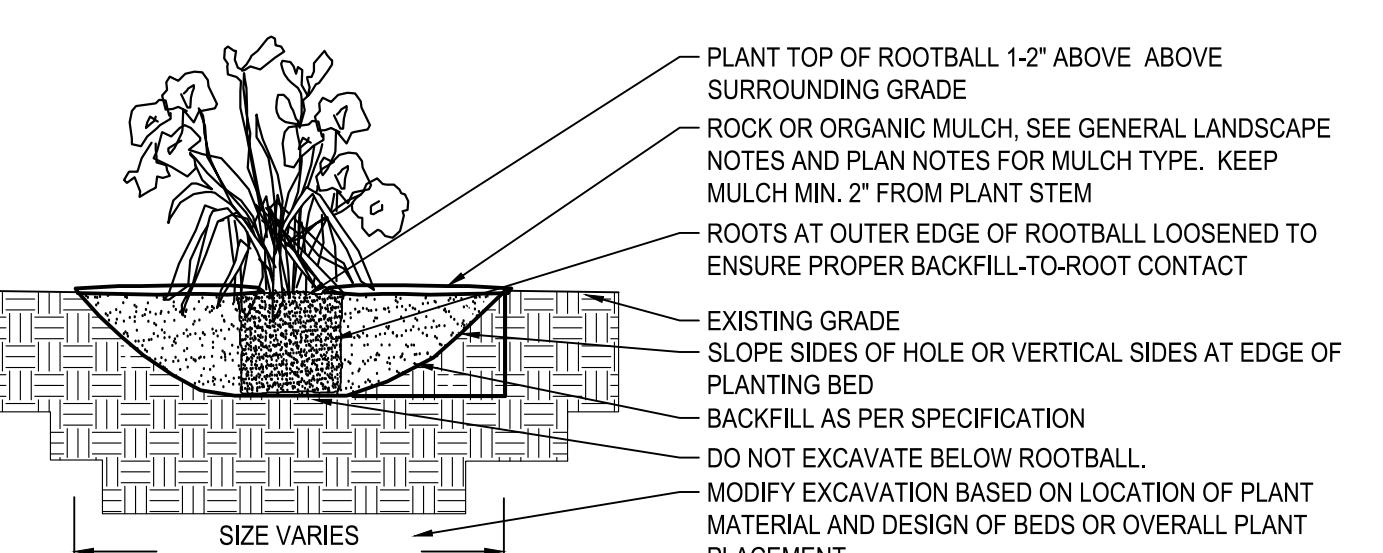
1 AGGREGATE MAINTAINANCE STRIP
N T S



2 DECIDUOUS & CONIFEROUS TREE PLANTING
N T S



3 DECIDUOUS & CONIFEROUS SHRUB PLANTING
N T S



4 PERENNIAL BED PLANTING
N T S

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Patrick J. Saver
DATE 11/21/22 LICENSE NO. 24904

