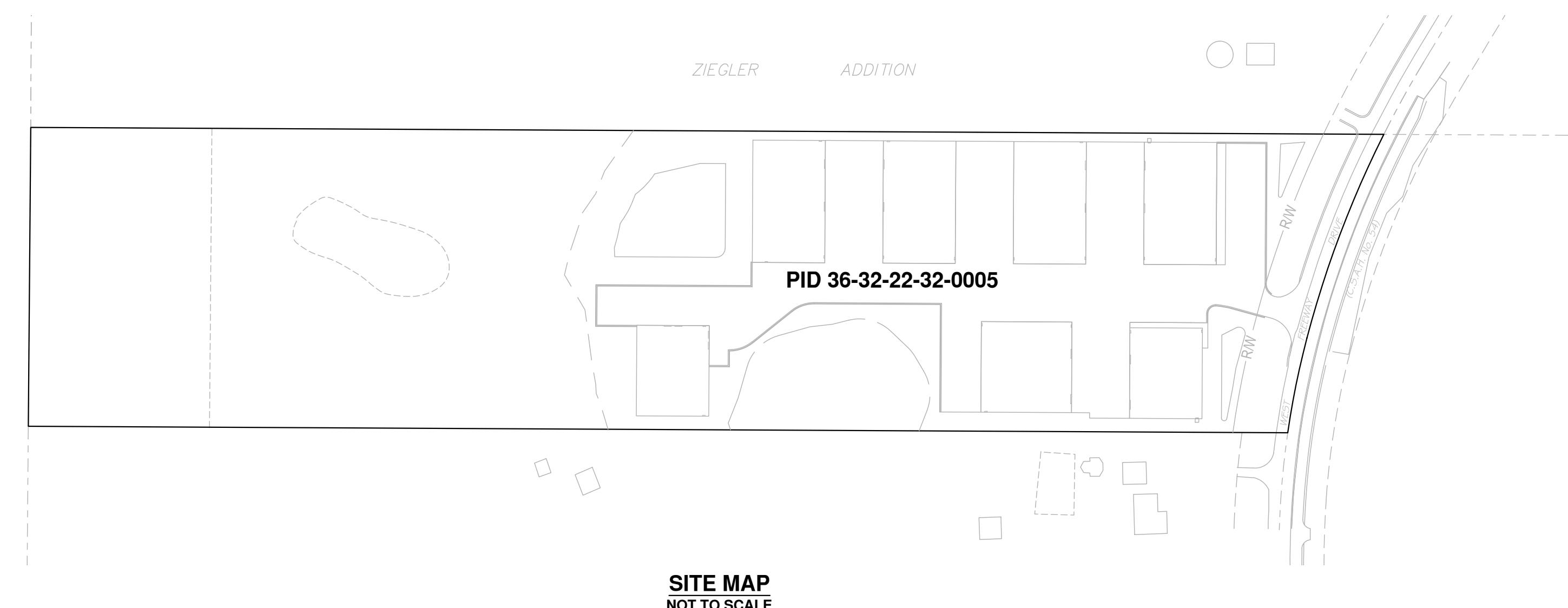


ENGINEERING PLAN

FOR COLUMBUS INDUSTRIAL PARK WEST FREEWAY DR. NE COLUMBUS, MN 55038

PREPARED FOR:
BROWN BEAGLE, LLC
4 HAWK LANE
NORTH OAKS, MN 55127
CONTACT: JON SAWYER
PHONE: (612) 743-3503
EMAIL: JON.SAWYER@COMCAST.NET



PREPARED BY:



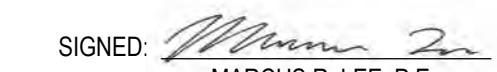
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PROJECT NUMBER: 21136.4

I HEREBY CERTIFY THAT THIS PLAN WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
REGISTERED ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.

DATE: 08-15-2023

REGISTRATION NO: 52664

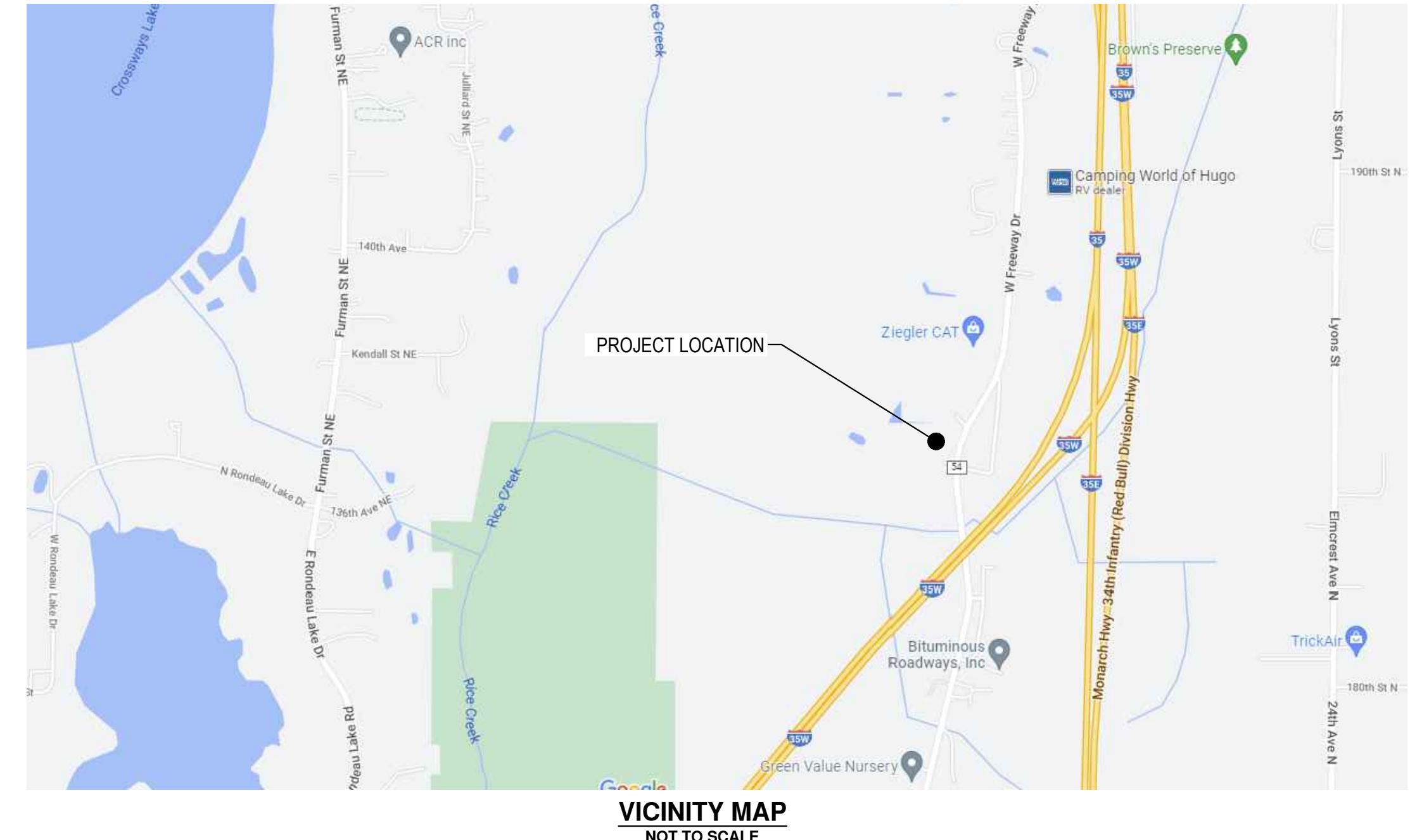
SIGNED: 
MARCUS R. LEE, P.E.

CONTACT: MARCUS LEE

PHONE: 612-428-3027

EMAIL: MLEE@WINDSORENGINEERS.COM

500 NORTH 3RD STREET, SUITE 100 MINNEAPOLIS, MN 55401



SHEET INDEX

- G001 COVER SHEET
- G002 SURVEY
- G003 EXISTING CONDITIONS & DEMOLITION PLAN
- G004 NOTES
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- C101 SITE PLAN - TURN LANES
- C102 SITE PLAN PHASE 1
- C103 COMPOSITE UTILITY PLAN
- C110 STORMWATER POLLUTION PREVENTION PLAN
- C111 GRADING AND EROSION CONTROL PLAN
- C112 GRADING AND EROSION CONTROL PLAN
- C113 CROSS SECTIONS
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- C400 TRAFFIC CONTROL PLAN BYPASS LANE
- C401 TRAFFIC CONTROL PLAN BYPASS LANE
- C402 TRAFFIC CONTROL PLAN RIGHT TURN LANE
- C403 TRAFFIC CONTROL PLAN RIGHT TURN LANE
- L100 LANDSCAPE PLAN
- L101 LANDSCAPE NOTES AND DETAILS
- E100 LIGHTING PLAN

CITY OF COLUMBUS

JIM WINDINGSTAD - PUBLIC WORKS (CITY OF COLUMBUS)

KEVIN BITTNER - CITY ENGINEER (BOLTON & MENK)

BEN GUTKNECHT - ASSOCIATE PLANNER (CITY OF COLUMBUS)

ELIZABETH MURSKO - CITY ADMINISTRATOR (CITY OF COLUMBUS)

ALAN NEWMAN - FIRE CHIEF (FOREST LAKE FIRE DEPARTMENT)

ANNA GRACE - WATERSHED (RICE CREEK WATERSHED DISTRICT)

BRANDON ULVenes - COUNTY DEVELOPMENT REVIEWER (ANOKA COUNTY)

CITY OF COLUMBUS

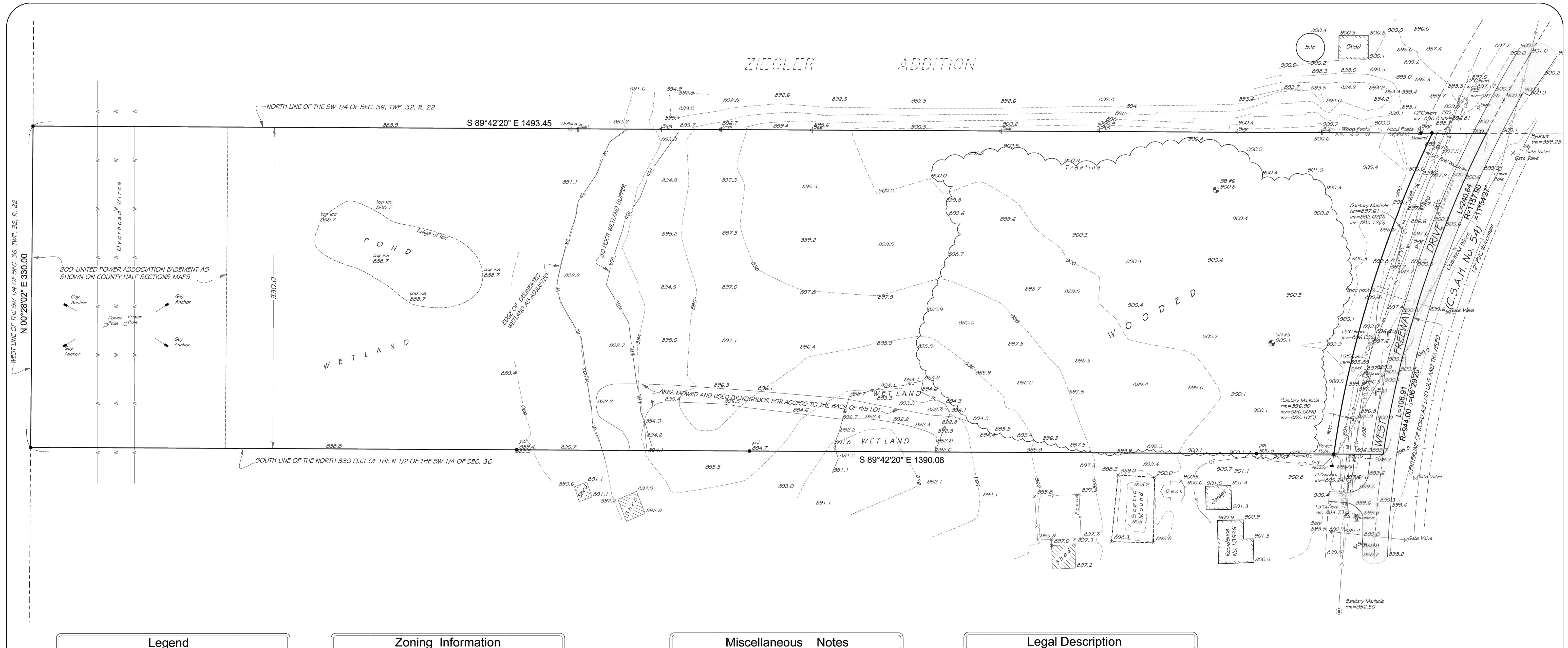
BY _____ DATE _____
PUBLIC WORKS DIRECTOR

BY _____ DATE _____
CITY ENGINEER

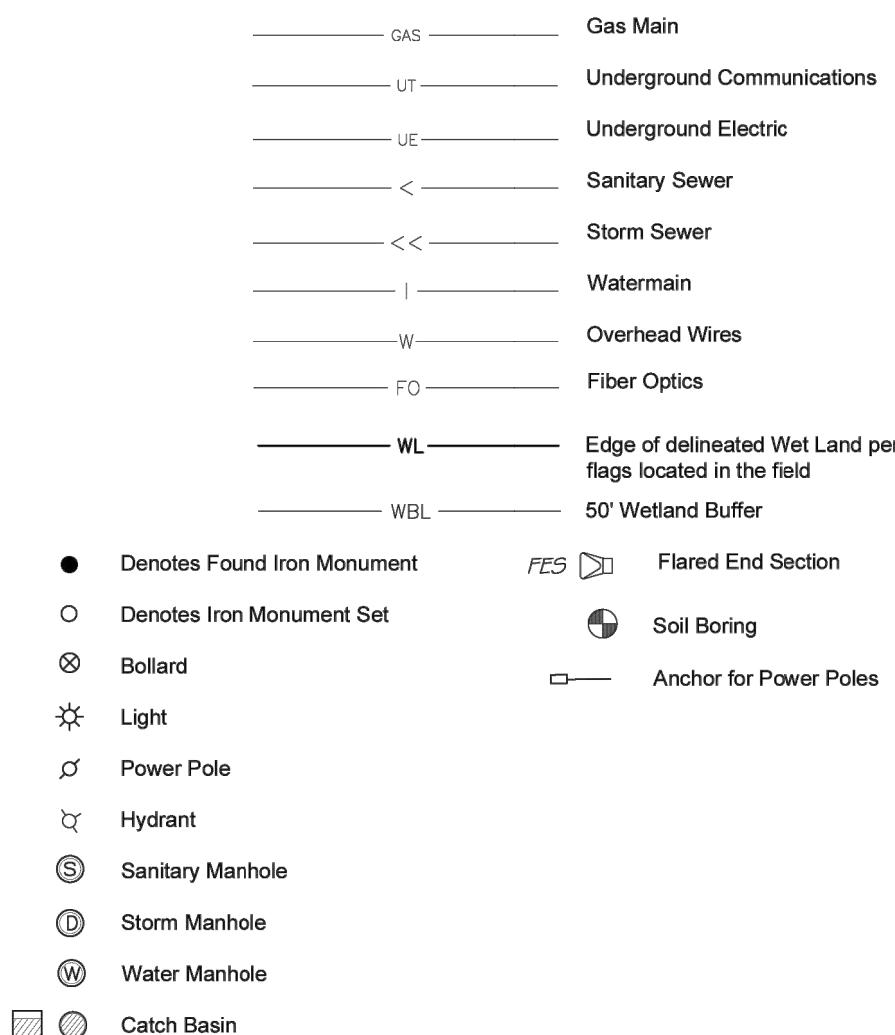
BY _____ DATE _____
COMMUNITY DEVELOPMENT DIRECTOR

BY _____ DATE _____
FIRE MARSHAL

APPROVED FOR COUNTY TURN LANE ITEMS ONLY
BY _____ DATE _____
ANOKA COUNTY ENGINER



Legend



Zoning Information

Property Currently Zoned: L 1 - Light Industrial
 Zoning Ordinance Requirements:
 Building Setbacks
 Front - 30 feet
 Side Yard - 10 feet
 Rear Yard - 10 feet
 Maximum Building Height - 50 feet
 Maximum lot area to be covered by buildings - 50%
 Floor Area Ratio - 1:1

Refer to City code for additional requirements, exceptions and modifications.
 Information per City of Columbus Zoning ordinance.
 Refer questions to:

City of Columbus
 Planning & Zoning
 16319 Kettle River Blvd. NE
 Columbus, MN 55025
 phone: 651-464-3120

Miscellaneous Notes

- ① Property Address: Unassigned address, Columbus, MN 55038
 PID No.: 36-32-22-32-0005
- ② Area of Parcel = 472,622 sq. ft. (10.85 acres) Area includes right of way
- ③ By graphic interpretation only, this property is in Flood Zone "X" (area of minimal flooding) and Zone "A" (area prone to flooding) per FEMA panel map number 27003C0360E, effective on 12/16/2015.
- ④ Title insurance commitment showing property description and any encumbrances of record not provided, survey subject to change.
 The only easements shown are from plats of record or information provided by client.
- ⑤ Property located in Section 36, Township 32, Range 22, Anoka County, Minnesota.
- ⑥ Benchmark: MnDOT monument "Trout MnDOT RM 1"
 Elevation = 915.106 feet (NAVD 88)
- ⑦ Above ground utility locations have been field located as shown. All underground utility services which serve the property have attempted to be located through the services of Gopher State One Call per ticket number 213500458. Utilities as shown are from available maps and markings located in the field, locations are only approximate. Before any digging contact Gopher State One Call (651-454-0002 or 811)

Legal Description

That part of the North 330 feet of the North Half of the Southwest Quarter of Section 36, Township 32, Range 22 Anoka County, Minnesota, lying Westerly of the centerline of County State Aid Highway No. 21, Except Road.
 Subject to easements of record.

Abstract property.
 Description per County Tax Records.

Coordinate system based on Anoka County coordinates

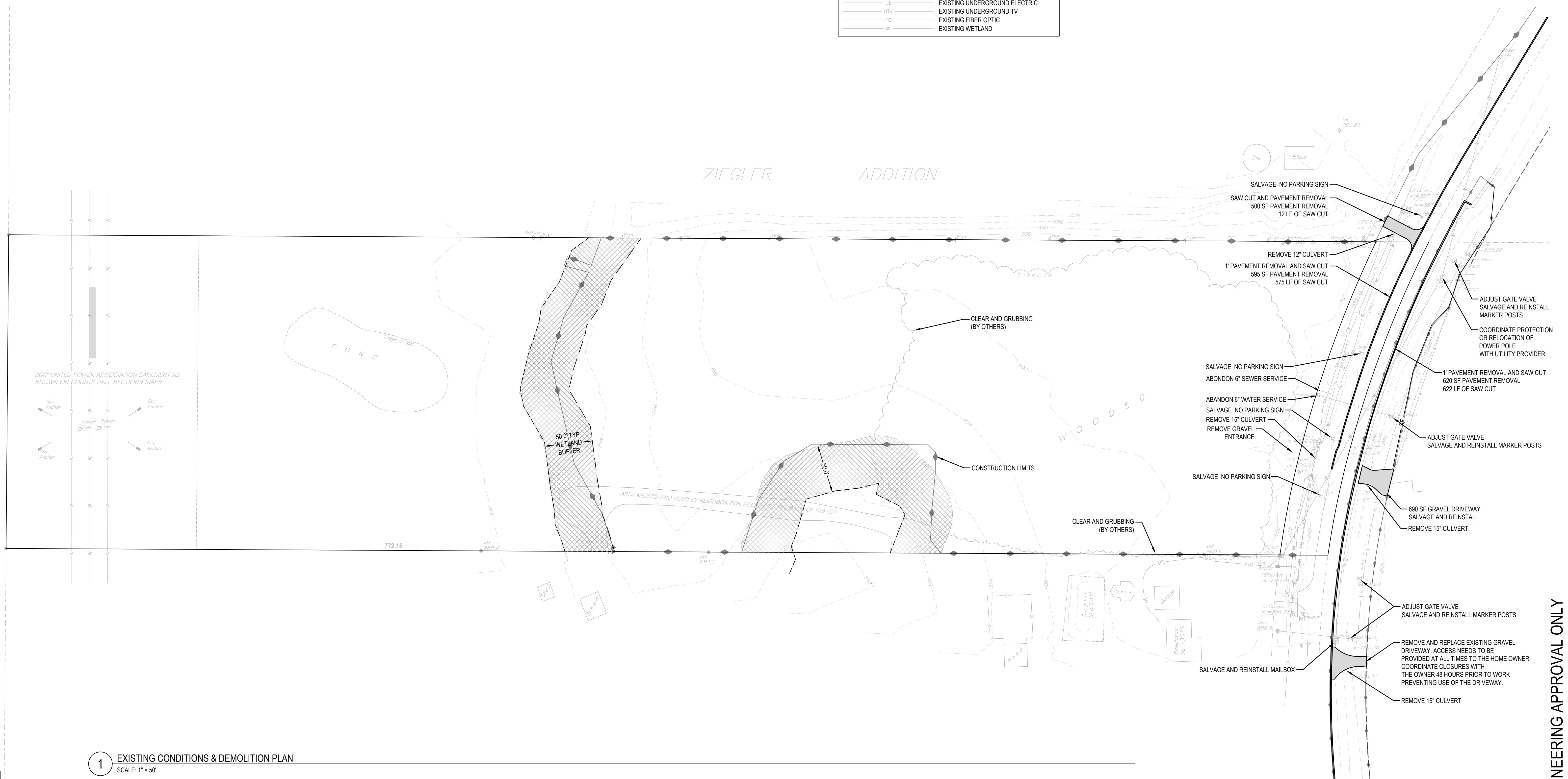
SCALE IN FEET
 0 50 100 150

GENERAL NOTES:

1. NO DISTURBANCE WITHIN THE WETLANDS.
2. LIMIT DISTURBANCE WITHIN WETLAND BUFFERS.
3. EXISTING ACCESS TO BE REMOVED AND REPLACED.
4. COUNTY ROAD SAW CUT CAN HAPPEN PRIOR TO TURN LANE CONSTRUCTION BUT PAVEMENT MUST STAY IN PLACE UNTIL TRAFFIC CONTROL AND TURN LANE CONSTRUCTION IS READY TO START.