ISSUE/SUBMITTAL SUMMARY
DATE | DESCRIPTION
06/13/22 | CITY SUBMITTAL
10/1/22 | PERMIT SET
11/2/22 | COUNTY SUBMITTAL

DRAWN BY: WB, BB REVIEWED BY: PS
PROJECT NUMBER: 22156

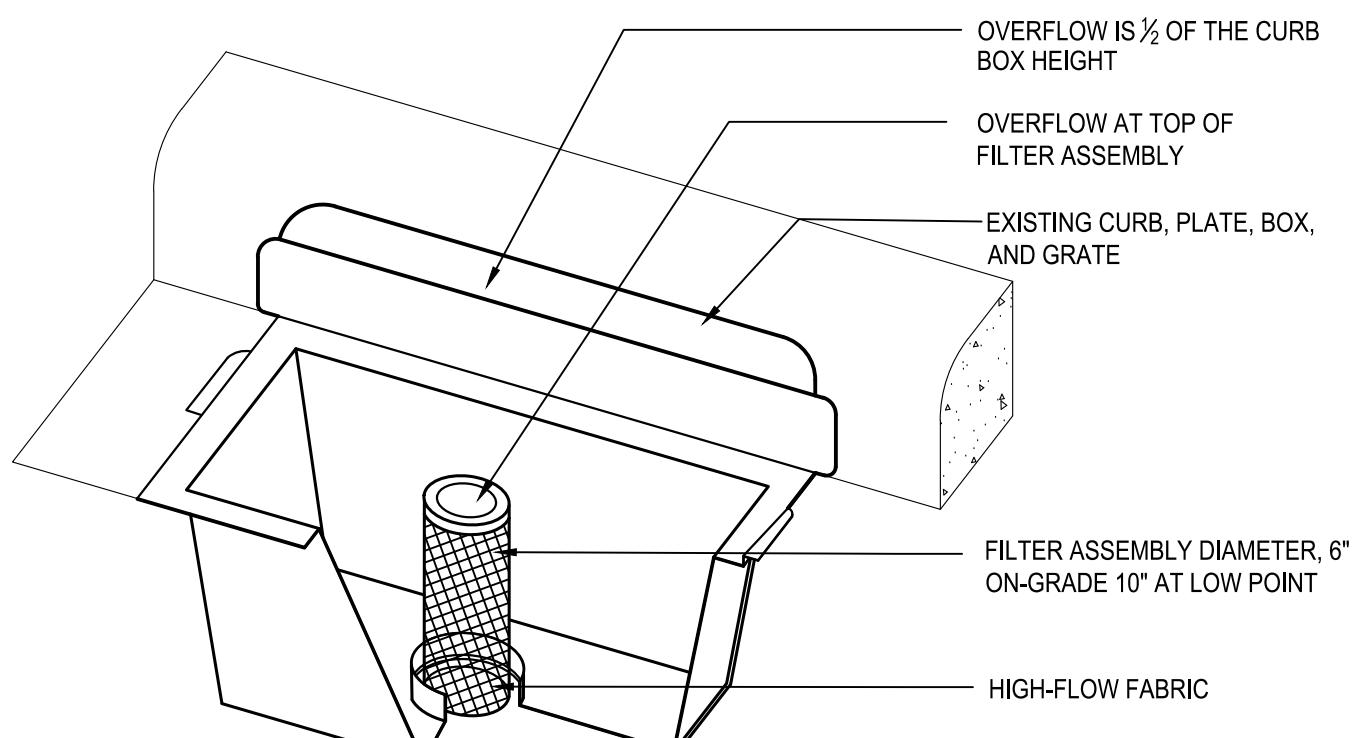
REVISION SUMMARY
DATE | DESCRIPTION
- - -
- - -

LANDSCAPE PLAN NOTES & DETAILS



L 1.2

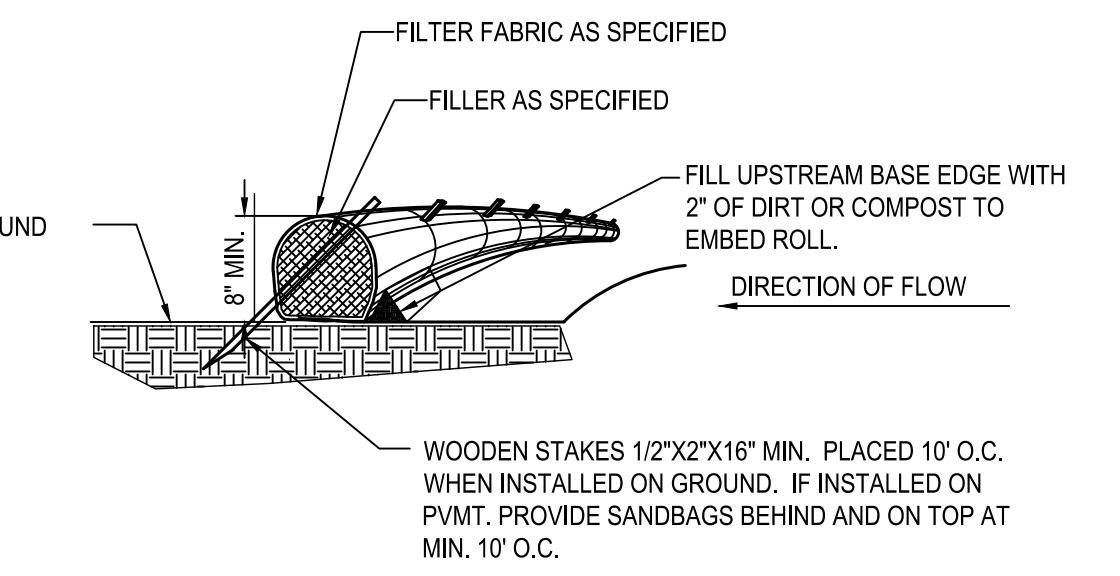