EXISTING LEGEND	
—	EXISTING BOUNDARY LINE
—	EXISTING CONTOUR- MINOR
—	EXISTING CONTOUR- MAJOR
—	EXISTING RIGHT OF WAY
—	EXISTING EASEMENT LINE
—	EXISTING SANITARY SEWER
—	EXISTING STORM WATER
—	EXISTING WATER MAIN
—	EXISTING OVERHEAD ELECTRIC
—	EXISTING UNDERGROUND ELECTRIC
—	EXISTING UNDERGROUND TV
—	EXISTING FIBER OPTIC
—	EXISTING WETLAND

SITE PLAN LEGEND	
◆	CONSTRUCTION LIMITS



1 EXISTING CONDITIONS & DEMOLITION PLAN



Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS BEFORE YOU DIG.
CAUTION: UTILITY INFORMATION IS APPROXIMATE.
VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

Rewards:

LINE IS 1" ON FULL SCALE DRAWING



WINDSOR ENGINEERS
Vancouver, WA
Duluth + Minneapolis, MN
www.windsorengineers.com
Project No: 21136.4
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I HEREBY CERTIFY THAT THIS PLAN WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
REGISTERED ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.
DATE: 08-15-2023
REGISTRATION NO: 52664
SIGNED:
MARCUS R. LEE, P.E.

COLUMBUS INDUSTRIAL PARK
WEST FREEWAY DR. NE
COLUMBUS, MN 55038
ENGINEERING PLAN
Issue Date: 08/15/2023

Project Manager **MRL**
Drawn by **CKJ**
Checked by **MRL**

EXISTING CONDITIONS & DEMOLITION PLAN

G003

ISSUED FOR ENGINEERING APPROVAL ONLY

CONTACT INFORMATION

GENERAL ABBREVIATIONS

PROJECT APPLICANT / OWNER	ABD APPROVED BACKFLOW DEVICE
BROWN BEAGLE, LLC	
4 HAWK LANE	
NORTH OAKS, MN 55127	
CONTACT: JON SAWYER	
JON.SAWYER@COMCAST.NET	
PHONE: (612) 743-3503	
CIVIL ENGINEER	
WINDSOR ENGINEERS	
500 NORTH 3RD STREET, SUITE 100	
MINNEAPOLIS, MN 55401	
CONTACTS: MARCUS LEE	
MLEE@WINDSORENGINEERS.COM	
PHONE: (612) 428-3027	
SURVEYOR	
DEMARC LAND SURVEYING AND ENGINEERING	
7601 73RD AVENUE NORTH	
MINNEAPOLIS, MN 55428	
CONTACTS: JEFFREY PRASCH	
JEFFPRASCH@DEMARCINC.COM	
PHONE: (763) 560-3093	

EROSION CONTROL CODING:

CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL BMP'S AS SHOWN ON THESE PLANS IN ACCORDANCE WITH REQUIREMENTS.	
IP INLET PROTECTION	
SF SILT FENCE	
CE CONSTRUCTION ENTRANCE	
WO CONCRETE WASHOUT	
DC DUST CONTROL	
MU MULCH AND/OR MATTING	
PS TEMPORARY & PERMANENT SEEDING	
TP TREE PROTECTION	
WL WORK LIMITS & HIGH VISIBILITY FENCE	
PC PLASTIC COVERING	
SP STOCKPILE	

PROPERTY DATA	
PARCEL NUMBER(S)	36-32-22-32-0005
LOCATION / ADDRESS	UNASSIGNED
AREA	10.85
ZONING	LIGHT INDUSTRIAL (LI)
CITY LIMITS	PARCEL IS WITHIN CITY LIMITS
WATER DISTRICT	COLUMBUS
SEWER DISTRICT	COLUMBUS
FIRE DISTRICT	COLUMBUS

WARNING:
LOCATION OF UNDERGROUND UTILITIES
TO BE VERIFIED BY CONTRACTOR. CALL
BEFORE DIGGING. GOPHER STATE ONE
CALL 1-800-252-1166 REQUIRED BY LAW

GENERAL PLAN NOTES

1. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION. A MINIMUM OF TWO FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 (UTILITY NOTIFICATION CENTER) FOR LOCATION MARK-UP OF EXISTING UTILITIES
2. ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF:
 - THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION SHALL GOVERN. AVAILABLE AT: <http://www.dot.state.mn.us/pre-letting/spec/index.html>
 - ANOKA COUNTY STANDARDS
 - THE CITY OF COLUMBUS STANDARDS
3. IN CASE OF A CONFLICT BETWEEN THE REGULATORY STANDARDS OR SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT WILL PREVAIL.
4. ANY CHANGES TO THE DESIGN AND/OR CONSTRUCTION SHALL BE APPROVED BY THE OWNER OR ENGINEER.
5. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER CONSTRUCTION NOT SPECIFICALLY SHOWN ON THE PLANS. PLANS FOR STRUCTURES SUCH AS BRIDGES, BUILDINGS, TANKS, VAULTS, ROCKERIES, AND RETAINING WALLS MAY REQUIRE A SEPARATE REVIEW AND APPROVAL BY THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
6. A COPY OF THESE APPROVED PLANS SHALL BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONSTRUCTION EASEMENTS AND PERMITS NECESSARY TO PERFORM THE WORK.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
9. PUBLIC AND PRIVATE DRAINAGEWAYS SHALL BE PROTECTED FROM POLLUTION. NO MATERIAL IS TO BE DISCHARGED TO OR DEPOSITED IN STORMWATER SYSTEMS THAT MAY RESULT IN VIOLATION OF STATE OR FEDERAL WATER QUALITY STANDARDS.
10. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN APPROVED PUBLIC RIGHT-OF-WAY WORK PERMIT PRIOR TO ANY CONSTRUCTION ACTIVITY WITHIN THE RIGHT-OF-WAY.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ALL TRAFFIC CONTROL CONTROLS SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION. TWO-WAY TRAFFIC MUST BE MAINTAINED AT ALL TIMES ON THE ADJACENT PUBLIC STREETS.
12. ANY PUBLIC OR PRIVATE CURB, GUTTER, SIDEWALK, OR ASPHALT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO CITY/COUNTY STANDARDS AND PRACTICES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ADJACENT UTILITIES WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WATER, SANITARY SEWER, STORMWATER, POWER, TELEPHONE, CABLE TV, GAS, IRRIGATION, AND STREET LIGHTING. THE CONTRACTOR SHALL NOTIFY RESIDENTS AND BUSINESSES 48 HOURS IN ADVANCE OF ANY WORK AFFECTING ACCESS OR SERVICE AND SHALL MINIMIZE INTERRUPTIONS TO DRIVEWAYS FOR RESIDENTS AND BUSINESSES ADJACENT TO THE PROJECT.
14. ALL LAWN AND VEGETATED AREAS DISTURBED WILL BE RESTORED TO ORIGINAL CONDITION. ANY DISTURBANCE OR DAMAGE TO OTHER PROPERTY ON ADJACENT PARCELS OR IN THE PUBLIC RIGHT OF WAY SHALL ALSO BE REPAIRED OR RESTORED TO ORIGINAL CONDITION.
15. ALL MATERIALS AND METHODS OF CONSTRUCTION AND INSTALLATION FOR WATER, SANITARY SEWER, AND STORM FACILITIES SHALL CONFORM TO THE CITY OF DULUTH CONSTRUCTION STANDARDS. CONSTRUCTION SHALL BE AS PER THE MOST CURRENT STANDARD DETAIL CONTAINED THEREIN.
16. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES AS SHOWN ON THE DRAWINGS ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF AND PROVIDE PROTECTION FOR ALL UTILITIES AND STRUCTURES. OVERHEAD UTILITIES ARE NOT SHOWN.
17. EXISTING UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR OR BY THE UTILITY.
18. WHERE THE CONTRACTOR MUST RELOCATE WATER AND GAS UTILITIES, SHUTDOWN SHALL ONLY BE ACCOMPLISHED BY THE CITY OR UTILITY PURVEYOR.
19. ALL OPEN TRENCHES THAT IMPACT PUBLIC ACCESS OR OTHER PROJECT WORK ACCESS OUTSIDE OF THIS PROJECT SITE, MUST BE STEEL PLATED OR BACKFILLED AND PAVED WITH AT LEAST 2" OF COLD MIX TO ADJACENT EXISTING GRADE AT THE END OF EACH WORKDAY.
20. NOTIFY ADJACENT RESIDENCES AT LEAST ONE DAY PRIOR TO COMMENCING WORK ADJACENT TO THEIR RESIDENCES.
21. SAWCUT ALL PAVEMENT JOIN LINES. WHERE THERE IS A PREVIOUS PAVING EDGE OR CRACK WITHIN 5' OF THE SAWCUT EDGE, REMOVE THE PAVEMENT TO THE PREVIOUS PAVING EDGE.
22. THE CONTRACTOR SHALL COMPLY WITH MINNESOTA REQUIREMENTS FOR TRENCH SAFETY.
23. THE CONTRACTOR SHALL REPLACE ALL SURVEY MONUMENTS THAT ARE DESTROYED BY THE CONSTRUCTION.
24. ALL WATER PIPING SHALL BE CONSTRUCTED WITH 5' MINIMUM COVER, 1' VERTICAL SEPARATION BETWEEN UTILITIES, AND A MINIMUM OF 10' HORIZONTAL SEPARATION AND 18" ABOVE SEWER LINES, UNLESS OTHERWISE NOTED.
25. THE CONTRACTOR SHALL RESTORE PAVEMENT AND LANDSCAPING DISTURBED BY THE CONSTRUCTION TO THE PREVIOUSLY UNDISTURBED CONDITION.
26. CONTRACTOR TO DISPOSE OF TREES, SHRUBS, SOD AND OTHER DEBRIS IN A PROPER MANNER OF THE CONTRACTOR'S CHOOSING.

GENERAL CIVIL NOTES

SURVEY
TOPOGRAPHIC & BOUNDARY SURVEY BY DEMARC LAND SURVEYORS AND ENGINEERING
BENCHMARK: MNDOT MONUMENT "TROUT MN DT RM"
ELEVATION: 915.106 (NAVD88)

STORM DRAINAGE:
ON-SITE STORM SEWER IMPROVEMENTS SHALL CONFORM TO THE LATEST VERSION OF THE UPC, AND CONFORM TO MNDOT SPECIFICATIONS WHERE NOTED.

THE CONTRACTOR SHALL MAINTAIN 6' MINIMUM VERTICAL AND 3' MINIMUM HORIZONTAL CLEARANCE (OUTSIDE SURFACES) BETWEEN STORM DRAIN PIPES AND OTHER UTILITY PIPES AND CONDUITS. FOR CROSSINGS OF SANITARY SEWER LINES, THE MINNESOTA POLLUTION CONTROL AGENCY CRITERIA APPLY.

STORM DRAIN PIPE, BENDS, AND FITTINGS SHALL BE PVC, ASTM D 304, SDR 35, OR SMOOTH INTERIOR, HIGH DENSITY POLYETHYLENE CORRUGATED PIPE ASHTO M252 OR M294, TYPE S AS PRODUCED AND SPECIFIED BY ADS, PRODUCT NAME N12, OR APPROVED EQUAL. ALL STORM SEWER FITTINGS AND PIPE JOINTS SHALL BE GASKETED.

ALL STORM SEWER PIPE SHALL HAVE A MINIMUM 12" DIAMETER WITHIN ROADWAY

ALL ON-SITE STORMWATER FACILITIES SHALL BE PRIVATELY MAINTAINED BY THE CURRENT OR FUTURE PROPERTY OWNER(S).

ALL VAULT, UTILITY BOX, INLET, MANHOLE AND CLEANOUT RIMS SHALL BE ADJUSTED TO FINISH GRADE UNLESS OTHERWISE NOTED.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN ANY STORM SYSTEM PIPING TO EXISTING DRAINAGE APPURTENANCES TO REMAIN.

CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS.

ARCHAEOLOGY

IF ANY CULTURAL RESOURCES AND/OR HUMAN REMAINS ARE DISCOVERED IN THE COURSE OF UNDERTAKING THE DEVELOPMENT ACTIVITY, THE DEPARTMENT OF ARCHAEOLOGY AND HISTORIC PRESERVATION SHALL BE NOTIFIED. FAILURE TO COMPLY WITH THESE STATE REQUIREMENTS MAY CONSTITUTE A CLASS C FELONY, SUBJECT TO IMPRISONMENT AND/OR FINES.

GRADING & EROSION CONTROL NOTES

FINISH GRADE CONTOURS ARE TO TOP OF FINISHED SURFACE IN IMPERVIOUS AREAS AND TOP OF REPLACED STRIPPINGS IN PERVIOUS AREAS.

CUT AND FILL QUANTITIES HAVE NOT BEEN DETERMINED. CONTRACTOR TO PERFORM QUANTITY TAKEOFF FOR ESTIMATING PURPOSES. CONTRACTOR SHALL BE RESPONSIBLE FOR HAUL-OFF EXCESS MATERIAL.

AMERICANS WITH DISABILITIES ACT (ADA) NOTES

1. CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS ON THE PROJECT. THE ADA COMPONENTS MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL ACCESSIBILITY RULES, CODES, AND REGULATIONS.

2. FINISHED SURFACES ALONG THE ACCESSIBLE PATH OF TRAVEL FROM PARKING STALLS, PUBLIC TRANSPORTATION, AND PEDESTRIAN ACCESS WAYS TO THE POINT(S) OF ACCESSIBLE BUILDING INGRESS AND EGRESS SHALL COMPLY WITH ADA CODE REQUIREMENTS.

3. PARKING SPACE AND AISLE SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

4. CURB RAMPS SLOPE SHALL NOT EXCEED 1:12 (8.3%) AND RAMPS LENGTH IS LIMITED TO 15 FEET.

5. LANDINGS SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL HAVE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

6. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE SHALL PROVIDE A MINIMUM OF 36 INCH UNOBSTRUCTED WIDTH OF TRAVEL. SLOPE SHALL BE NO GREATER THAN 1:20 (5.0% OR 5/8" PER FOOT) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL BE GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%) FOR A MAXIMUM DISTANCE OF 30 FEET SHALL BE PROVIDED INCLUDING HANDRAILS. THE RAMP SHALL HAVE ACCESSIBLE HAND RAILS AND LANDINGS ON EACH END WITH A SLOPE IN ANY DIRECTION NOT EXCEEDING 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%).

7. DOORWAYS SHALL HAVE A LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ACCESSIBILITY STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS AND APPROVED BY THE OWNER'S REPRESENTATIVE.

8. WHERE PEDESTRIAN ACCESS ROUTES ARE CONTAINED WITHIN A STREET OR HIGHWAY RIGHT-OF-WAY, THE GRADE OF THE PEDESTRIAN ACCESS ROUTE IS PERMITTED TO EQUAL THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY, EXCEPT THAT WHERE PEDESTRIAN ACCESS ROUTES ARE CONTAINED WITHIN PEDESTRIAN STREET CROSSINGS A MAXIMUM GRADE OF 5 PERCENT IS REQUIRED. (EXCERPT FROM PROWAG)

14. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.

15. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.

16. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.

STANDARD NOTES FOR EROSION CONTROL PLAN

1. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTIONS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)

2. THE IMPLEMENTATIONS OF THESE ESC PLANS AND THE CONSTRUCTIONS, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR, UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.

3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEMS, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.

5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS, DURING THE CONSTRUCTION PERIOD. THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.

6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.

7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT.

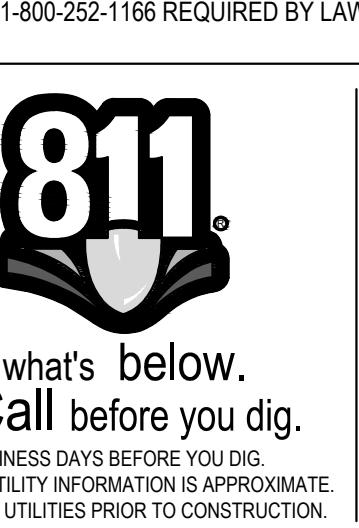
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATIONS SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.

9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

10. THE PROPOSED STORMWATER FACILITY MUST REMAIN OFFLINE UNTIL THE PROJECT IS COMPLETE AND VEGETATION THROUGHOUT THE SITE HAS BEEN ESTABLISHED. IF AT ANY TIME THE FACILITY BECOMES INUNDATED WITH SEDIMENT FILLED RUNOFF, THE TOP 2' OF MATERIAL MUST BE REMOVED AND REPLACED PRIOR TO PROJECT COMPLETION.

RECOMMENDED CONSTRUCTION SEQUENCE FOR EROSION CONTROL

1. PRE-CONSTRUCTION MEETING.
2. FLAG OR FENCE CLEARING LIMITS
3. POST NOTICE OF CONSTRUCTION ACTIVITY SIGN WITH THE NAME AND PHONE NUMBER OF EROSION SEDIMENT CONTROL SUPERVISOR.
4. INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
5. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
6. INSTALL TREE PROTECTION FENCING.
7. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
8. CONSTRUCT SEDIMENT POND(S) AND TRAP(S).
9. GRADE AND STABILIZE CONSTRUCTION ROADS.
10. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPT DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
11. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH STORMWATER MANAGEMENT MANUAL FOR WESTERN MINNESOTA AND MANUFACTURER'S RECOMMENDATIONS
12. RELOCATE SURFACE WATER CONTROLS AND EROSION CONTROL MEASURE OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CLARK COUNTY EROSION AND SEDIMENT CONTROL STANDARDS.
13. COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
14. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
15. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
16. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.



NOTES:

- SEE SHEET SD-1 FOR SILT FENCE AND ROCK CONSTRUCTION ENTRANCE DETAIL.
- PARKING LOT TO BE HEAVY DUTY PAVEMENT UNLESS OTHERWISE NOTED.
- SEE ANOKA COUNTY DETAIL FOR TURNLANE TYPICAL SECTION.

EXISTING LEGEND	
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR- MINOR
	EXISTING CONTOUR- MAJOR
	EXISTING RIGHT OF WAY
	EXISTING EASEMENT LINE
	EXISTING SANITARY SEWER
	EXISTING STORM WATER
	EXISTING WATER MAIN
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TV
	EXISTING FIBER OPTIC
	EXISTING WETLAND

SITE PLAN LEGEND	
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR- MINOR
	EXISTING CONTOUR- MAJOR
	PROPOSED CONTOUR- MINOR
	PROPOSED CONTOUR- MAJOR
	PROPOSED PROPERTY LINE
	PROPOSED RIGHT OF WAY
	PROPOSED EASEMENT LINE
	PROPOSED CURB AND GUTTER
	PROPOSED SANITARY SEWER
	SANITARY SEWER LATERAL
	PROPOSED STORM WATER
	PROPOSED SUB DRAIN
	PROPOSED WATER MAIN
	PROPOSED WATERLINE LATERAL
	CONSTRUCTION LIMITS
	PHASE LINE

(4)-PARKING MAY NOT OCCUPY MORE THAN 1/3 OF REQUIRED FRONT YARD AREA IN ALL COMMERCIAL, INDUSTRIAL AND MIXED-USE DISTRICTS INTERSECTION.

(6)-NO STRUCTURE, EXCEPT FENCES AND SIGNPOSTS, SHALL COME WITHIN 35 FEET OF ANY RR DISTRICT BOUNDARY LINE.

(8)-LOT COVERAGE MAY EXCEED 1:2 RATIO OR MAXIMUM 50% COVERAGE UPON A CASE-BY-CASE-DETERMINATION BY THE CITY ENGINEER THAT THE EXISTING OR PROPOSED STORMWATER MANAGEMENT SYSTEM CAN ACCOMMODATE A HIGHER LOT COVERAGE RATIO.

OFFICES. ONE (1) PARKING SPACE FOR EACH TWO HUNDRED (200) SQUARE FEET OF GROSS FLOOR AREA.

WAREHOUSE, STORAGE, HANDLING OF BULK GOODS. THE SPACE WHICH IS SOLELY USED AS OFFICE SHALL COMPLY WITH OFFICE USE REQUIREMENTS PLUS ONE (1) FOR EACH 2,000 SQUARE FEET OF GROSS FLOOR AREA PLUS ONE (1) SPACE FOR EACH EMPLOYEE ON MAXIMUM SHIFT AND ONE (1) SPACE FOR EACH COMPANY OWNED TRUCK IF NOT STORED IN THE PRINCIPLE BUILDING.

1 HANDICAP SPACE PROVIDED PLUS 10' x 20' SPACES.

PARKING SETBACK:

FRONT LOT LINE = 20 FEET

SIDE LOT LINE = 10 FEET

REAR LOT LINE = 35 FEET

BUILDING SETBACK:

FRONT LOT LINE = 75 FEET

SIDE LOT LINE = 10 FEET

REAR LOT LINE = 35 FEET

PARKING AND BUILDING IMPERVIOUS AREA = 155,454 SF / 3.569 AC

PARKING STALLS SHALL BE NO CLOSER THAN 20 FEET FROM THE FRONT PROPERTY LINE OR 10 FEET TO THE SIDE AND REAR PROPERTY LINES. NO PARKING SHALL OCCUPY PUBLIC EASEMENT AREA. PARKING SPACES SHALL BE A MINIMUM OF 10 FEET BY 20 FEET IN AREA AND SERVED BY A 24 FOOT WIDE DRIVE AISLE OR DRIVEWAY. ONE-WAY PARKING AISLES MAY BE NARROWER, SUBJECT TO SITE PLAN REVIEW AND APPROVAL BY THE CITY COUNCIL.