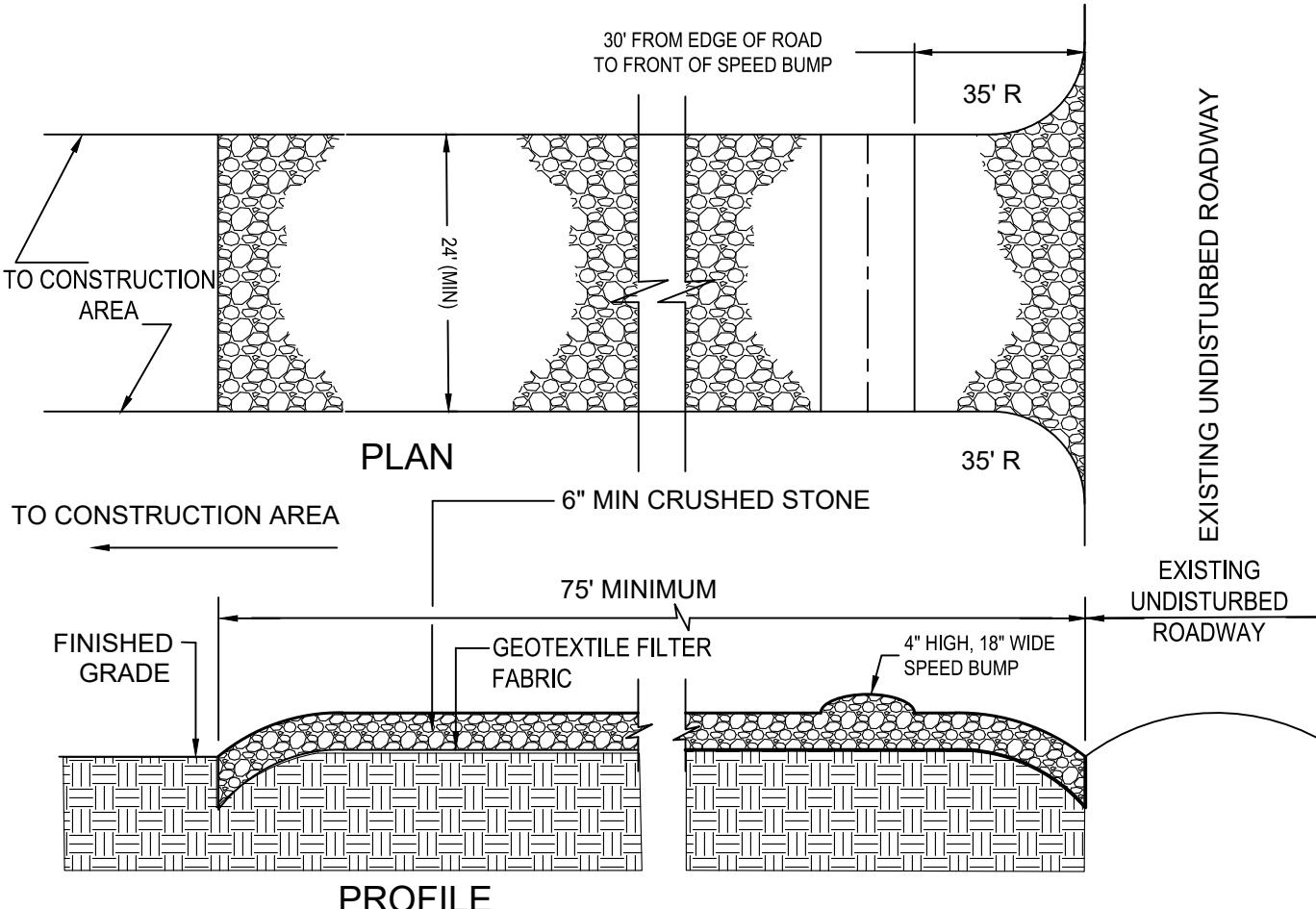
PRELIMINARY:
NOT FOR
CONSTRUCTION



NOTES:
1. REPLACE INLET GRATE UPON COMPLETE INSTALLATION OF INLET PROTECTION FABRIC.
2. CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE OF THE SYSTEM AFTER EACH STORM EVENT AND AT THE COMPLETION OF THE CONTRACT.
3. REFERENCE APPLE VALLEY STANDARD PLATE ERO-4C.

1 CURB INLET FILTER

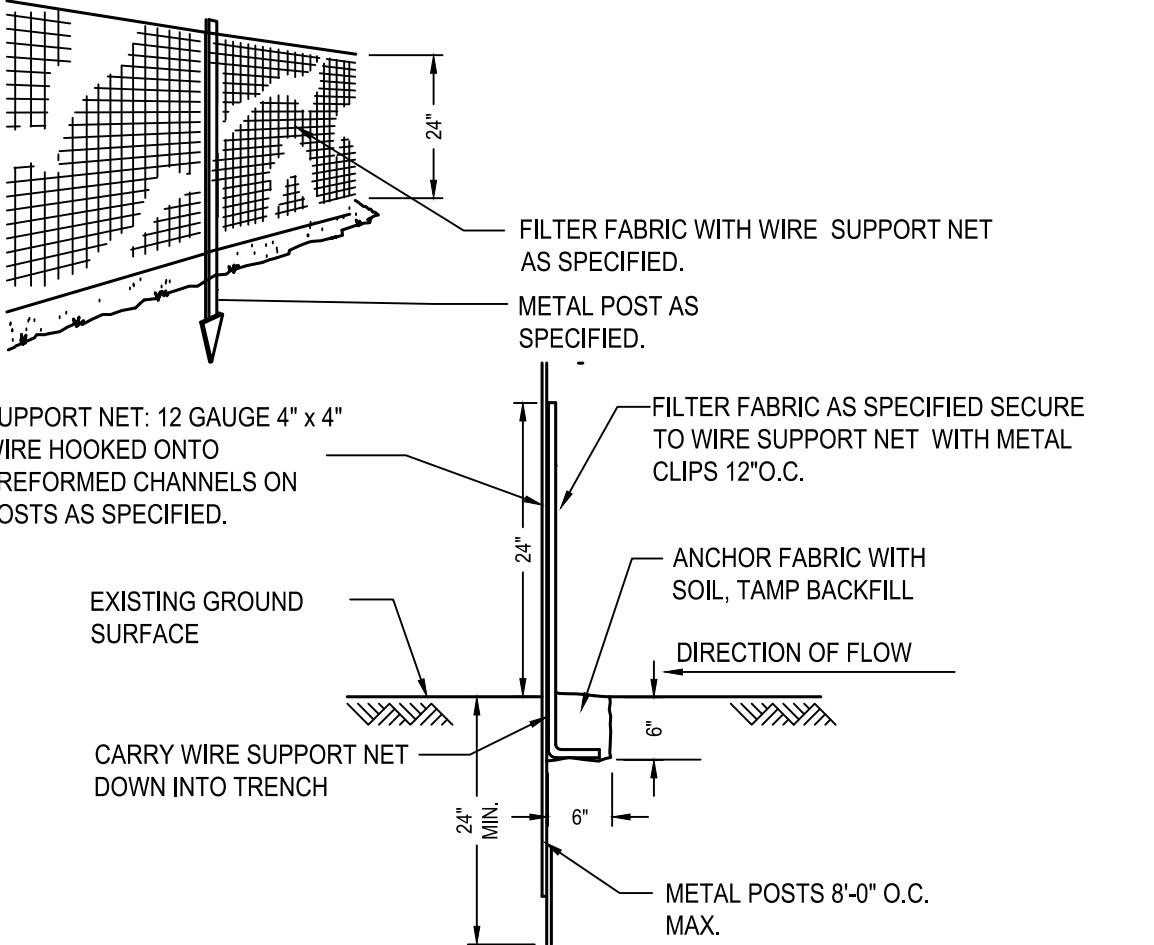
NTS



NOTE:
1. COMPOST FILTER LOGS (BIO ROLLS) SHALL BE FILTREXX EROSION CONTROL SOXX OR APPROVED EQUAL.
2. COMPOST FILLER TO BE MADE FROM A COMPOST BLEND 30%-40% GRADE 2 (SPEC 3890) AND 60%-70% PARTIALLY DECOMPOSED WOOD CHIPS, PER MNDOT SPEC 3897.
3. FILTER FABRIC SHALL BE GEOTEXTILE KNITTED MATERIAL WITH MAX. OPENINGS OF 3/8".
4. IF MULTIPLE ROLLS NEEDED, OVERLAP BY MIN. 12" AT ENDS AND STAKE.
5. SILT SHALL BE REMOVED ONCE IT REACHES 80% OF THE HEIGHT OF THE ROLL OR AS DEEMED NECESSARY BY SITE CONTRACTOR TO MAINTAIN PROPER FUNCTION.