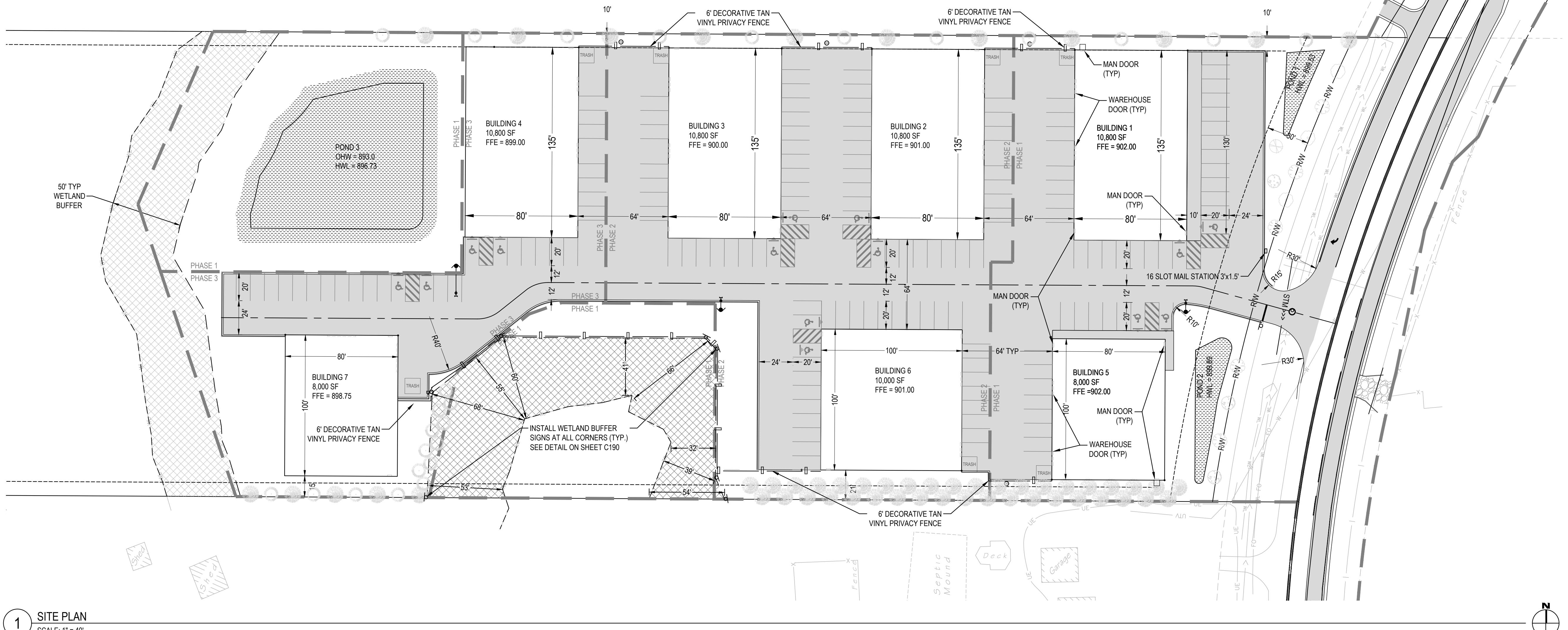
THE GENERAL MINIMUM PARKING REQUIREMENT, EXCEPT WHERE SPECIFICALLY LISTED BELOW, SHALL BE ONE (1) PARKING SPACE FOR EACH EMPLOYEE PLUS ONE (1) PARKING SPACE FOR EACH TWO (2) INVITÉS OR ONE (1) PARKING SPACE FOR EACH TWO HUNDRED (200) SQUARE FEET OF GROSS FLOOR AREA OF WAREHOUSE SPACE, WHICHEVER PRODUCES THE HIGHER NUMBER OF PARKING SPACES. THE PLANNING COMMISSION MAY RECOMMEND AND THE CITY COUNCIL MAY MODIFY PARKING REQUIREMENTS OR ESTABLISH PARKING STANDARDS, BASED UPON FINDING THAT CONFIRM A DIFFERENT NUMBER OR CONFIGURATION OF PARKING SPACES ARE ADEQUATE TO SERVE A PROPOSED USE OR IF THE USE IS NOT LISTED WITHIN THESE PROVISIONS.

MANUFACTURING, FABRICATING, OR PROCESSING OF A PRODUCT OR MATERIAL. ONE (1) PARKING SPACE FOR EACH EMPLOYEE ON THE LARGEST SHIFT, ONE (1) SPACE FOR EACH COMPANY OWNED TRUCK THAT IS NOT STORED INSIDE THE BUILDING AND GUEST PARKING AS MAY BE NECESSARY FOR THE BUSINESS.

PARKING REQUIREMENTS

DESCRIPTION	SQUARE FEET	REQUIRED PARKING STALLS PER SQUARE FEET	PROPOSED PARKING STALLS PER SQUARE FEET
OFFICE 15% - 20%	1,600	8 STANDARD + 1 HC	9 STANDARD + 1 HC
WAREHOUSE 80% - 85%	6,400 - 9,200	4-5 STANDARD	10-11 + 1 HC
7 BUILDINGS	69,200	91 + 7 HC	138 + 14 HC
TOTAL	69,200	91 + 7 HC	138 + 14 HC

ZIEGLER ADDITION



Know what's below.
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Revisions:

LINE IS 1" ON FULL SCALE DRAWING



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Duluth + Minneapolis, MN
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I HEREBY CERTIFY THAT THIS PLAN WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
REGISTERED ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.
DATE: 08-15-2023
REGISTRATION NO: 52664
SIGNED:
MARCUS R. LEE, P.E.

COLUMBUS INDUSTRIAL PARK
WEST FREEWAY DR. NE
COLUMBUS, MN 55038

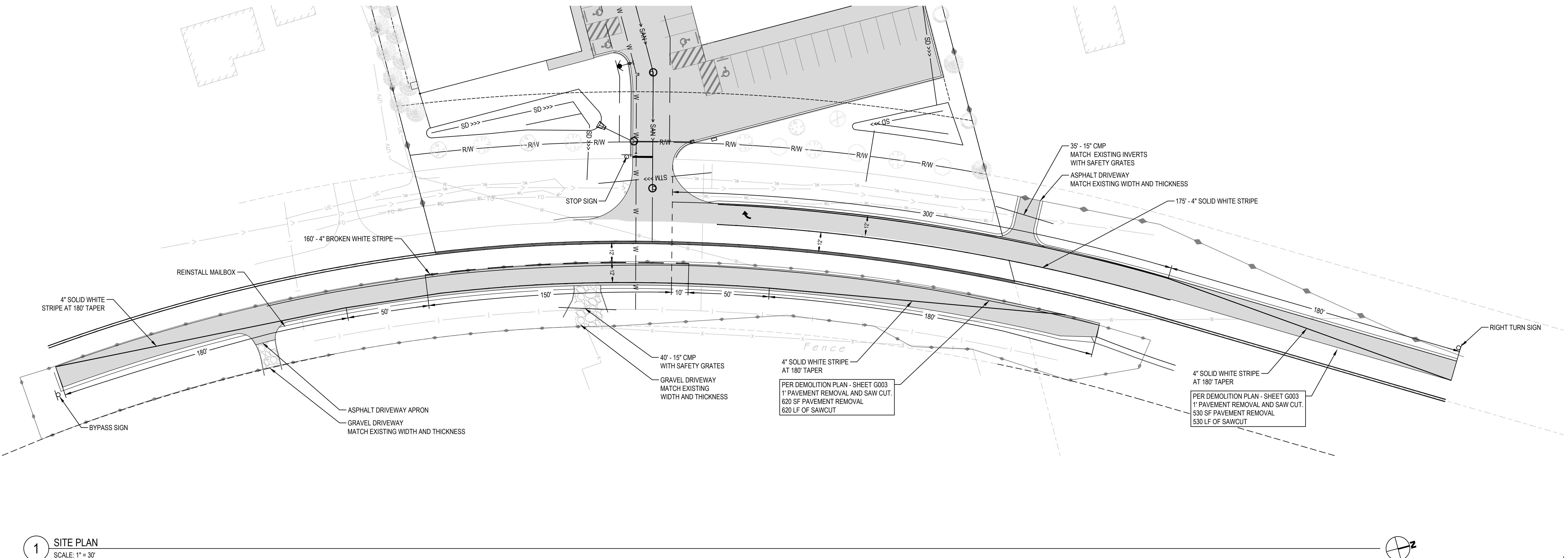
ENGINEERING PLAN
Issue Date: 08/15/2023

Project Manager **MRL**
Drawn by **CKJ**
Checked by **MRL**

SITE PLAN

C100

ISSUED FOR ENGINEERING APPROVAL ONLY



1 SITE PLAN

SCALE: 1' = 30'



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COLUMBUS, MN 55038
ENGINEERING PLAN
Issue Date: 08/15/2023

Project Manager **MRL**
Drawn by **CKJ**
Checked by **MRL**

SITE PLAN - TURN LANES**C101**

EXISTING LEGEND	
>	EXISTING BOUNDARY LINE
><	EXISTING CONTOUR- MINOR
><<	EXISTING CONTOUR- MAJOR
>>	PROPOSED CONTOUR- MINOR
>>>	PROPOSED CONTOUR- MAJOR
R/W	EXISTING RIGHT OF WAY
W	EXISTING SANITARY SEWER
UE	EXISTING STORM WATER
UTV	EXISTING WATER MAIN
FO	EXISTING OVERHEAD ELECTRIC
WL	EXISTING UNDERGROUND ELECTRIC
> SAN >	EXISTING SANITARY SEWER
> SAN >>	PROPOSED SANITARY SEWER
STM >>>	EXISTING UNDERGROUND TV
SD >>>	PROPOSED STORM WATER
W - W	PROPOSED SUB DRAIN
W - W	PROPOSED WATER MAIN
WATERLINE LATERAL	PROPOSED WATERLINE LATERAL
CONSTRUCTION LIMITS	CONSTRUCTION LIMITS
PHASE LINE	PHASE LINE

SITE PLAN LEGEND	
>	EXISTING BOUNDARY LINE
><	EXISTING CONTOUR- MINOR
><<	EXISTING CONTOUR- MAJOR
>>	PROPOSED CONTOUR- MINOR
>>>	PROPOSED CONTOUR- MAJOR
R/W	EXISTING RIGHT OF WAY
W	PROPOSED PROPERTY LINE
W	PROPOSED RIGHT OF WAY
W	PROPOSED EASEMENT LINE
W	PROPOSED SANITARY SEWER
W	PROPOSED STORM WATER
W	PROPOSED OVERHEAD ELECTRIC
W	PROPOSED UNDERGROUND ELECTRIC
W	PROPOSED SANITARY LATERAL
W	PROPOSED STORM WATER LATERAL
W	PROPOSED SUB DRAIN
W	PROPOSED WATER MAIN
WATERLINE LATERAL	PROPOSED WATERLINE LATERAL
CONSTRUCTION LIMITS	CONSTRUCTION LIMITS
PHASE LINE	PHASE LINE

NOTES:

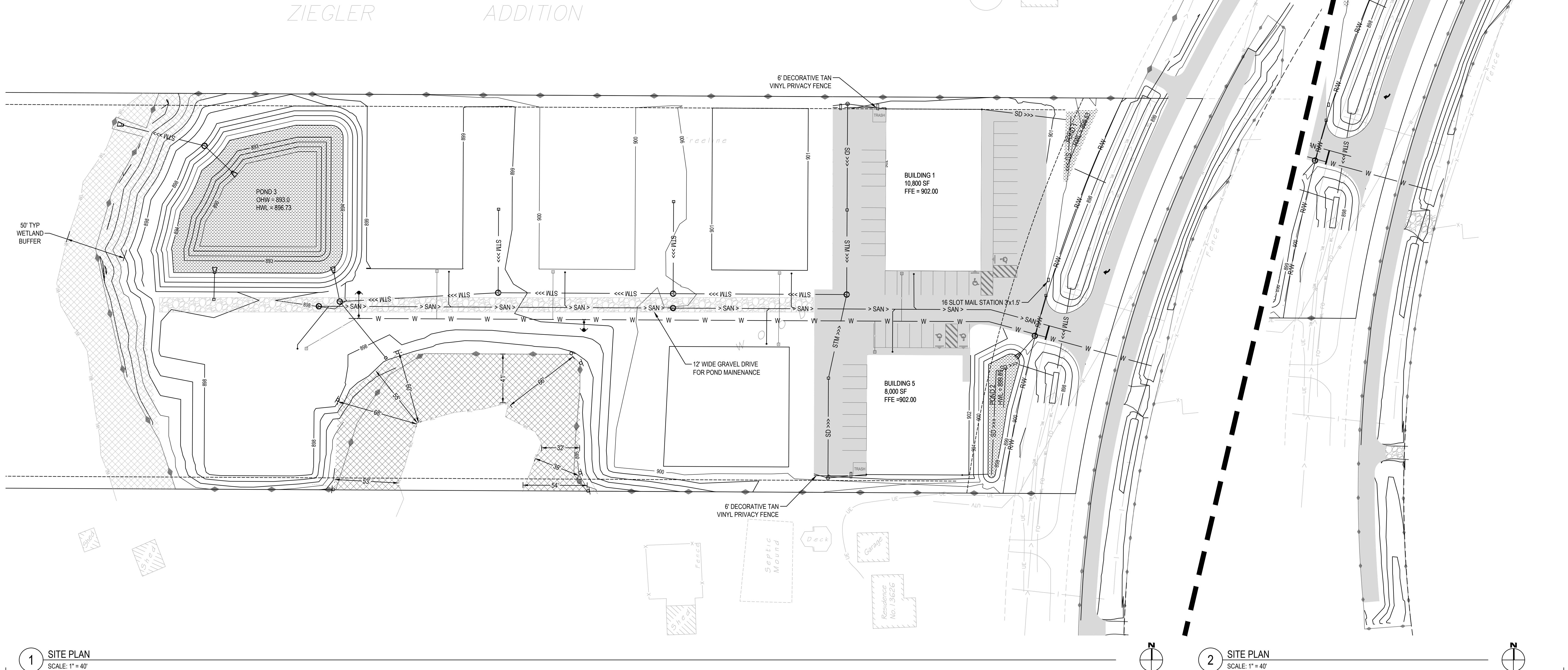
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—	EXISTING WETLAND

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—	PROPOSED WATERLINE LATERAL
—	CONSTRUCTION LIMITS
—	PHASE LINE

NOTES:

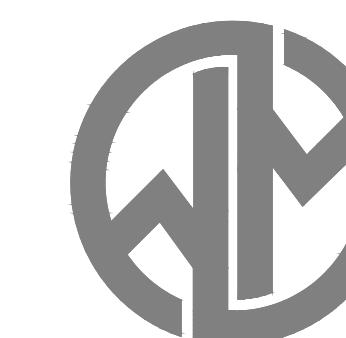
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ENGINEERING PLAN
Issue Date: 08/15/2023

Project Manager **MRL**
Drawn by **CKJ**
Checked by **MRL**

SITE PLAN PHASE 1
C102

NOTES:

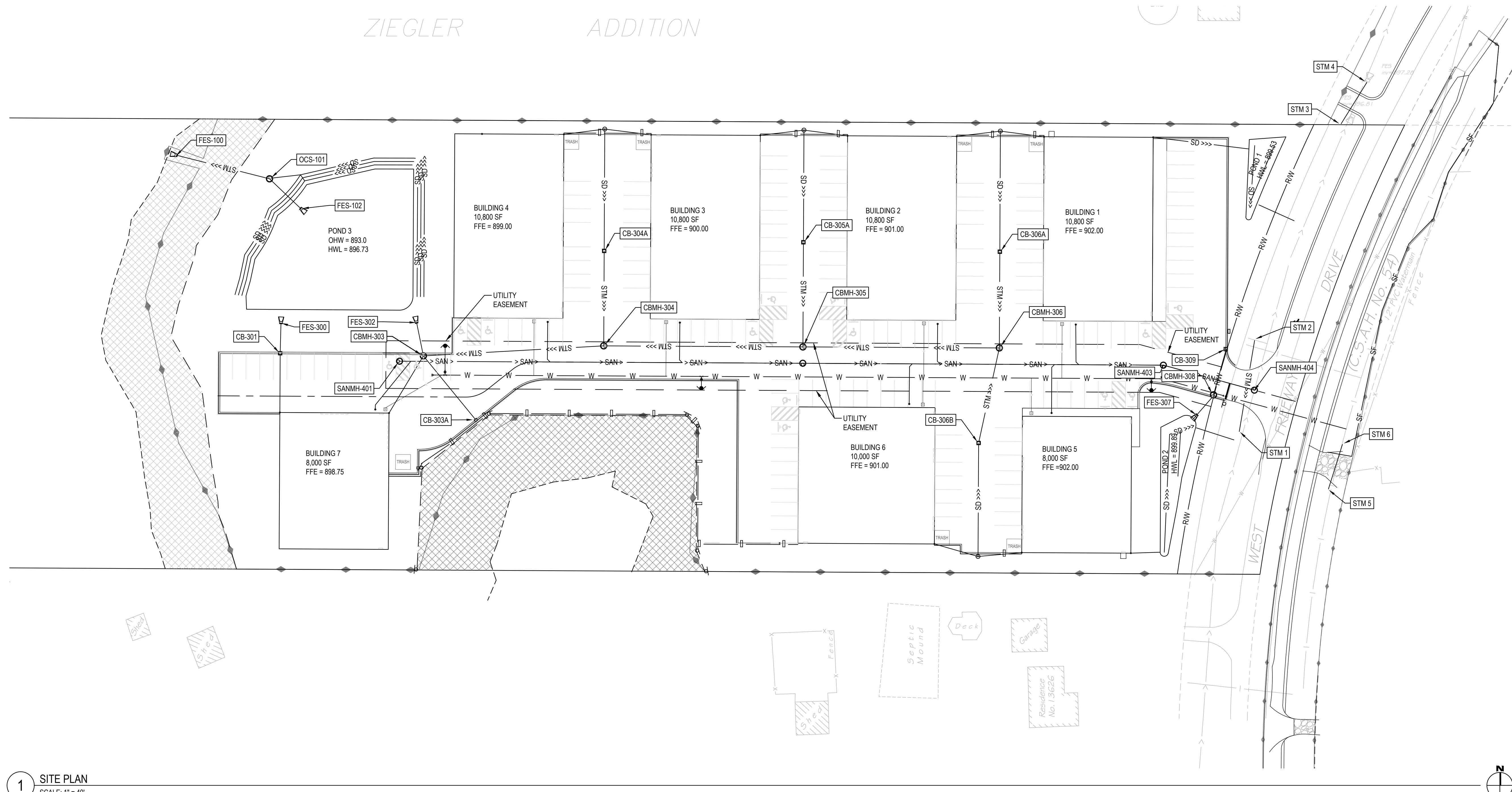
1. COORDINATE WITH CITY PUBLIC WORKS PRIOR TO CONNECTING TO EXISTING PUBLIC UTILITIES.

EXISTING LEGEND	
—>	EXISTING BOUNDARY LINE
—>—>	EXISTING CONTOUR- MINOR
—>—>—>	EXISTING CONTOUR- MAJOR
—>—>—>—>	EXISTING RIGHT OF WAY
—>—>—>—>—>	EXISTING EASEMENT LINE
—>—>—>—>—>—>	EXISTING SANITARY SEWER
—>—>—>—>—>—>—>	EXISTING STORM WATER
—>—>—>—>—>—>—>—>	EXISTING WATER MAIN
—>—>—>—>—>—>—>—>—>	EXISTING OVERHEAD ELECTRIC
—>—>—>—>—>—>—>—>—>	EXISTING UNDERGROUND ELECTRIC
—>—>—>—>—>—>—>—>—>—>	EXISTING UNDERGROUND TV
—>—>—>—>—>—>—>—>—>—>—>	EXISTING FIBER OPTIC
—>—>—>—>—>—>—>—>—>—>—>—>	EXISTING WETLAND

SITE PLAN LEGEND	
—>—>—>	EXISTING BOUNDARY LINE
—>—>—>—>	EXISTING CONTOUR- MINOR
—>—>—>—>—>	EXISTING CONTOUR- MAJOR
—>—>—>—>—>—>	PROPOSED CONTOUR- MINOR
—>—>—>—>—>—>—>	PROPOSED CONTOUR- MAJOR
—>—>—>—>—>—>—>—>	PROPOSED PROPERTY LINE
—>—>—>—>—>—>—>—>—>	PROPOSED RIGHT OF WAY
—>—>—>—>—>—>—>—>—>—>	PROPOSED EASEMENT LINE
—>—>—>—>—>—>—>—>—>—>—>	PROPOSED CURB AND GUTTER
—>—>—>—>—>—>—>—>—>—>—>—>	PROPOSED SANITARY SEWER
—>—>—>—>—>—>—>—>—>—>—>—>—>	SANITARY SEWER LATERAL
—>—>—>—>—>—>—>—>—>—>—>—>—>	PROPOSED STORM WATER
—>—>—>—>—>—>—>—>—>—>—>—>—>—>	PROPOSED SUB DRAIN
—>—>—>—>—>—>—>—>—>—>—>—>—>—>	PROPOSED WATER MAIN
—>—>—>—>—>—>—>—>—>—>—>—>—>—>—>	PROPOSED WATERLINE LATERAL
—>—>—>—>—>—>—>—>—>—>—>—>—>—>—>—>	CONSTRUCTION LIMITS
—>—>—>—>—>—>—>—>—>—>—>—>—>—>—>—>	PHASE LINE

ZIEGLER

ADDITION



PROJECT INFORMATION:

DISTURBED AREA: 5.851 ACRES
EXISTING IMPERVIOUS AREA: 0.2 ACRES
PROPOSED IMPERVIOUS AREA: 3.569 ACRES

OWNER: JON SAWYER - BROWN BEAGLE, LLC (4 HAWK LANE, NORTH OAKS, MN 55127)
PHONE NUMBER: (612) 743-3503

CONTRACTOR: _____
CONTACT: _____

PHONE NUMBER: _____
EROSION CONTROL SUPERVISOR CONTACT: _____ (____) _____

THE PROPOSED PROJECT INCLUDES THE DEVELOPMENT FROM A BRUSH/PRairie COVERED SITE TO A LIGHT INDUSTRIAL SITE. CONSTRUCTION SHALL USE STORMWATER BEST MANAGEMENT PRACTICES. UTILITY CONSTRUCTION OF STORM SEWER, SANITARY SEWER AND WATERMAIN INTERSECTION IMPROVEMENTS, PRIVATE ROAD, PARKING LOT, AND LIGHT INDUSTRIAL BUILDINGS. THIS PROJECT IS PROJECTED TO BE COMPLETED IN PHASES. PHASE ONE WILL INVOLVE SITE GRADING, STORM BASINS, UTILITIES, TWO BUILDINGS AND PARKING LOTS ON EAST SIDE OF THE SITE. PHASE 2 WILL INVOLVE EXTENDING THE PARKING LOT AND ROAD TO SERVICE THE NEXT 3 BUILDINGS. PHASE 3 WILL FINISH THE PARKING LOT AND ROAD AND THE FINAL 2 BUILDINGS.

THE CONSTRUCTION IS EXPECTED TO START IN THE SUMMER OF 2023 AND HAVE ALL 3 PHASES COMPLETED WITHIN 2-3 YEARS.

THE CITY SHALL PROVIDE LONG-TERM MAINTENANCE OF THE STORM WATER FACILITIES FOR THIS PROJECT. THE CITY SHALL BE RESPONSIBLE FOR PREPARING AND IMPLEMENTING A PERMANENT STORMWATER TREATMENT SYSTEM(S) MAINTENANCE PLAN.

CHAIN OF COMMAND

1. THE CONTRACTOR WILL NEED TO IDENTIFY A MN/DOT CERTIFIED EROSION CONTROL SUPERVISOR IN GOOD STANDING WHO WILL BE KNOWLEDGEABLE AND EXPERIENCE IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES.
2. THE EROSION CONTROL SUPERVISOR WILL WORK WITH THE PROJECT ENGINEER TO OVERSEE THE IMPLEMENTATION OF THE SWPPP, AND THE INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs BEFORE AND DURING CONSTRUCTION.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PART II.B, PART II.C, AND PAR IV OF THE CONSTRUCTION SOTRMWATER PERMIT.
4. THE CONTRACTOR WILL DEVELOPE A CHAIN OF COMMAND WITH ALL OPERATORS ON THE SITE TO ENSURE THAT THE SWPPP WILL BE IMPLEMENTED AND STAY IN EFFECT UNTIL THE CONSTRUCTION PROJECT IS COMPLETE, THE ENTIRE SITE AHS UNDGENE FINAL STABILIZATION, AND A NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE MPCA.