4 SEDIMENT BIO-ROLL / COMPOST FILTER LOG

NTS



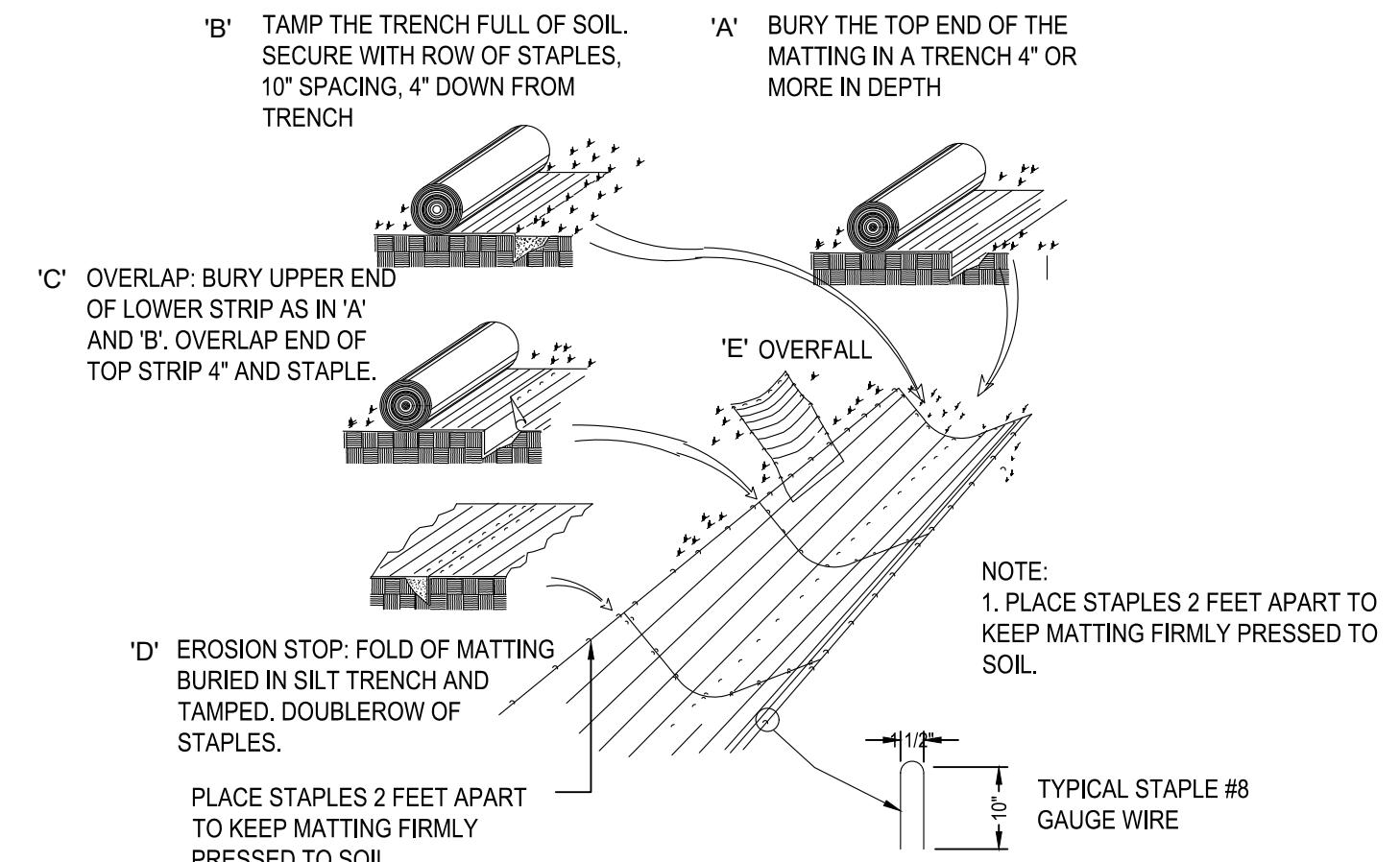
5 SEDIMENT FENCE

NTS

NOTES:
1. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND UNDISTURBED ROADWAY.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO UNDISTURBED ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDING STONE TO THE LENGTH OF THE ENTRANCE.
3. REPAIR AND CLEANOUT MEASURES USED TO TRAP SEDIMENT.
4. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO UNDISTURBED ROADWAY SHALL BE REMOVED AS DIRECTED BY THE ENGINEER.
5. FINAL LOCATION AND INSTALLATION SHALL BE COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
6. CRUSHED STONE SHALL BE 1-1/2" DIA. CLOSE GRADED, AND IN ACCORDANCE TO MNDOT SECTION 2118.

2 STABILIZED CONSTRUCTION ACCESS

NTS



3 EROSION BLANKET

NTS

COON RAPIDS

4021 COON RAPIDS BLVD. NW, MINNEAPOLIS, MN 55405

HORNING COMPANIES INC.

1000W 22ND ST. MINNEAPOLIS, MN 55405

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavek
DATE 11/21/22 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY
DATE | DESCRIPTION
06/1/22 | CITY SUBMITTAL
10/1/22 | PERMIT SET
11/2/22 | COUNTY SUBMITTAL

DRAWN BY: WB, BB REVIEWED BY: PS
PROJECT NUMBER: 22156

REVISION SUMMARY
DATE | DESCRIPTION
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SWPPP - DETAILS

SW1.2

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