CONTACT LIST

CITY PROJECT ENGINEER - KEVIN BITTNER - (612) 270-6926
CITY INSPECTOR - BEN GUTKNECHT - (651) 464-3120
CONTRACTOR - _____ (____) _____
MPCA CONTACT - SARAH KAMRATH - (651) 757-2855
WATERSHED DISTRICT CONTACT - ANNA GRACE - (763) 398-3071

WATERBODIES WITHIN 1 MILE OF PROJECT SITE				
WATERBODY	TYPE	SPECIAL	IMPALED	IMPAMENT(S)
ANOKA COUNTY DITCH 4	DITCH	N	Y	BENTHIC MACROINVERTEBRATES BIOASSESSMENTS.
RICE CREEK	CREEK	N	N	N/A
RICE CREEK MARSH	WETLAND	N	N	N/A
UNNAMED WATERBODY	WETLAND	N	N	N/A

STORMWATER POLLUTION PREVENTION PLAN NOTES:

1. PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL ACQUIRE THE NECESSARY MPCA NPDES STORM WATER PERMIT.
2. ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. BMP'S SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES FOR THE PROJECT.
4. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE ABSOLUTE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITION MEASURES AS NECESSARY TO PROPERLY MANAGE THE PROJECT AREA.
5. THE CONTRACTOR SHALL KEEP THE SWPPP, INCLUDING ALL AMENDMENTS AND INSPECTION AND MAINTENANCE RECORDS ON SITE DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL DOCUMENT AMENDMENTS TO THE SWPPP AS A RESULT OF INSPECTION(S) WITHIN 7 DAYS.
7. THE CONTRACTOR SHALL FILE A NOTICE OF TERMINATION WITHIN THIRTY (30) DAYS OF ACHIEVING PERMANENT STABILIZATION.
8. THE CONTRACTOR SHALL SCHEDULE THEIR OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
9. THE BIOFILTRATION AREAS SHALL BE PROTECTED AND HAVE RIGOROUS EROSION AND SEDIMENT CONTROLS IF GRADED WITHIN 3 FEET OF THE FINAL GRADES. THE CONTROLS SHALL KEEP RUNOFF COMPLETELY AWAY FROM THE BIOFILTRATION AREAS UNTIL FINAL STABILIZATION IS COMPLETE.
10. STABILIZE AREAS THAT ARE WITHIN 200 FEET OF AND DRAIN TO PUBLIC WATER WITHIN 24 HOURS DURING FISH SPAWNING TIMES.
11. WATER SHALL BE USED, IF NECESSARY, FOR DUST CONTROL.
12. ALL EROSION CONTROL SHALL CONFORM TO THE MNDOT EROSION CONTROL HANDBOOK.
13. INLET PROTECTION SHALL BE INSTALLED AT ANY INLET THAT MAY RECEIVE RUNOFF FROM THE DISTURBED AREAS OF THE PROJECT. IF A SPECIFIC SAFETY CONCERN HAS BEEN IDENTIFIED, WRITTEN AUTHORIZATION MUST BE RECEIVED BY THE CITY ENGINEER IN ORDER TO REMOVE THAT PARTICULAR INLET CONTROL.
14. ALL EXPOSED SOILS, INCLUDING STOCKPILES, SHALL BE TEMPORARILY STABILIZED PER MNDOT SPECIFICATION 2575 WITHIN 7 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. STABILIZATION OF ALL EXPOSED AREAS MUST BE INITIATED IMMEDIATELY.
15. STOCKPILES SHALL NOT BE PLACED ON ROADS, DRIVEWAYS, SURFACE WATERS OR SWALES. EFFECTIVE SEDIMENT CONTROL SHALL BE INSTALLED IMMEDIATELY AROUND ALL SOIL STOCKPILES.
16. REMOVE ALL SOILS AND SEDIMENT TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC ROADS OR PRIVATE DRIVEWAYS ON A DAILY BASIS OR AS NEEDED.
17. THE NORMAL WETTED PERIMETER WITHIN 200 LINEAL FEET OF ANY PROJECT DISCHARGE LOCATION SHALL BE STABILIZED WITHIN 24 HOURS OF CONNECTING TO THE DISCHARGE LOCATION.
18. IF DEWATERING IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL DEWATERING AND SURFACE DRAINAGE REGULATIONS. THE APPROPRIATE PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCING DEWATERING ACTIVITIES.
19. TURBID AND SEDIMENT-LADEN WATERS SHALL BE DIRECTED TO A TEMPORARY SEDIMENT POND PRIOR TO DISCHARGING. A VISUAL CHECK SHALL BE CONDUCTED PRIOR TO DISCHARGING TREATED WATER FROM THE SEDIMENT POND TO ENSURE NUISANCE CONDITIONS WILL NOT RESULT FROM THE DISCHARGE..
20. THE CORRECTIVE ACTION MUST BE COMPLETED BY THE NEXT BUSINESS DAY AFTER DISCOVERY WHEN PERIMETER CONTROL DEVICES BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-HALF (1/2) THE HEIGHT OF THE DEVICE.
21. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE WITHIN THIRTY (30) DAYS AFTER PERMANENT STABILIZATION HAS BEEN ACHIEVED

TRAINING DOCUMENTATION:

SWPPP DESIGNER: GREGORY HALLING - "DESIGN OF CONSTRUCTION SWPPP" TRAINING EXPIRES APRIL 19, 2023.

THE CONTRACTOR (OPERATOR) SHALL ADD TO THE SWPPP TRAINING RECORDS FOR THE FOLLOWING PERSONNEL:

- INDIVIDUALS OVERSEEING THE IMPLEMENTATION OF, REVISING, AND AMENDING THE SWPPP
- INDIVIDUALS PERFORMING INSPECTIONS
- INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPs

EXPECTED SEQUENCE OF CONSTRUCTION

1. INSTALL ROCK STABILIZING EXIT(S), PERIMETER CONTROL, INLET CONTROL AND STABILIZE DOWN GRADIENT BOUNDARIES.
2. COMPLETE SITE GRADING.
3. INSTALL UTILITIES, STORM SEWER.
4. APPLY EARLY APPLICATION OF BASE COURSE ON STREET SECTION
5. INSTALL CURB AND GUTTER, AND PAVING.
6. COMPLETE FINAL GRADING, INCLUDING BIOFILTRATION BASINS, AND PERMANENT STABILIZATION.
7. REMOVE EROSION AND SEDIMENT CONTROL BMPs AFTER PERMANENT STABILIZATION IS ACHIEVED.
8. REMOVE BIOFILTRATION BASINS.

TEMPORARY SEDIMENT BASINS

1. THE CONTRACTOR SHALL INSTALL SEDIMENT BASIN(S) REQUIRED BY THE NPDES CONSTRUCTION PERMIT IF TEN (10) OR MORE ACRES DISCHARGE TO A COMMON LOCATION.
2. TEMPORARY SEDIMENT BASIN OUTLETS SHALL BE CONSTRUCTED TO PREVENT SHORT-CIRCUITING AND PREVENT THE DISCHARGE OF FLOATING DEBRIS.
3. BASINS MUST HAVE THE ABILITY TO ALLOW COMPLETE DRAWDOWN, INCLUDE A STABILIZED EMERGENCY OVERFLOW, WITHDRAW WATER FROM THE SURFACE, AND PROVIDE ENERGY DISSIPATION AT THE OUTLET.
4. TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED WITH ENERGY DISSIPATION AT ANY BASIN OUTLET TO PREVENT SOIL EROSION.
5. SEDIMENT BASINS MUST BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONES, AND MUST BE DESIGNED TO AVOID THE DRAINING WATER FROM WETLANDS.
6. BASINS SHALL BE SIZED ACCORDING TO THE CONSTRUCTION STORMWATER GENERAL PERMIT REQUIREMENTS. CALCULATIONS SHALL BE ADDED TO THE SWPPP.
7. SEDIMENT BASINS SHALL NOT BE PLACED IN FUTURE BIOFILTRATION AREAS.
8. SEDIMENT BASINS SHALL BE DRAINED AND SEDIMENT REMOVED WHEN IT REACHES $\frac{1}{2}$ THE STORAGE VOLUME WITHIN 72 HOURS.

INSPECTIONS AND MAINTENANCE

1. ALL INSPECTIONS, MAINTENANCE, REPAIRS, AREPLACEMENTS AND REMOVAL OF BMPs SHALL BECONSIDERED INCIDENTAL TO THE BMP BID ITEMS.
2. THE CONTRACTOR SHALL COMPLETE SITE INSPECTIONS, AND BMP MAINTENANCE TO ENSURE COMPLIANCE WITH THE PERMIT REQUIREMENTS.
3. THE CONTRACTOR SHALL PROVIDE A TRAINED PERSON TO INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL INSPECTIONS MUST BE RECORDED IN WRITING WITHIN 24 HOURS OF CONDUCTING THE INSPECTIONS AND THE RECORDS MUST BE RETAINED WITH THE SWPPP. IF ANY DISCHARGE FROM THE SITE IS OBSERVED THE DISCHARGE MUST BE DESCRIBED AND PHOTOGRAPHED.
4. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANOR AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
5. ALL SILT FENCE OR OTHER SEDIMENT CONTROL PRACTICES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/3 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
6. CONSTRUCTION SITE VEHICLES EXIT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY.

POLLUTION PREVENTION MANAGEMENT MEASURES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POLLUTION PREVENTION MANAGEMENT MEASURES.
2. ALL POLLUTION PREVENTION MEASURES ARE CONSIDERED INCIDENTAL TO THE MOBILIZATION BID ITEM, UNLESS OTHERWISE NOTES.
3. THE CONTRACTOR IS RESPONSIBLE FOR INFORMING ALL VISITORS AND/OR PERSONNEL ON-SITE OF THE POLLUTION PREVENTION MANAGEMENT MEASURES. POLLUTION PREVENTION MANAGEMENT MEASURES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - A. SOLID WASTE SUCH AS COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, CEMENT PRODUCT WASTE, FLOATING DEBRIS, PAPER, PLASTIC, CONSTRUCTION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY OFF SITE.
 - B. HAZARDOUS WASTES SUCH AS OILS, GASOLINE, PAINT, CEMENT BASED PRODUCTS, ETC. SHALL BE PROPERLY STORED WITH SECONDARY CONTAINMENT TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGES. IF STORED ON THE PROJECT SITE, THEY SHALL BE STORED IN RESTRICTED ACCESS AREAS TO PROTECT AGAINST VANDALISM. STORAGE AND DISPOSAL SHALL BE IN COMPLIANCE WITH THE MPCA.
 - C. CEMENT BASED PRODUCT WASHOUTS ARE NOT PERMITTED ON SITE.
 - D. THE CONTRACTOR SHALL INCLUDE SPILL KITS WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES. SECONDARY CONTAINMENT MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.
 - E. THE CONTRACTOR SHALL ENSURE SPILLS ARE CONTAINED AND CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILLS LARGE ENOUGH TO REACH THE STORMWATER CONVEYANCE SYSTEM SHALL BE REPORTED TO THE MINNESOTA DUTY OFFICER AT 1.800.422.0798.
 - F. EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF. REFER TO PLANS AND CORRESPONDING LEGEND FOR APPROVED WASHOUT LOCATIONS. NO ENGINE DEGREASING IS ALLOWED ON SITE.
 - G. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS WILL BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES WILL NOT CONTACT THE GROUND, AND THERE WILL NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES WILL BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
 - H. SEED MIX SHALL BE MNDOT 35-131 UNLESS NOTED OTHERWISE.

FINAL STABILIZATION

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING FINAL STABILIZATION OF THE ENTIRE SITE. FINAL STABILIZATION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
 - A. ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED.
 - B. EXPOSED SOILS SHALL BE PERMANENTLY STABILIZED WITHIN 72 HOURS. PERMANENT STABILIZATION SHALL CONSIST OF 4 INCHES TOPSOIL, MNDOT SEED MIX 35-131, UNLESS OTHERWISE SPECIFIED, AND MULCH. THE MULCH SHALL BE DISK ANCHORED AND COMMERCIAL GRADE 10-10-10 FERTILIZER SHALL BE USED. METHODS AND RATES SHALL BE IN ACCORDANCE WITH MNDOT SPECIFICATION 2575 AND THE MNDOT SEEDING MANUAL.
 - C. ALL EXPOSED SOILS HAVE BEEN UNIFORMLY STABILIZED WITH AT LEAST 70% VEGETATION COVERAGE.
 - D. PERMANENT STORMWATER MANAGEMENT SYSTEM(S) ARE CONSTRUCTED AND ARE OPERATING AS DESIGNED.
 - E. ALL DRAINAGE DITCHES, PONDS, AND ALL STORM WATER CONVEYANCE SYSTEMS HAVE BEEN CLEARED OF SEDIMENT AND STABILIZED WITH PERMANENT COVER TO PRECLUDE EROSION.
 - F. ALL TEMPORARY BMPs HAVE BEEN REMOVED AND PROPERLY DISPOSED OF.
 - G. FINAL STABILIZATION SHALL BE PREFORMED IN ACCORDANCE WITH MNDOT 2020 SPECIFICATION 2575.



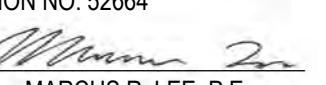
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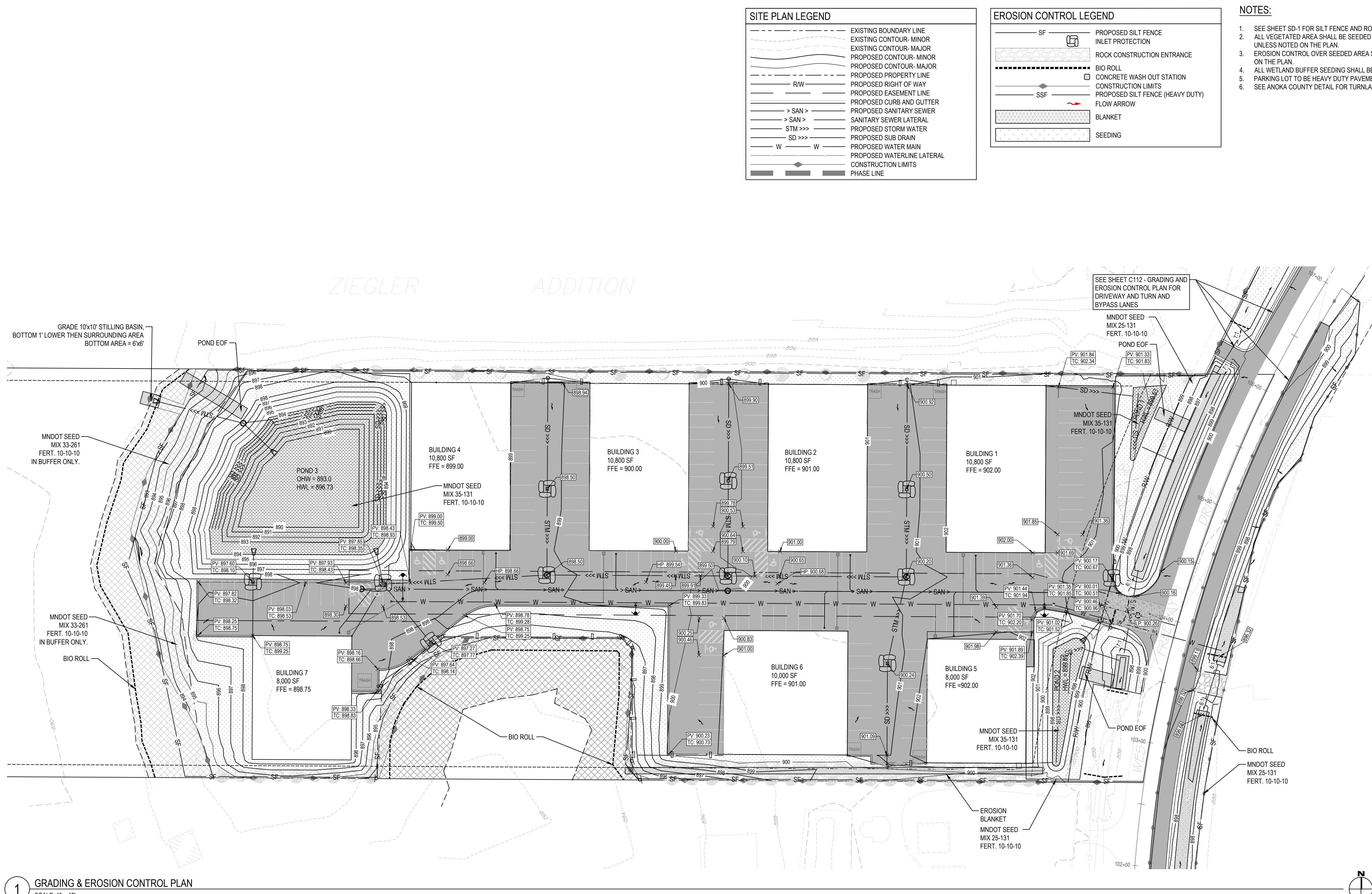
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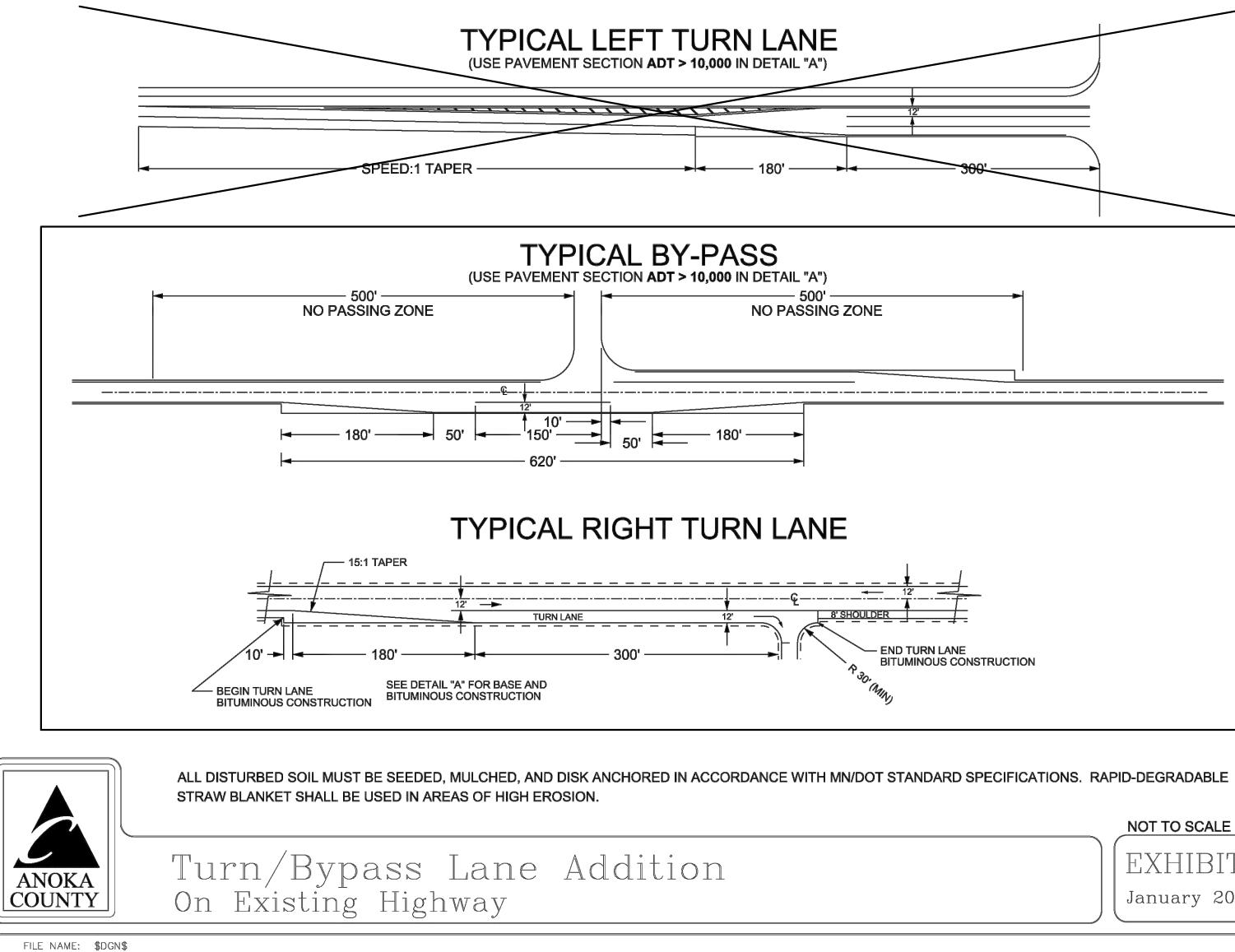
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Checked by **MRL**

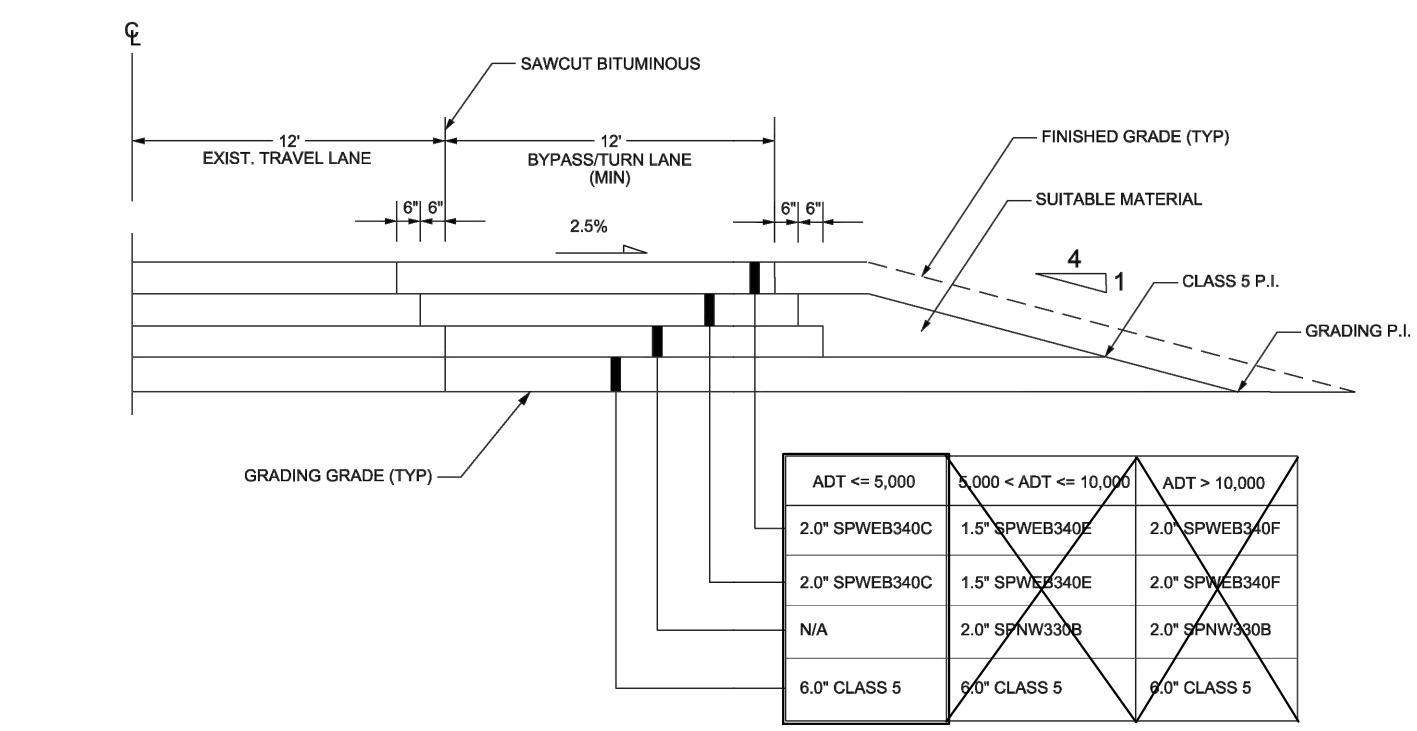
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ANOKA COUNTY HIGHWAY DEPARTMENT



ANOKA COUNTY HIGHWAY DEPARTMENT



SITE PLAN LEGEND

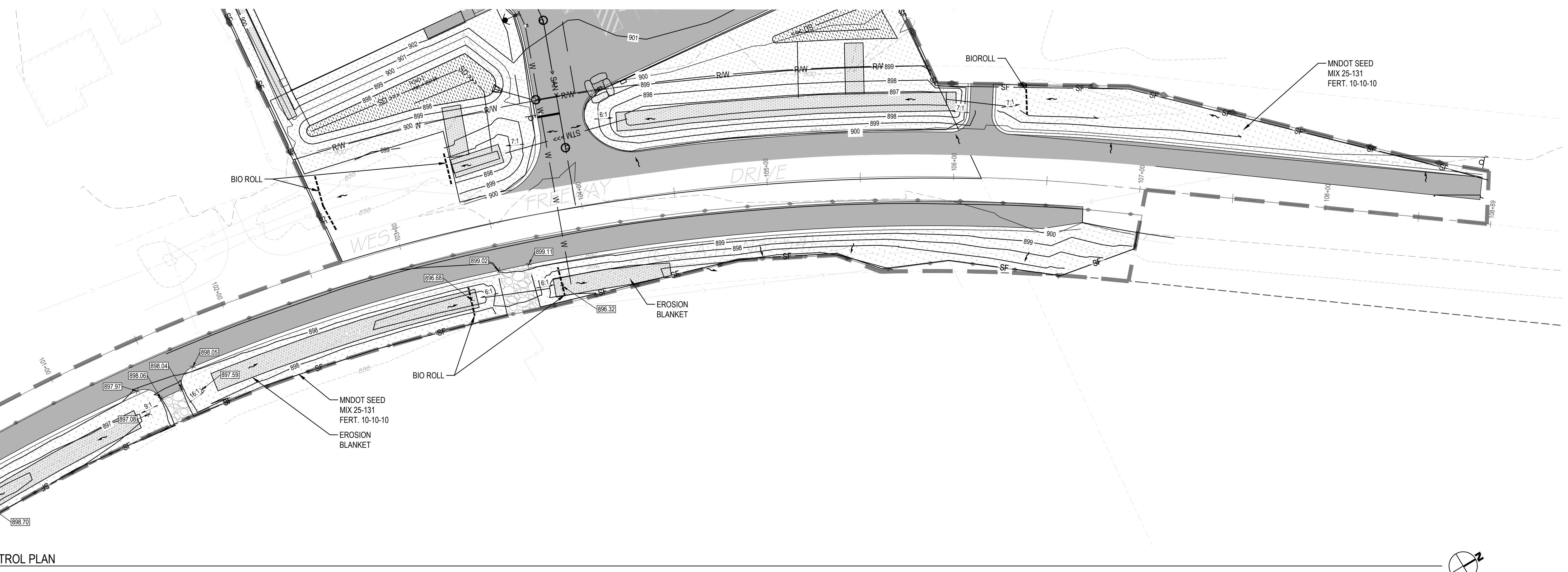
EXISTING BOUNDARY LINE
EXISTING CONTOUR- MINOR
EXISTING CONTOUR- MAJOR
PROPOSED CONTOUR- MINOR
PROPOSED CONTOUR- MAJOR
PROPOSED PROPERTY LINE
PROPOSED RIGHT OF WAY
PROPOSED EASEMENT LINE
PROPOSED CURB AND GUTTER
PROPOSED SANITARY SEWER
> SAN >
SANITARY SEWER LATERAL
PROPOSED STORM WATER
PROPOSED SUB DRAIN
W W
PROPOSED WATER LINE
CONSTRUCTION LIMITS
PHASE LINE

NOTES:

- SEE SHEET SD-1 FOR SILT FENCE AND ROCK CONSTRUCTION ENTRANCE DETAIL.
- ALL VEGETATED AREA SHALL BE SEDED WITH MN/DOT MIX 25-131 FERTILIZER 10-10-10 UNLESS NOTED ON THE PLAN.
- EROSION CONTROL OVER SEDED AREA SHALL BE MN/DOT CATEGORY 10 UNLESS NOTED ON THE PLAN.
- ALL WETLAND BUFFER SEEDING SHALL BE 33-261.
- PARKING LOT TO BE HEAVY DUTY PAVEMENT UNLESS OTHERWISE NOTED.
- SEE ANOKA COUNTY DETAIL FOR TURNLANE TYPICAL SECTION.

EROSION CONTROL LEGEND

SF	PROPOSED SILT FENCE
	INLET PROTECTION
ROCK CONSTRUCTION ENTRANCE	
BIO ROLL	
CONCRETE WASH OUT STATION	
CONSTRUCTION LIMITS	
PROPOSED SILT FENCE (HEAVY DUTY)	
SSF	FLOW ARROW
BLANKET	
SEEDING	



Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS BEFORE YOU DIG.
CAUTION: UTILITY INFORMATION IS APPROXIMATE.
VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

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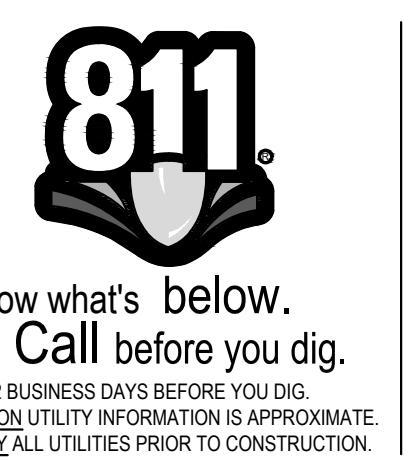
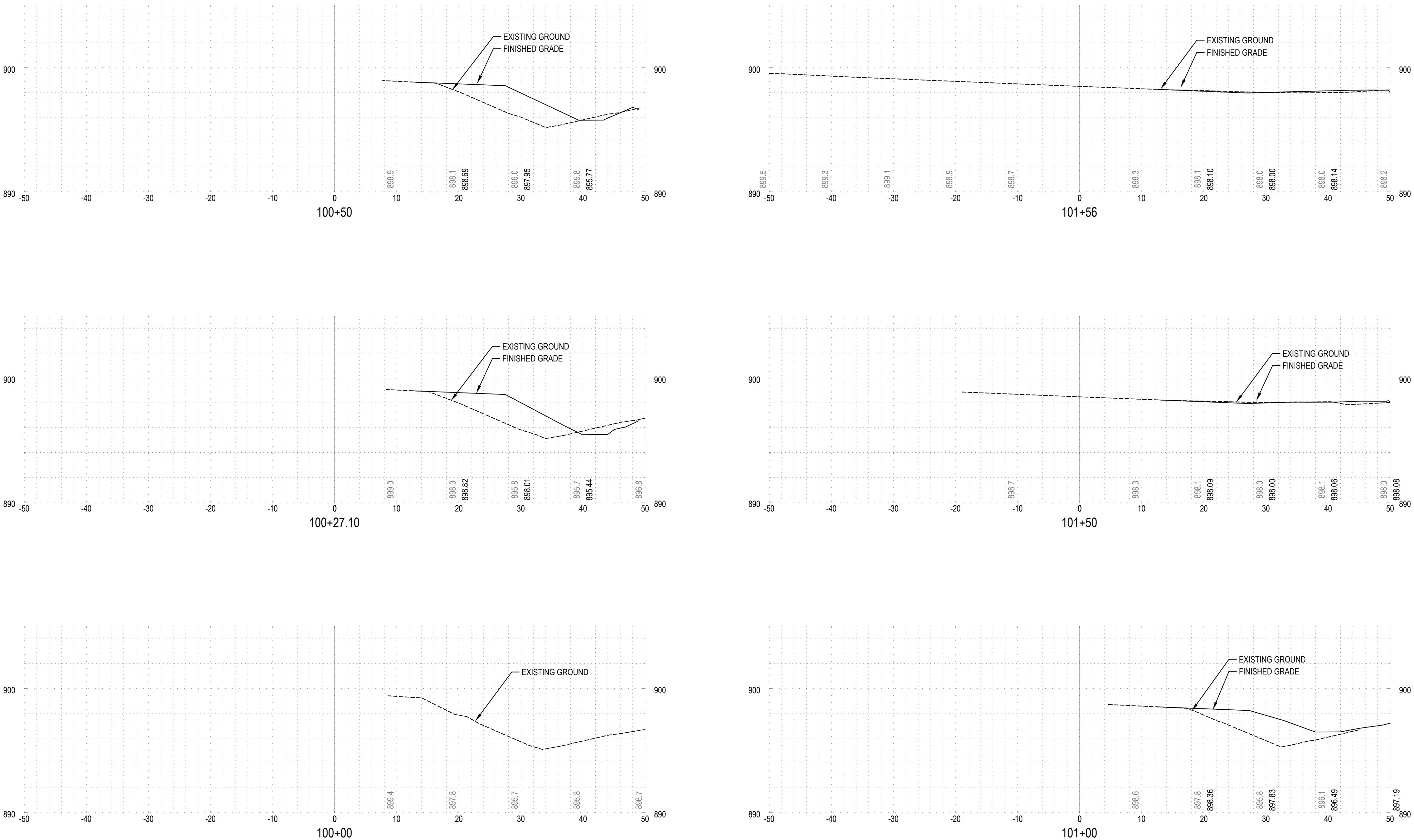
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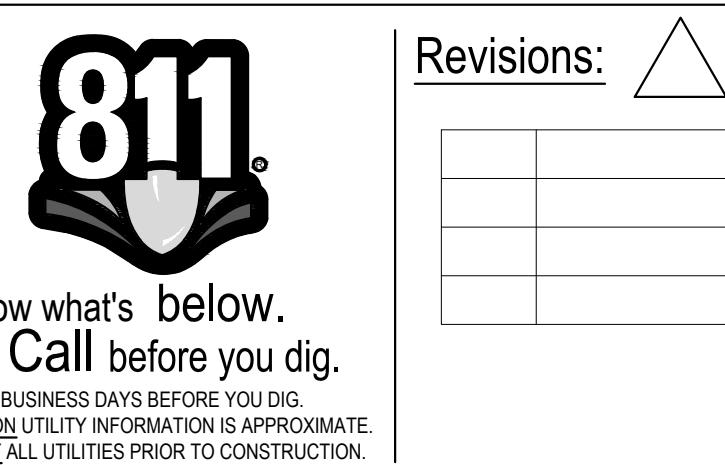
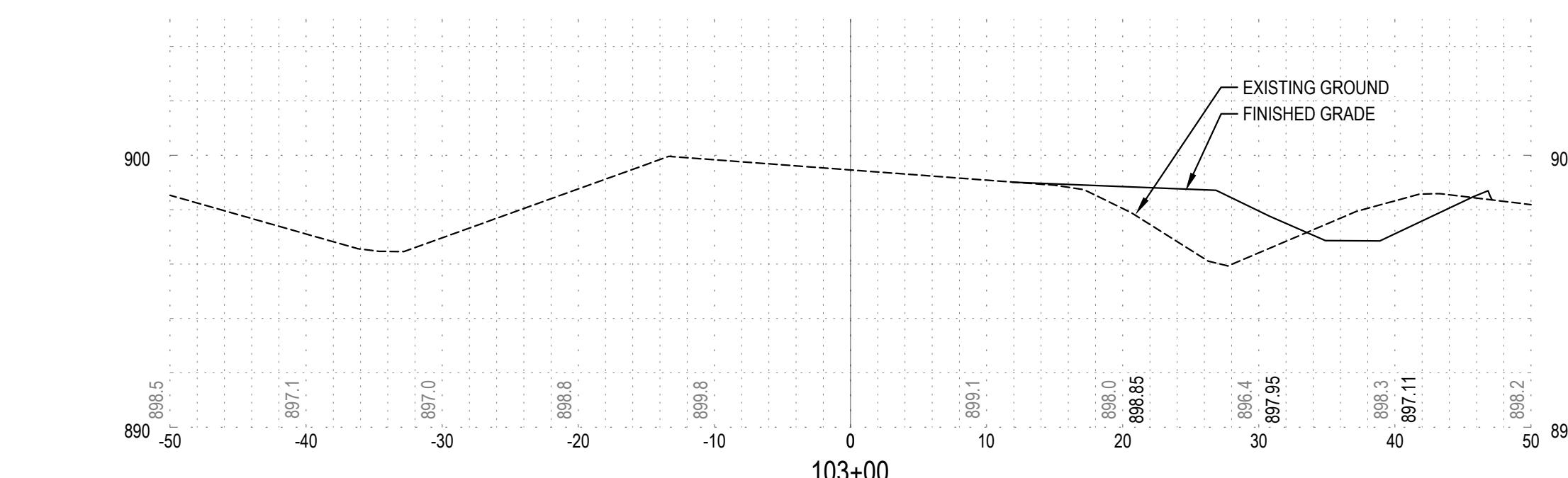
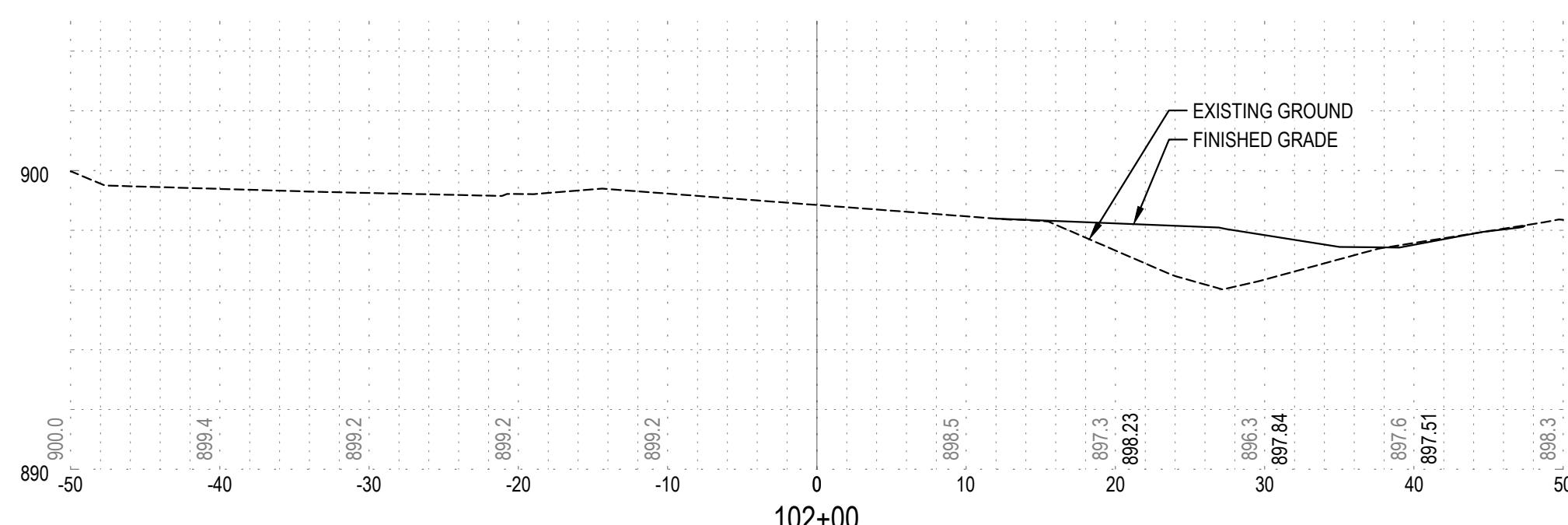
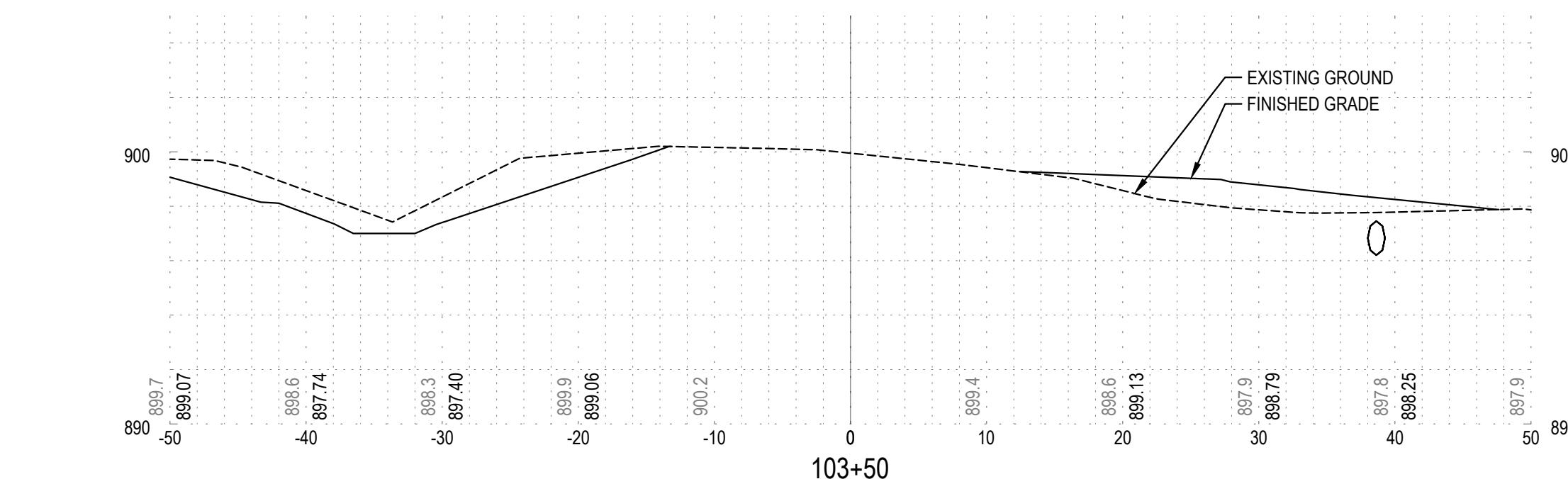
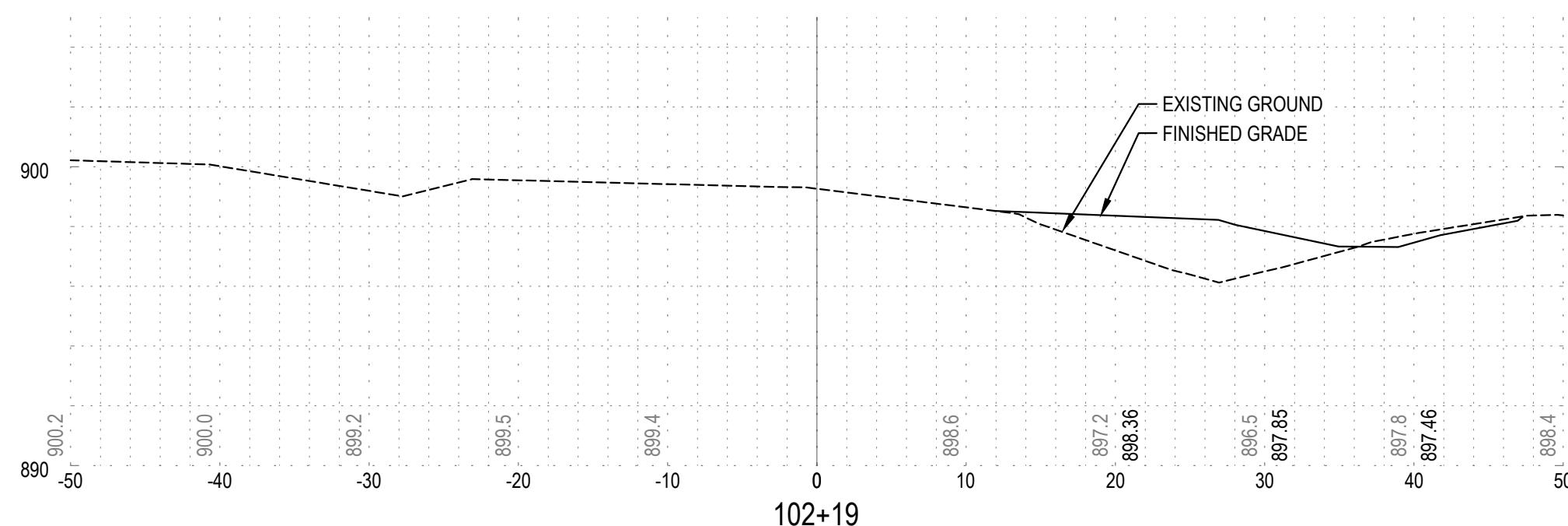
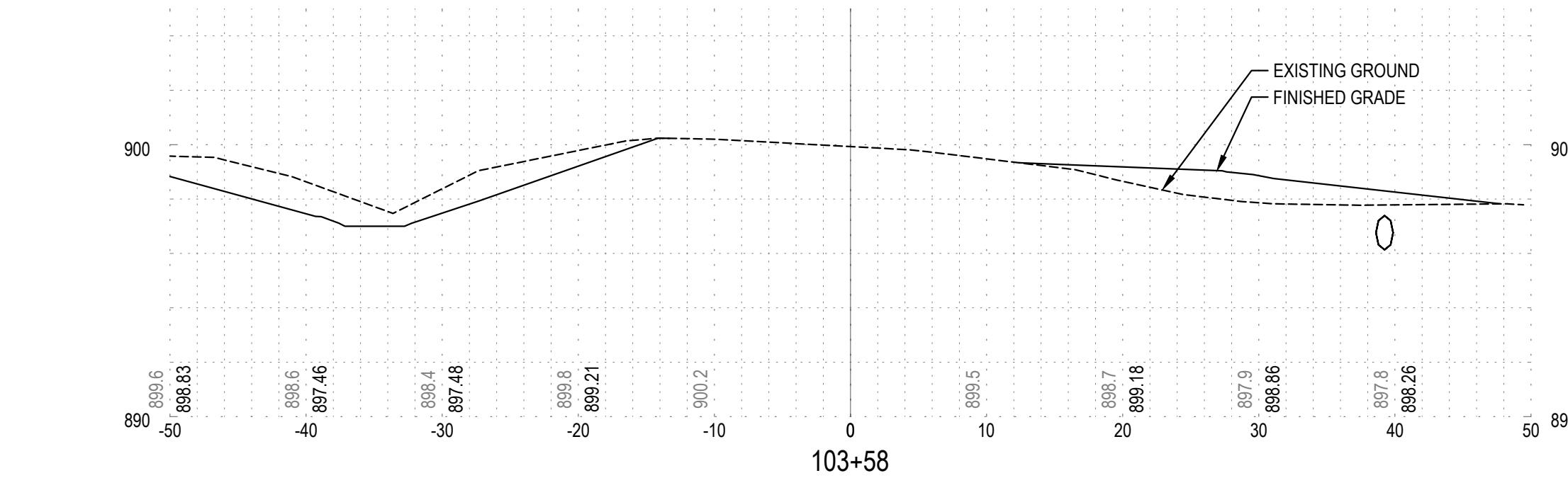
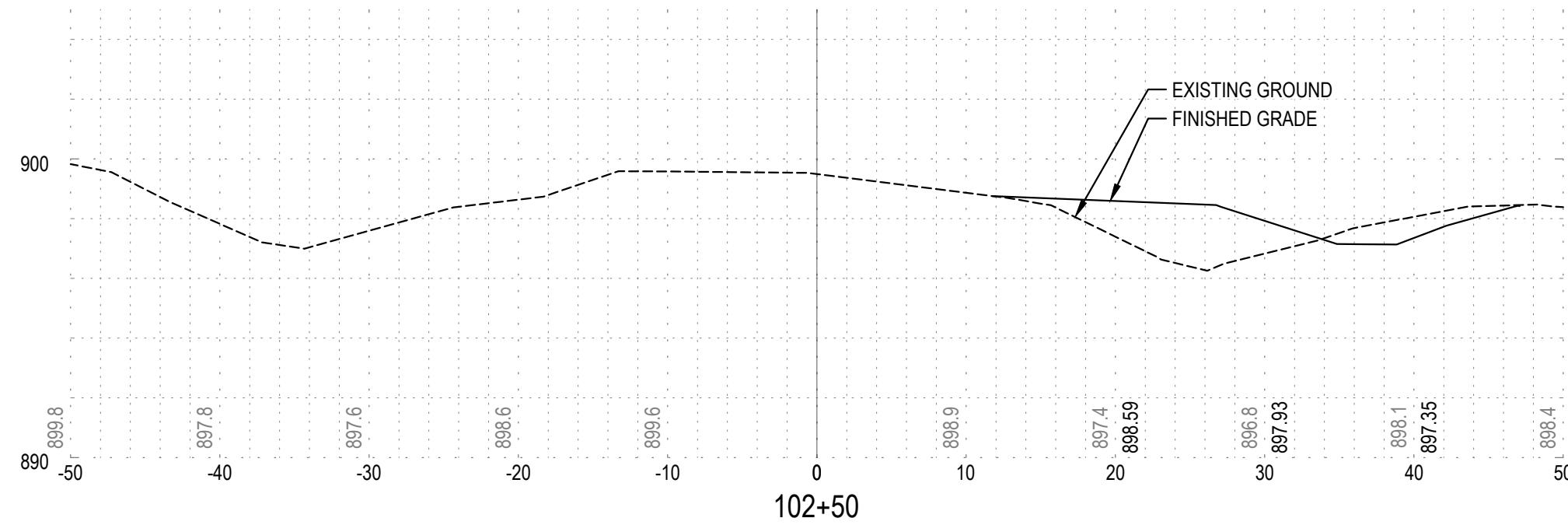
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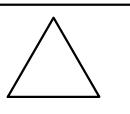
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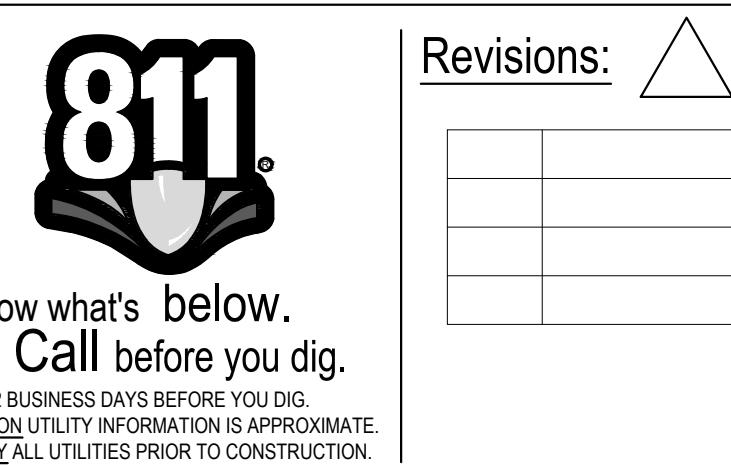
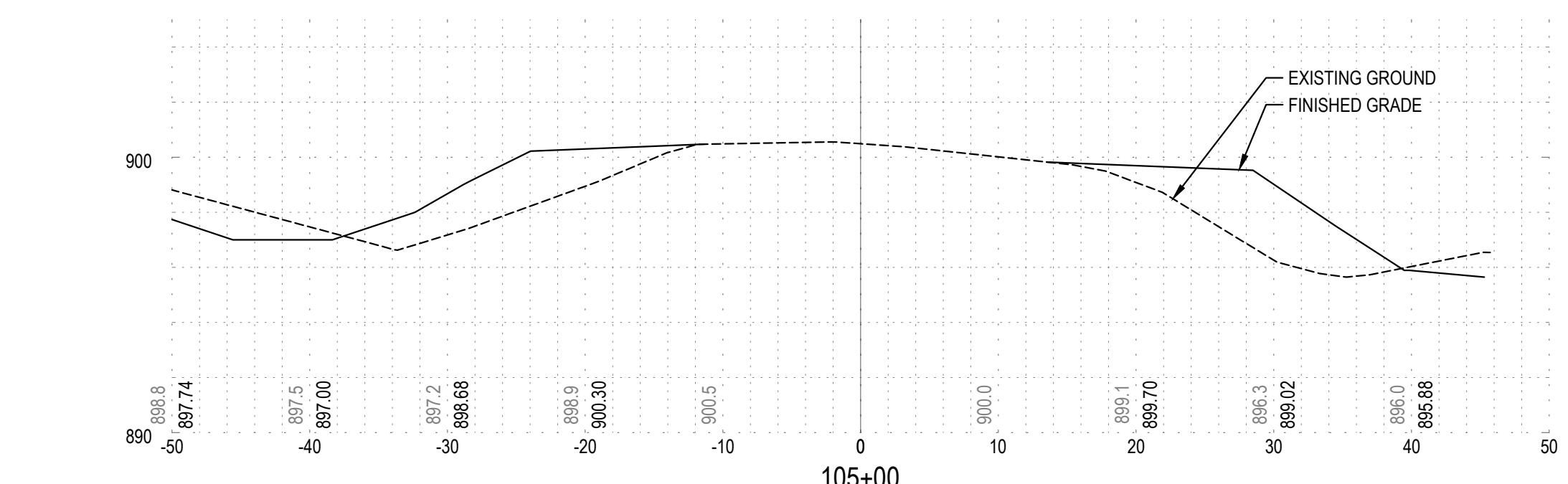
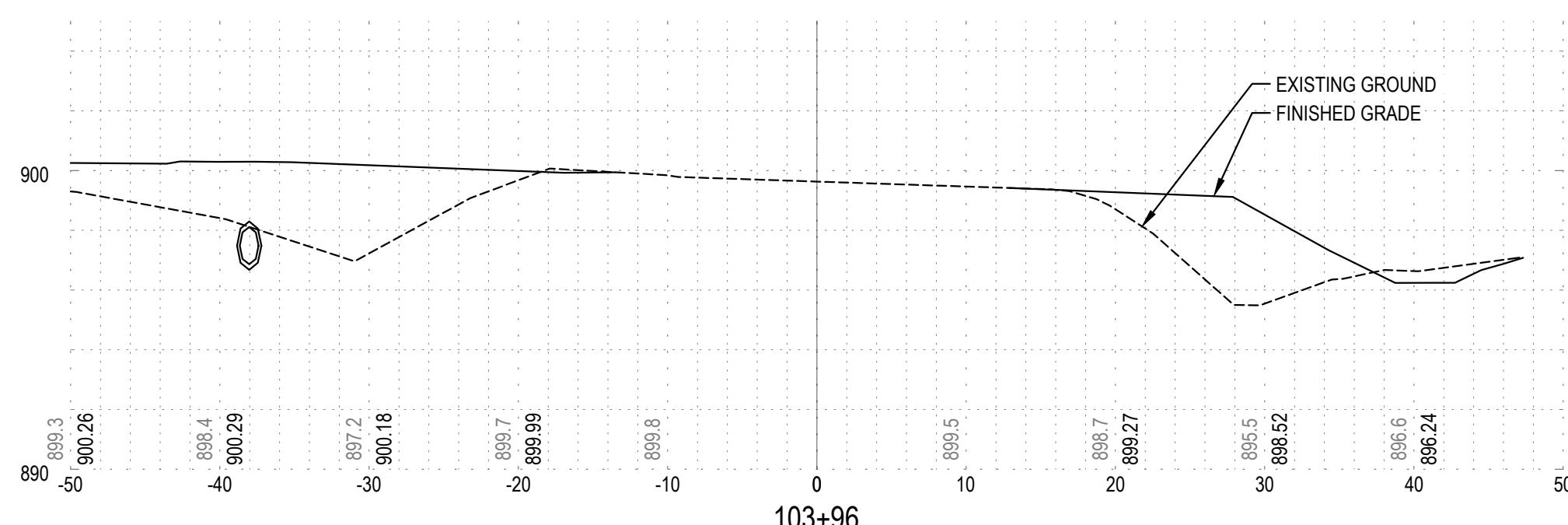
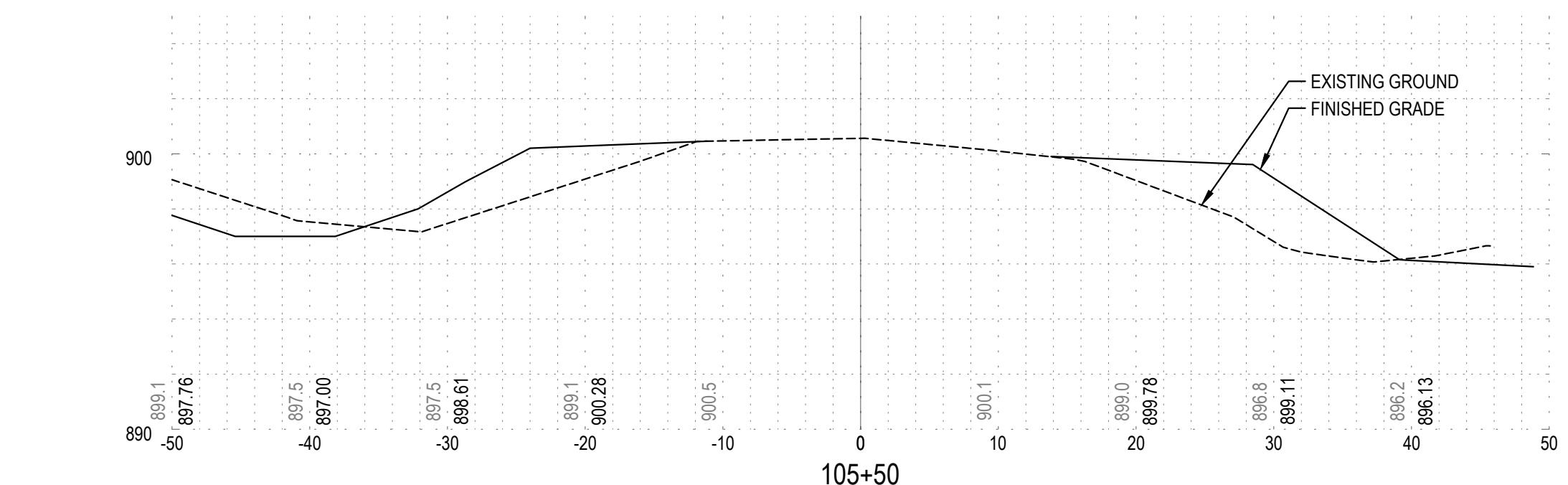
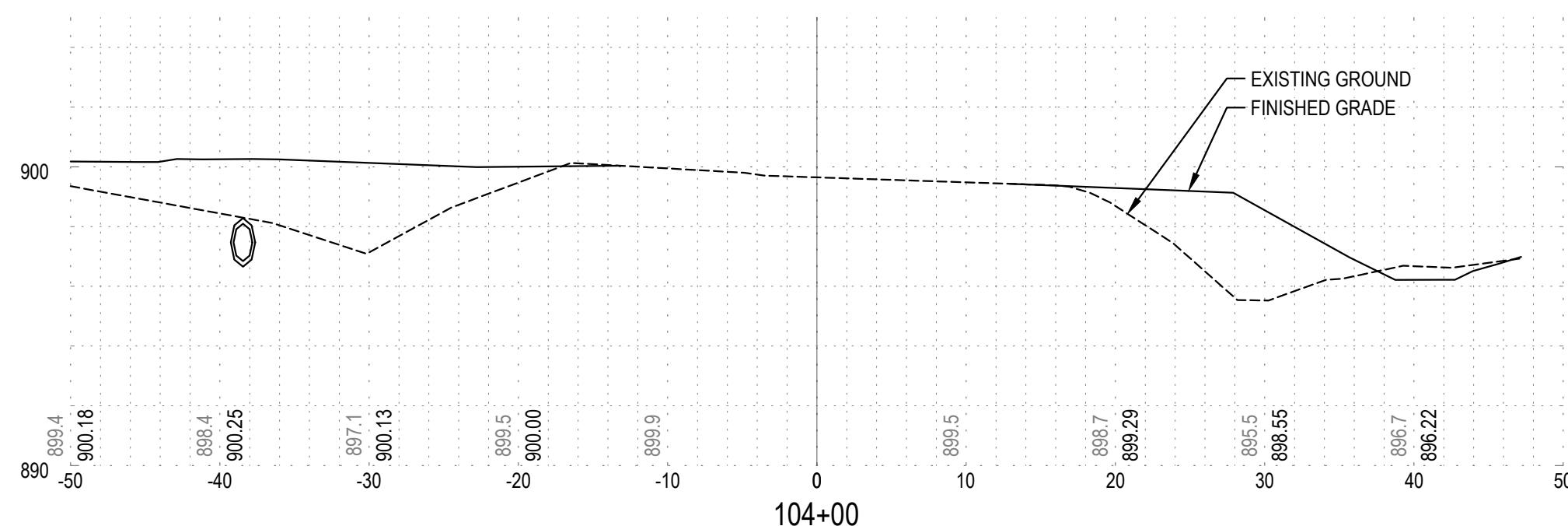
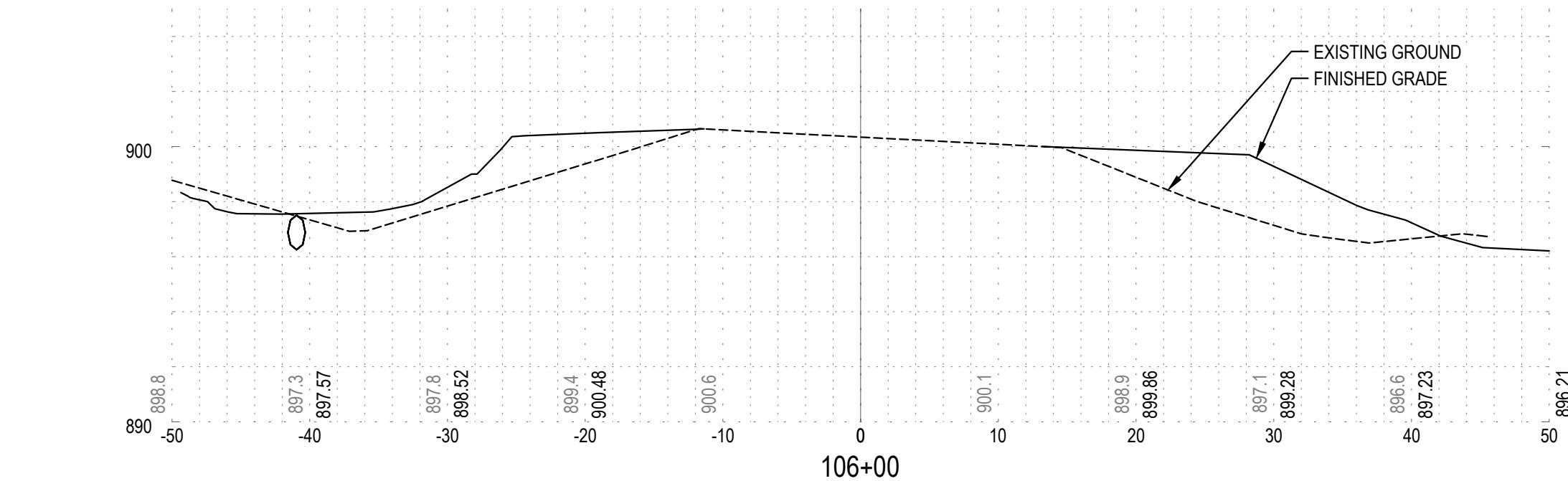
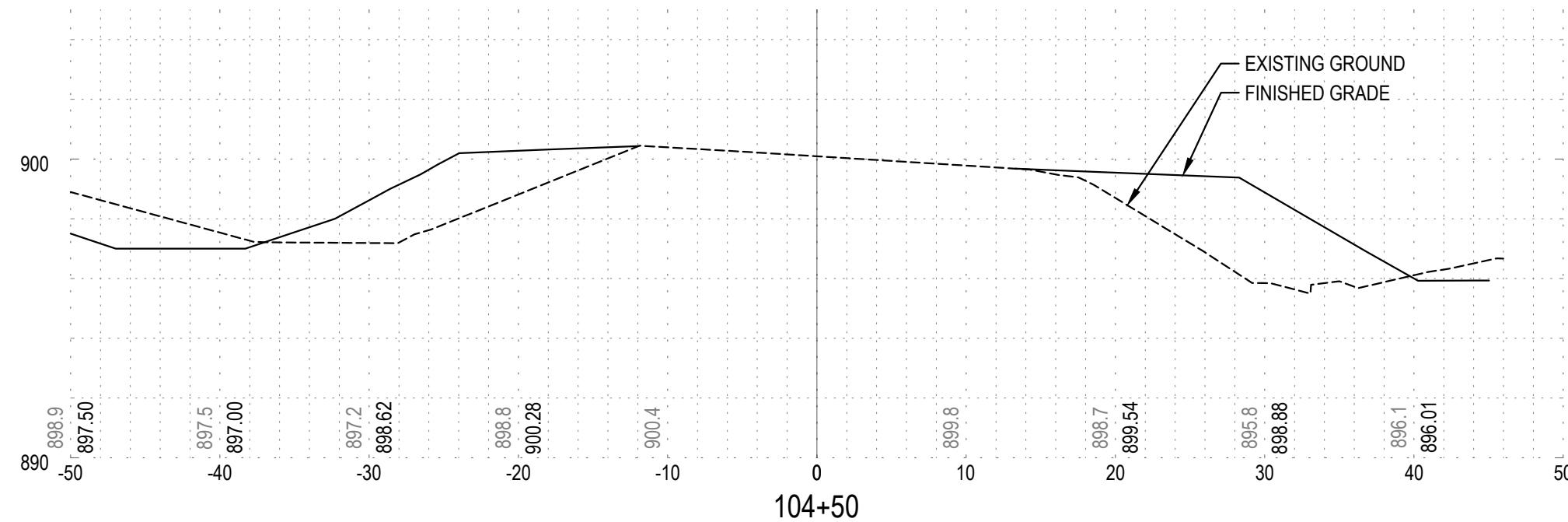
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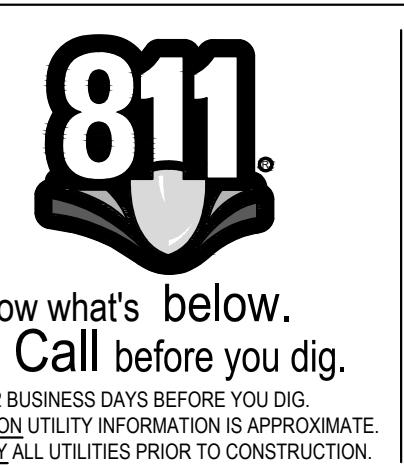
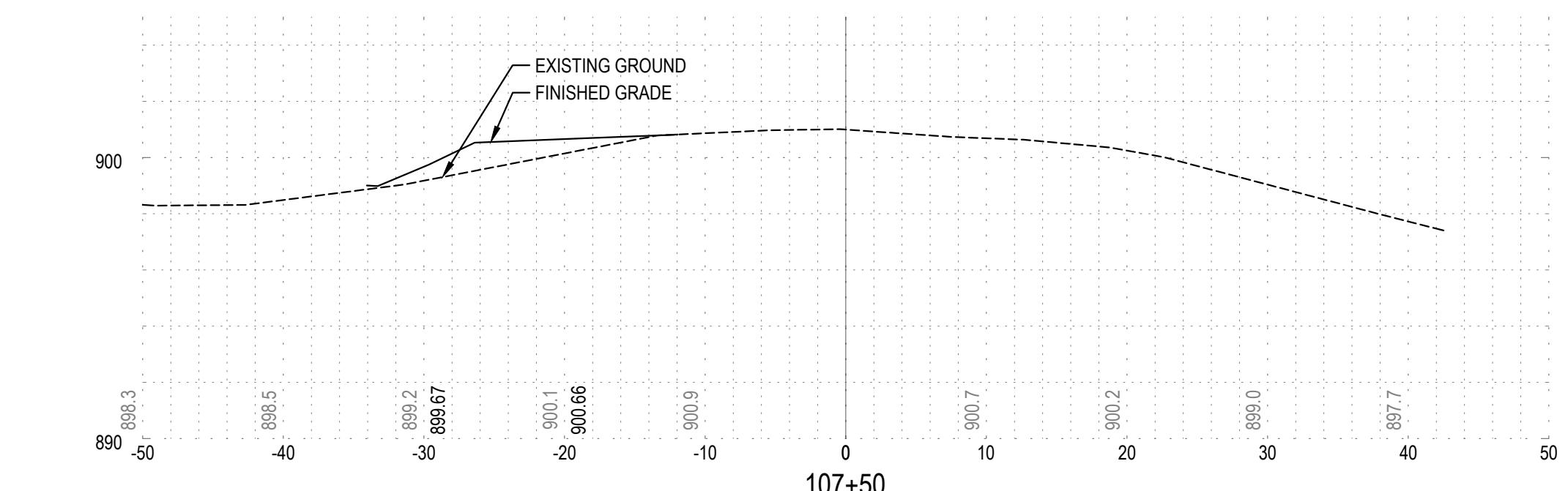
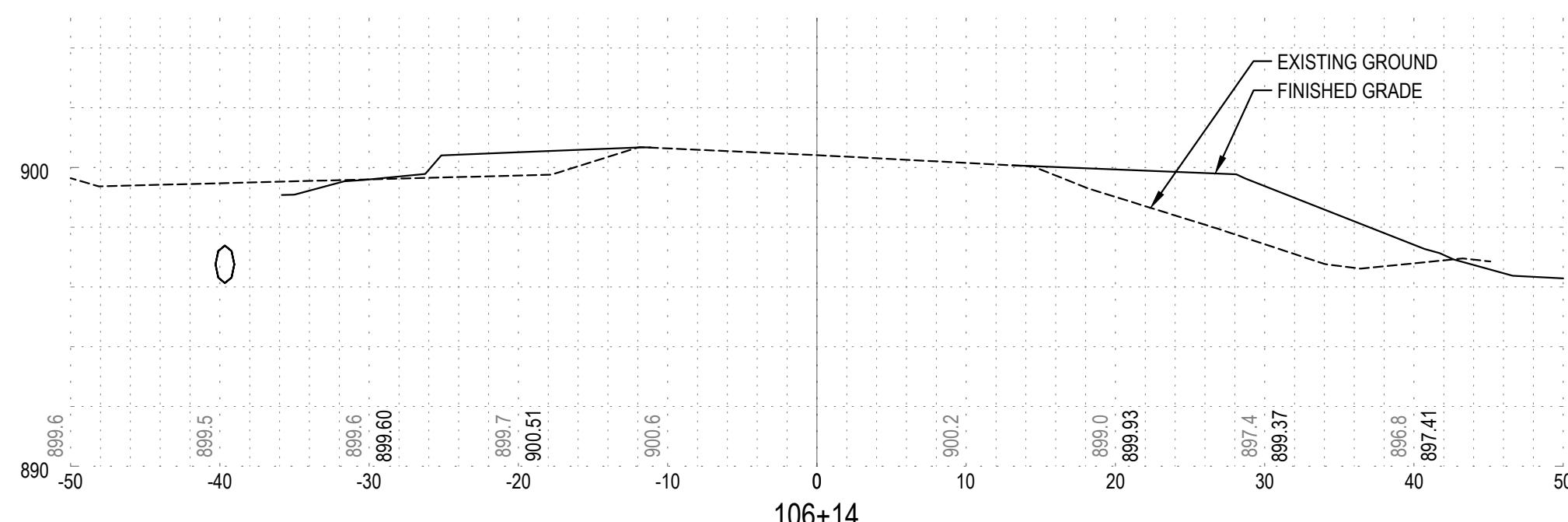
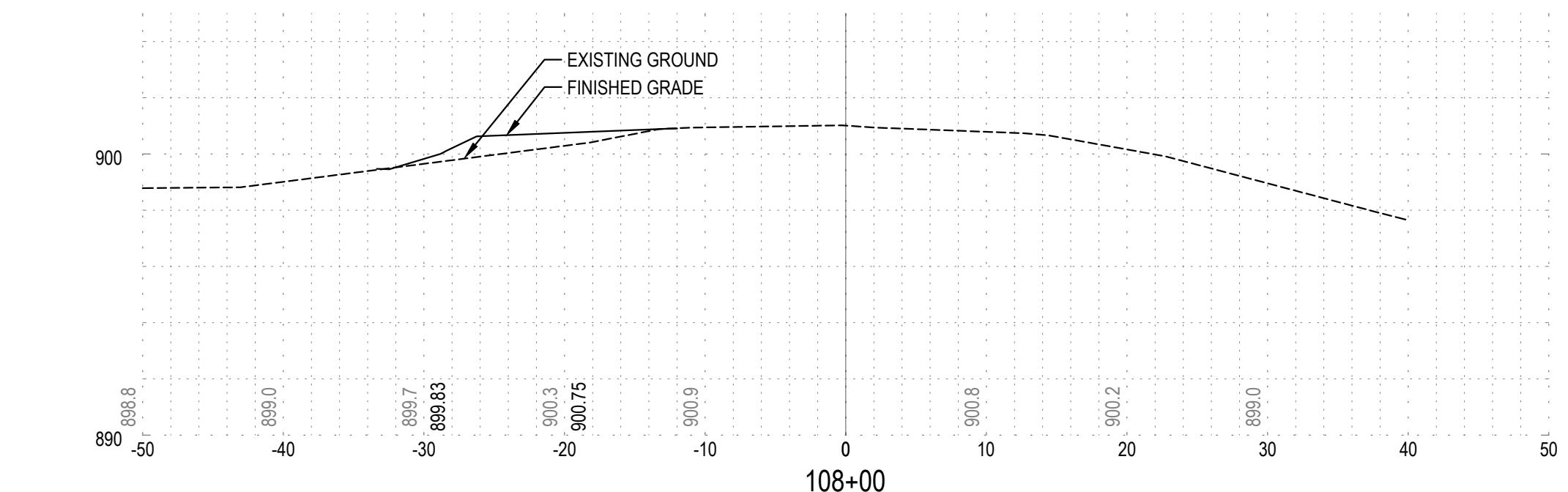
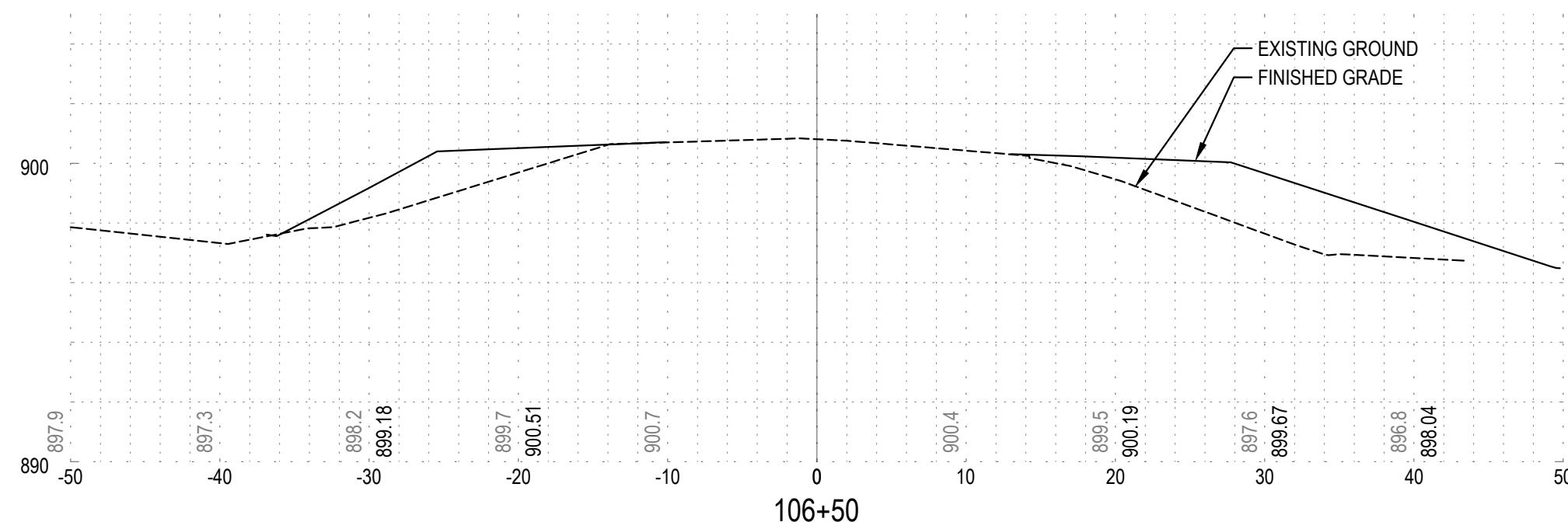
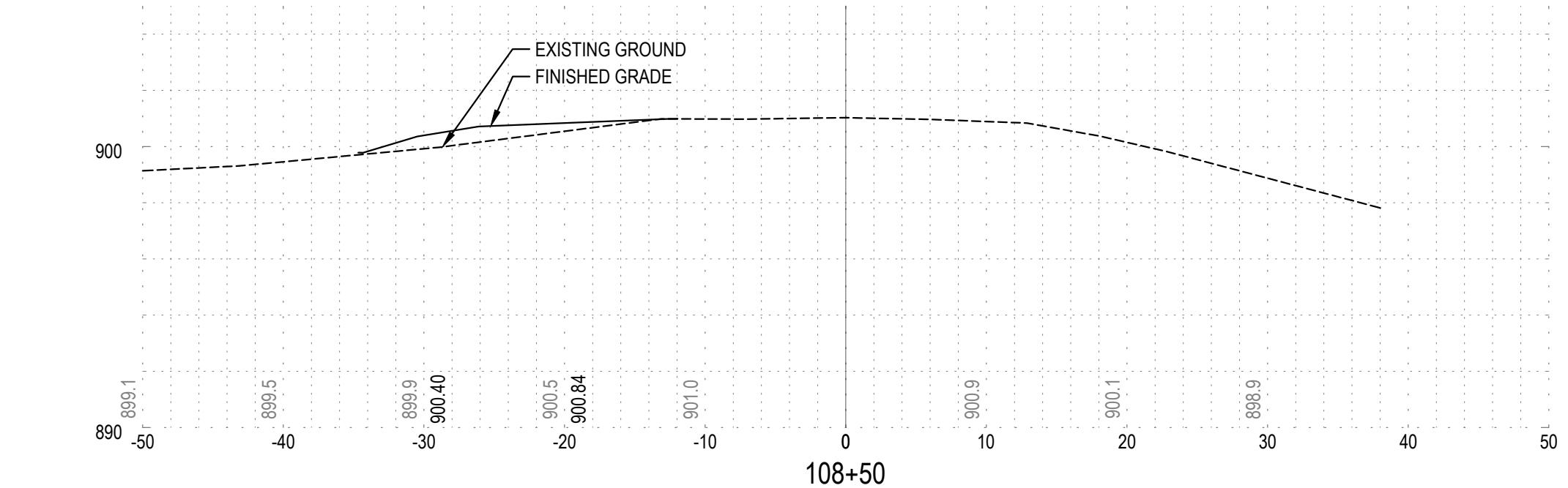
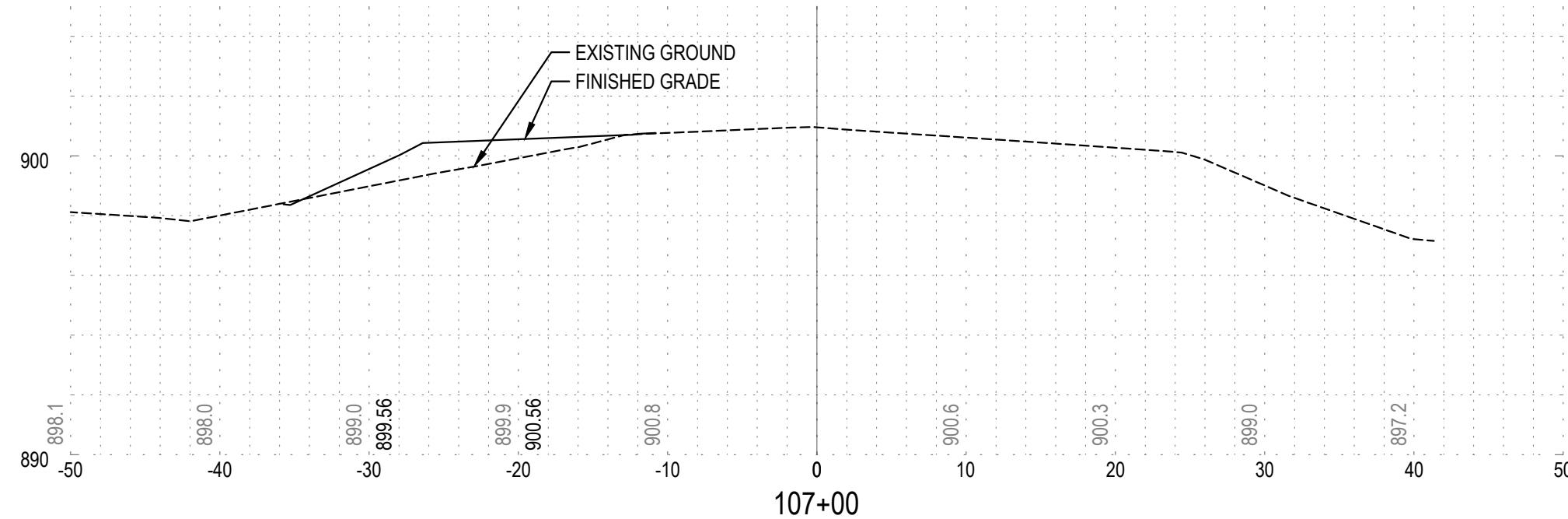
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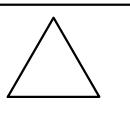
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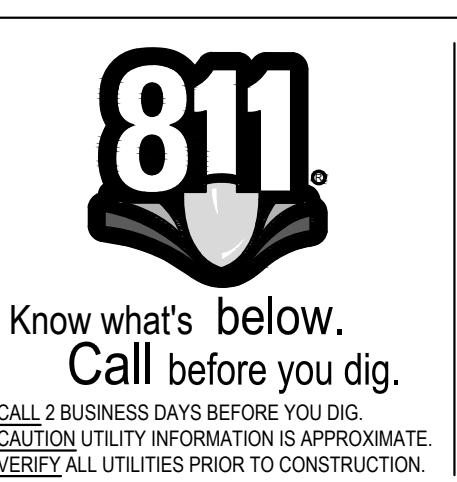
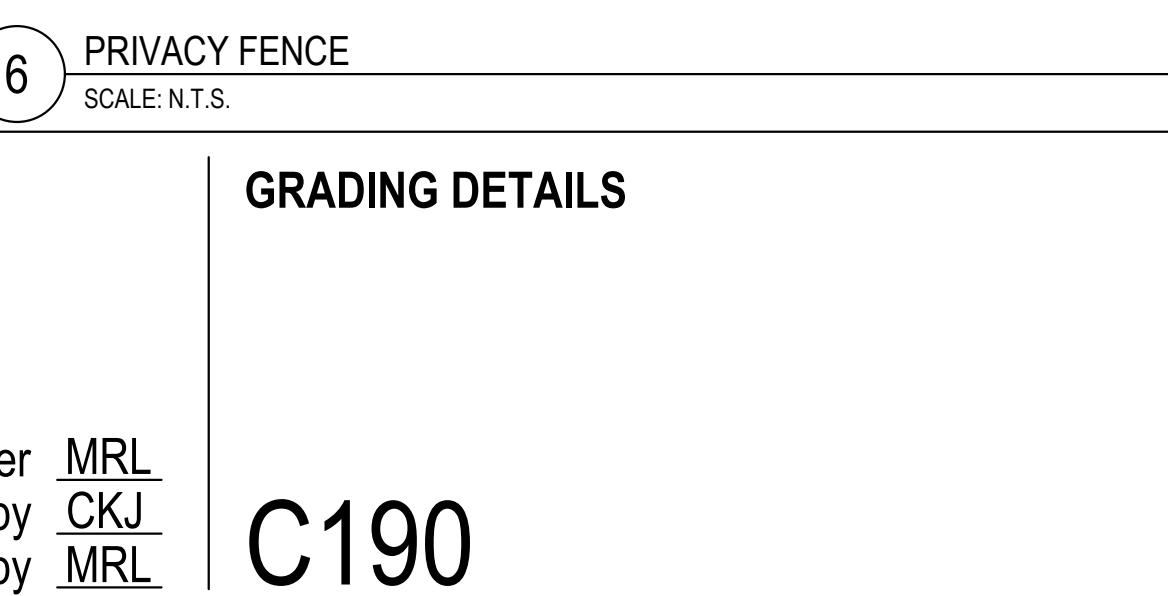
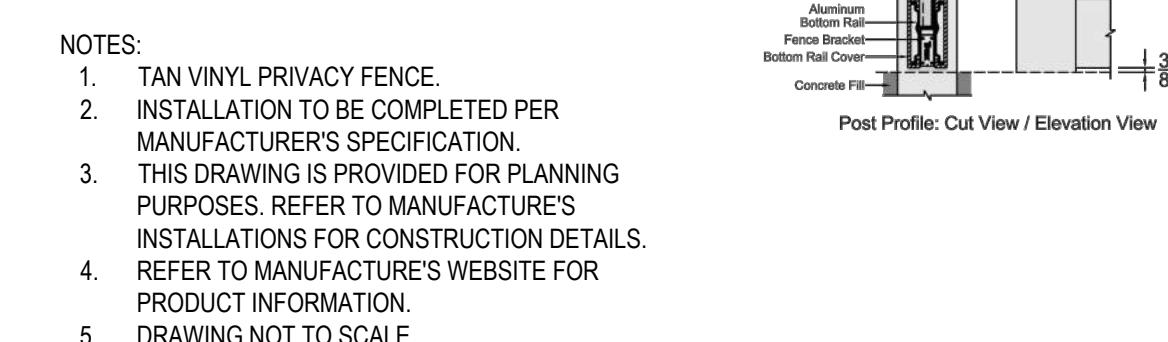
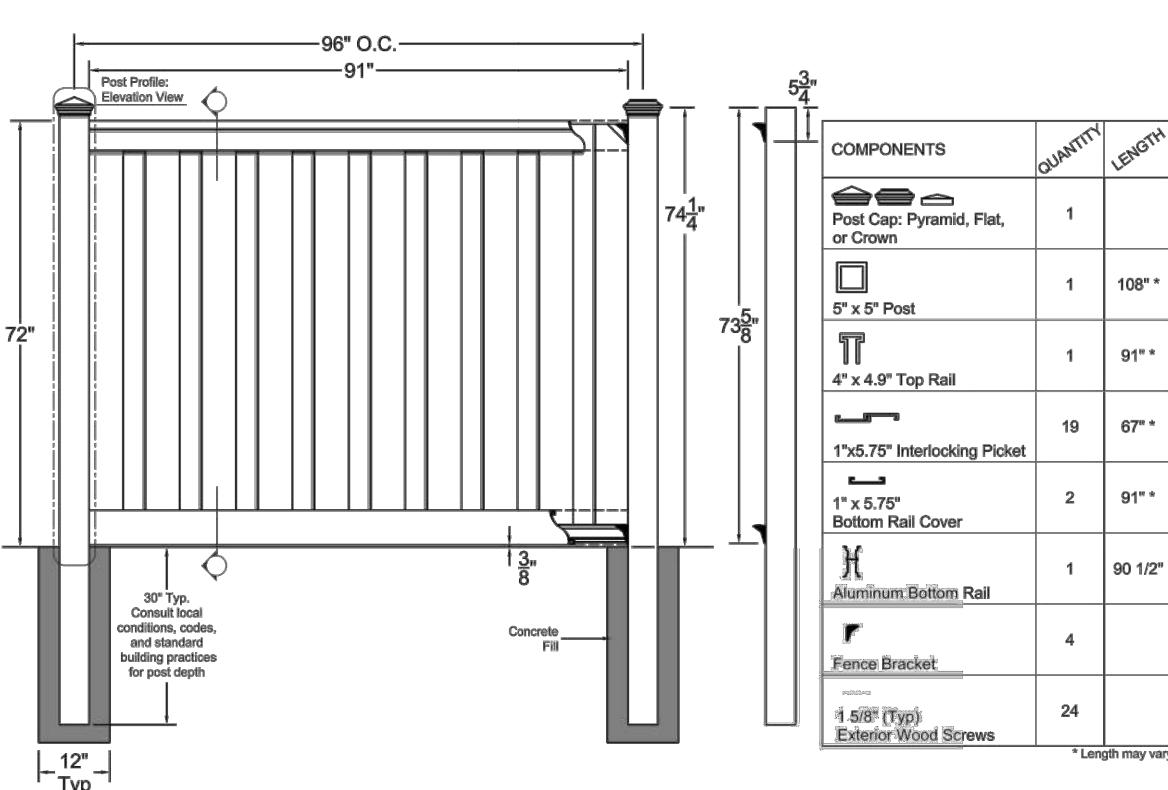
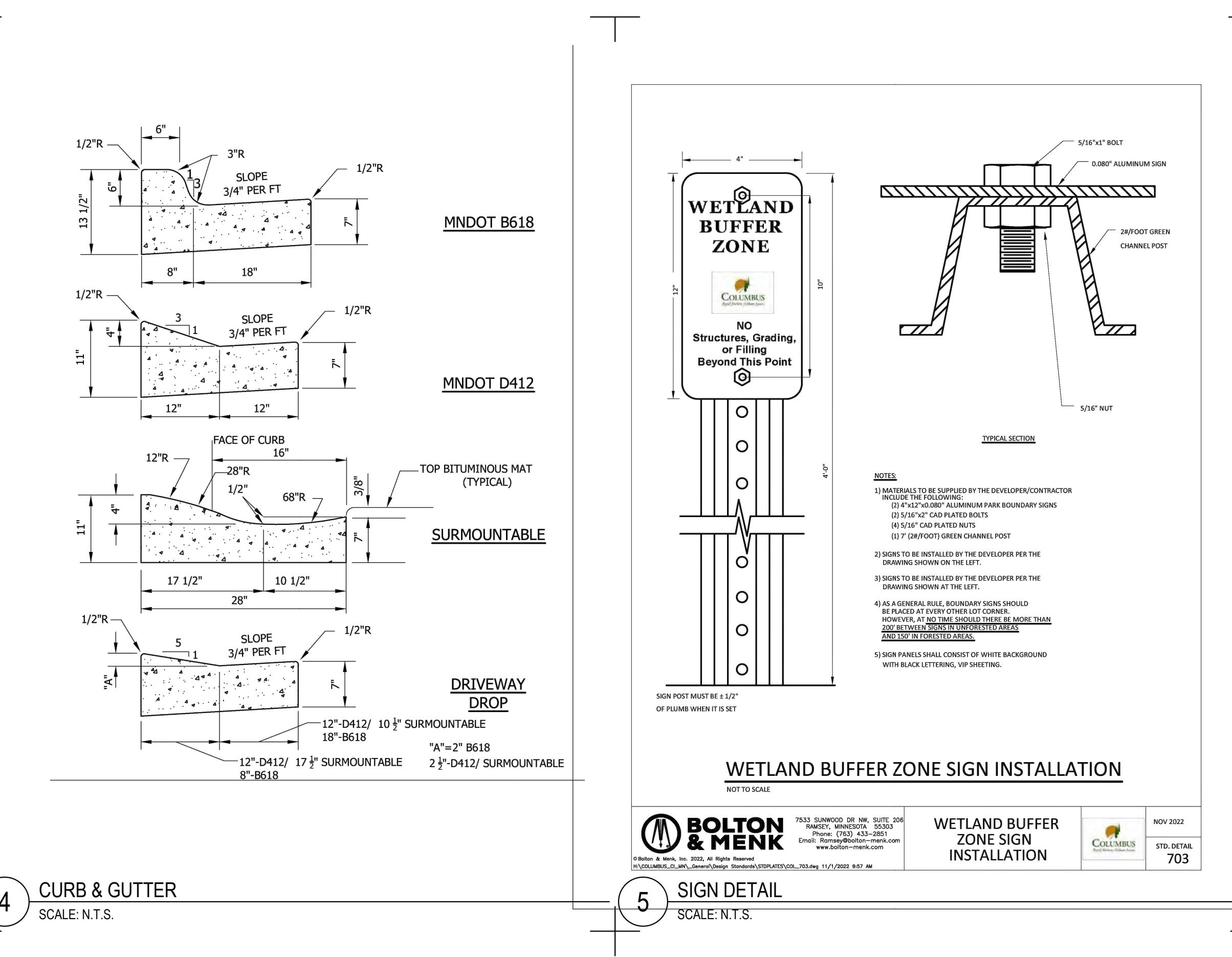
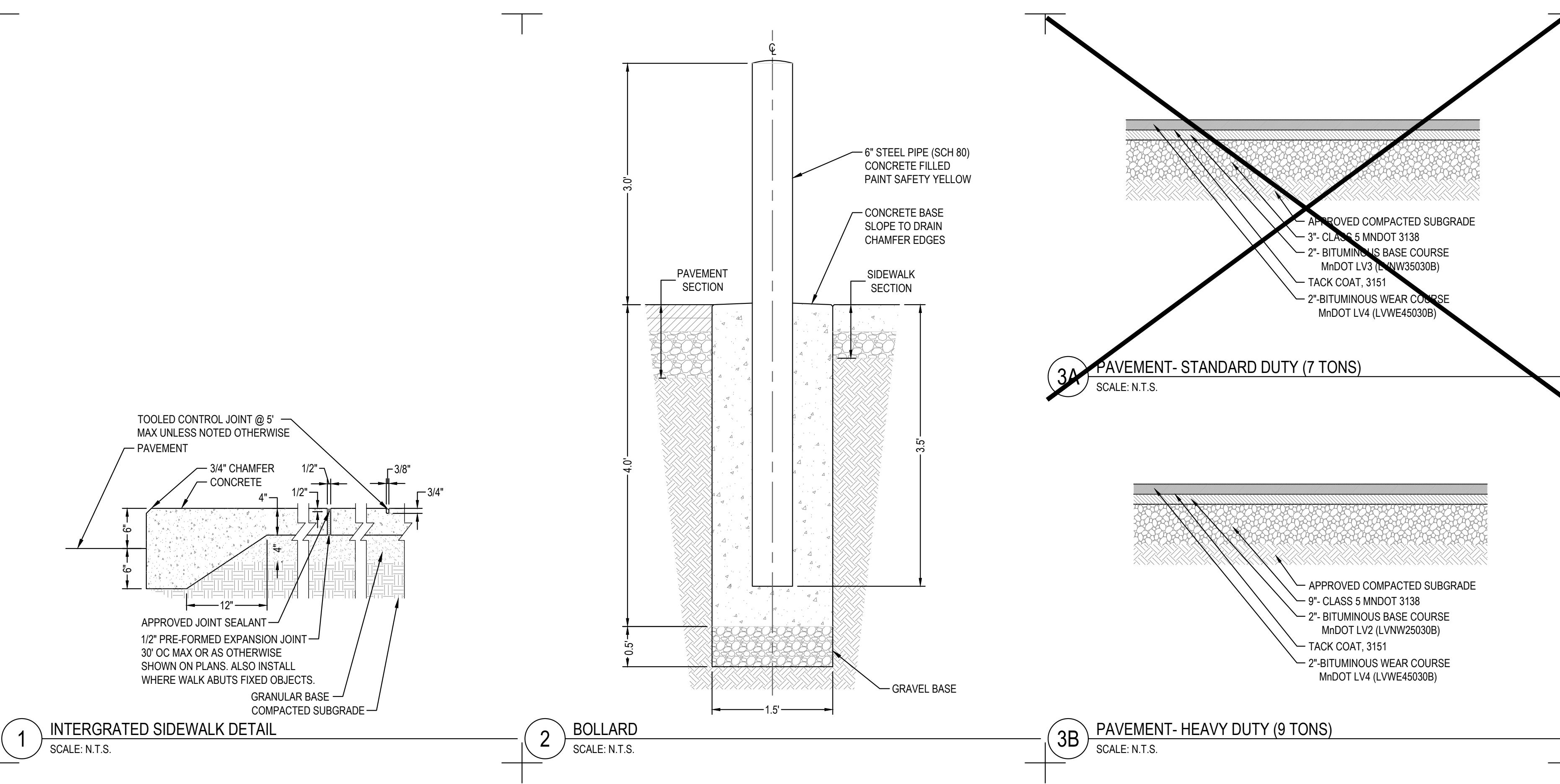
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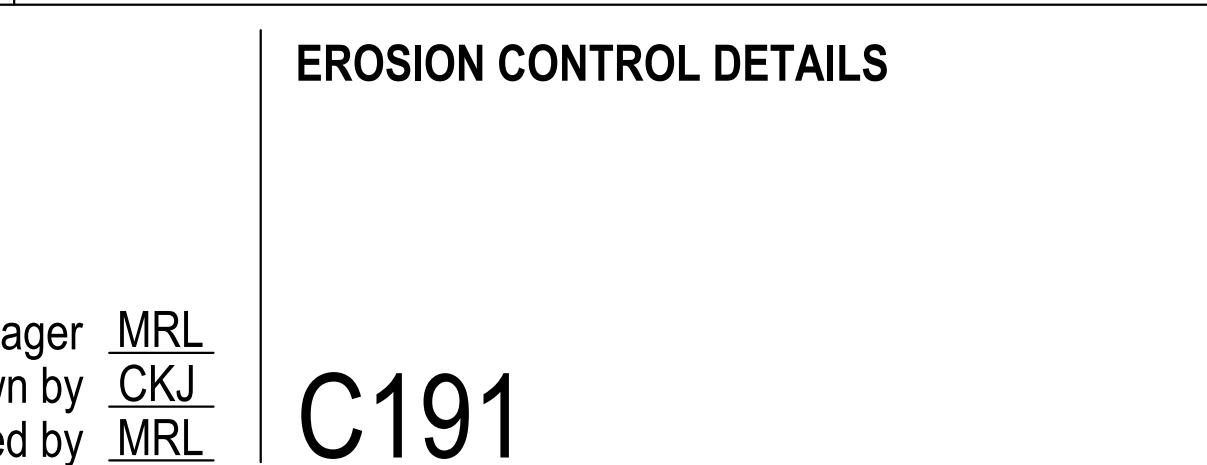
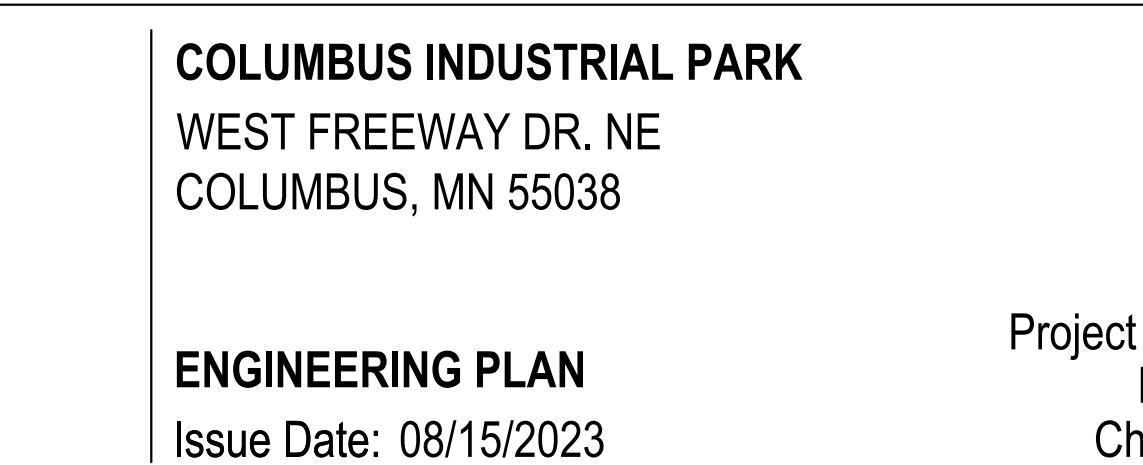
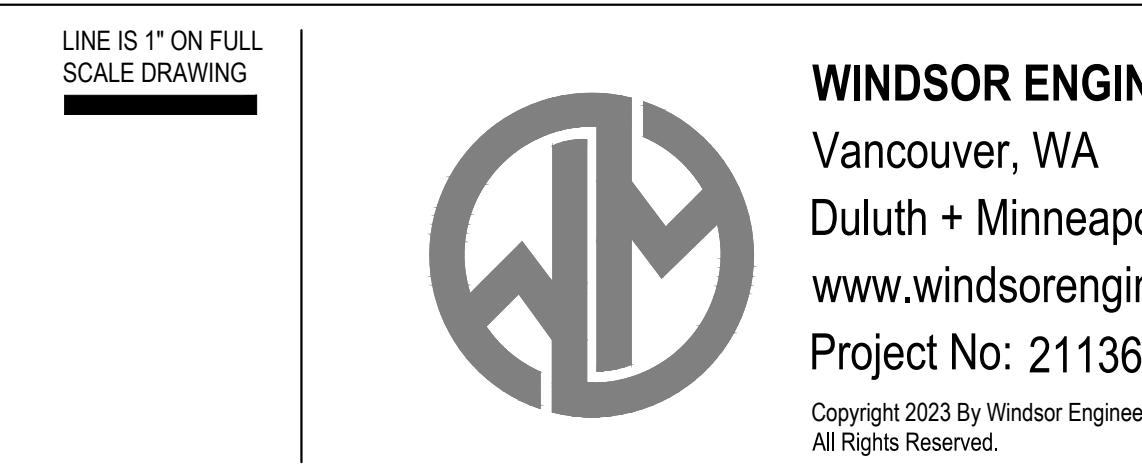
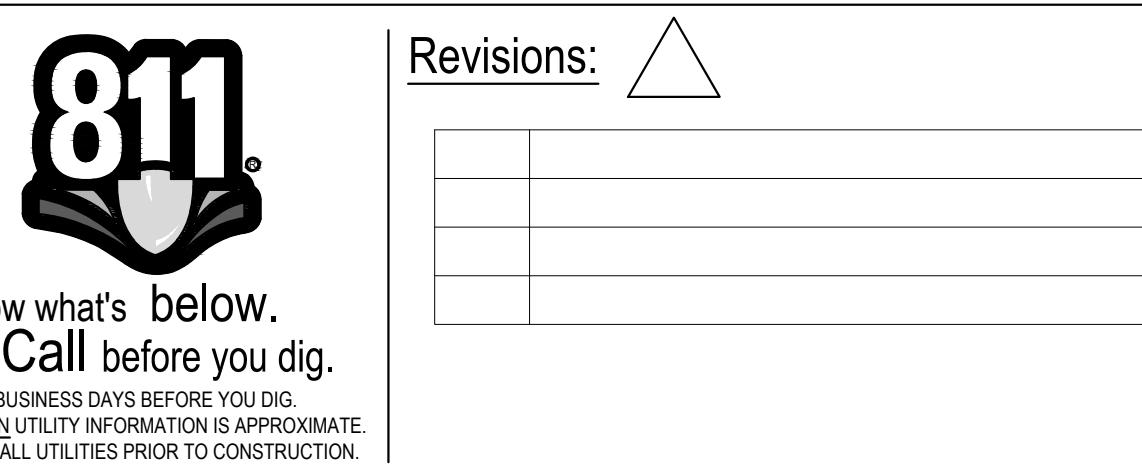
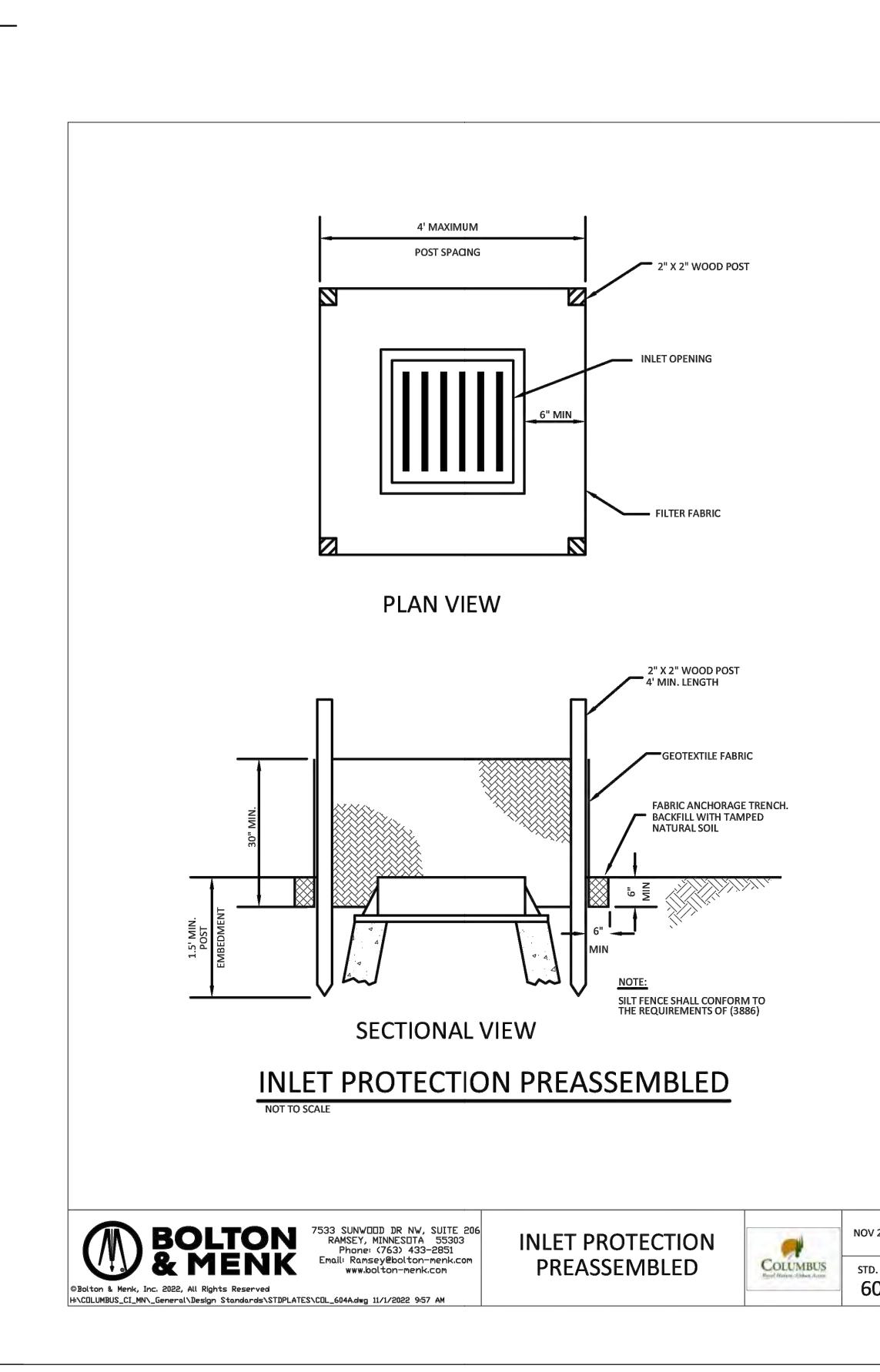
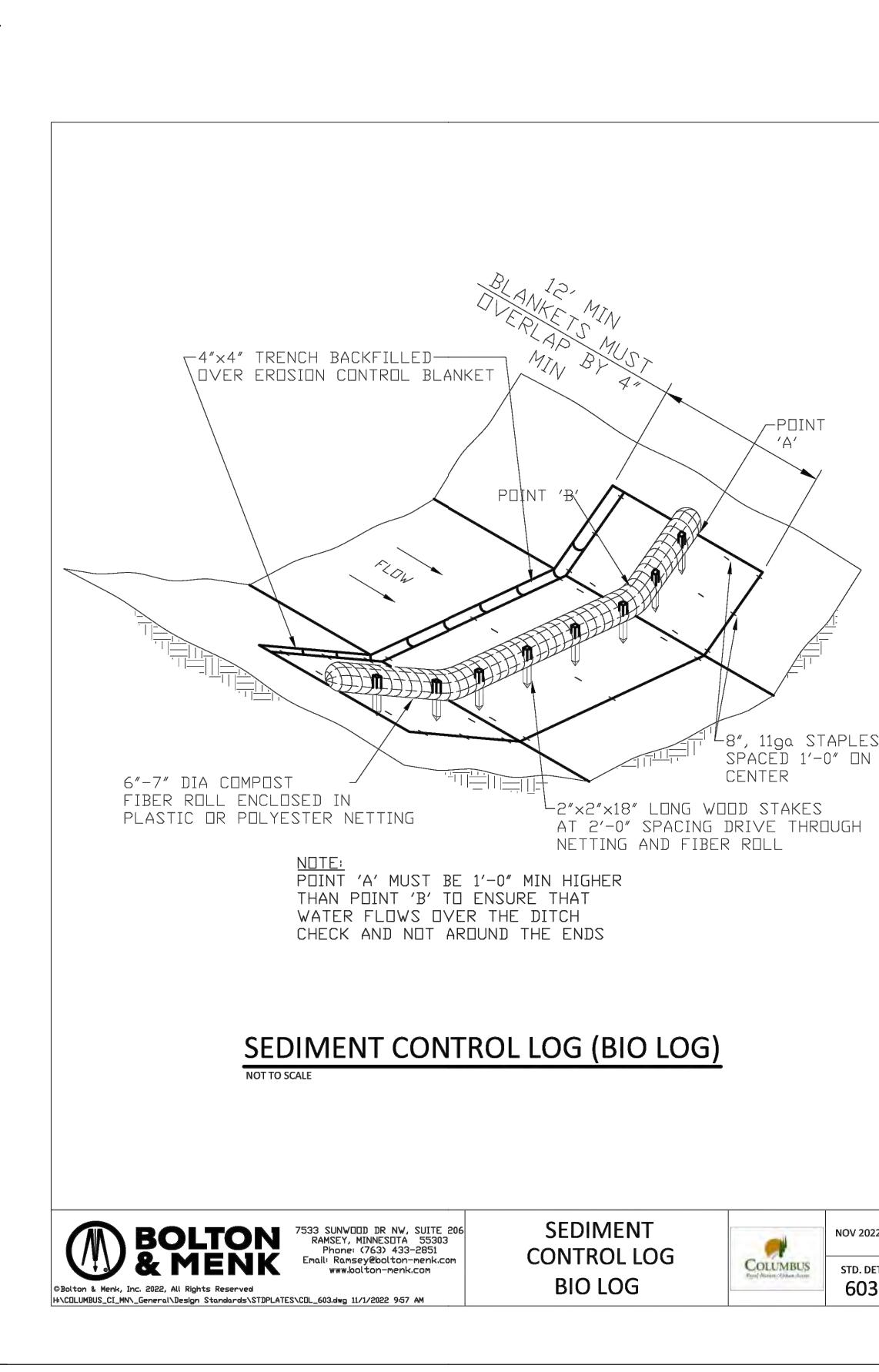
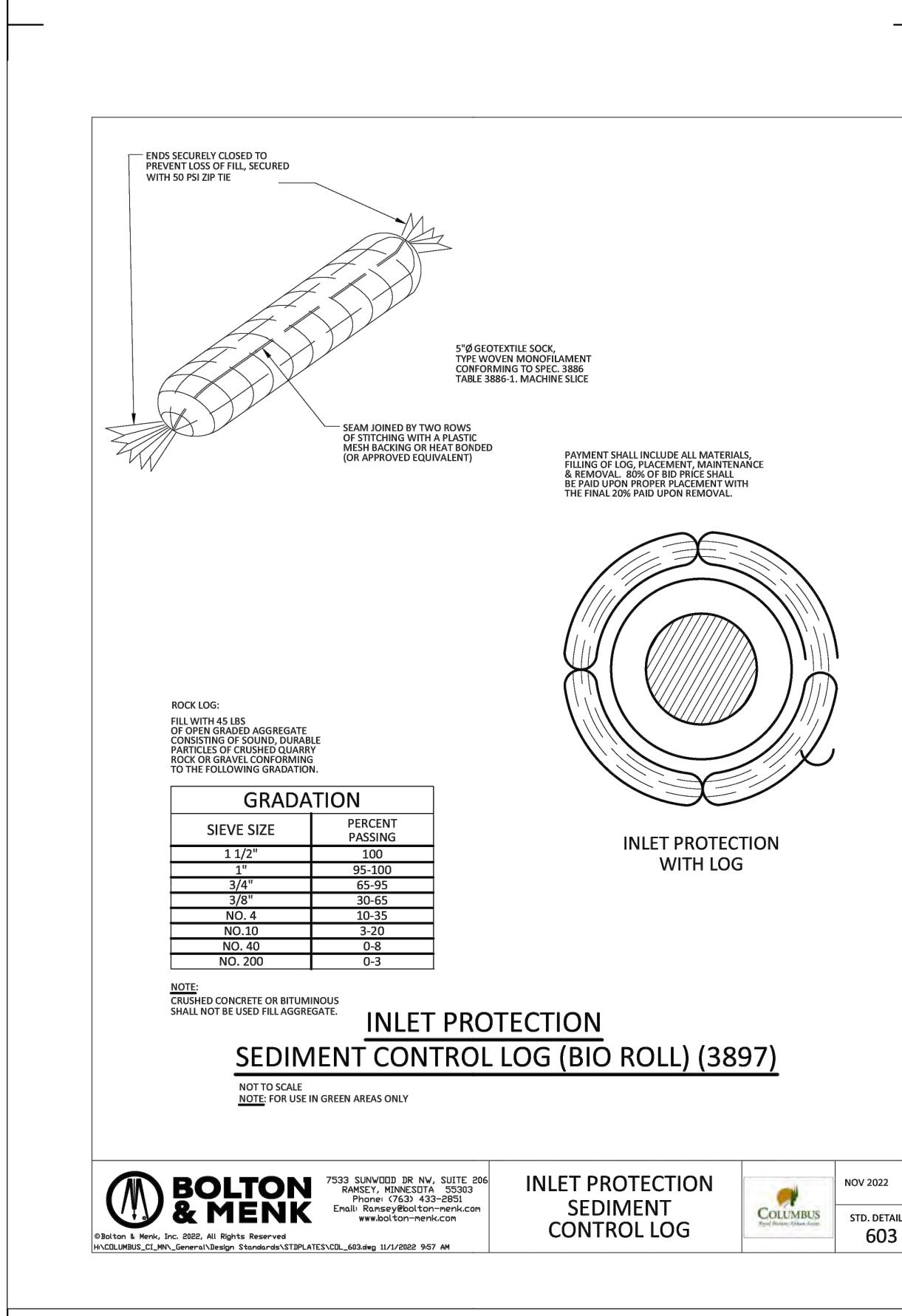
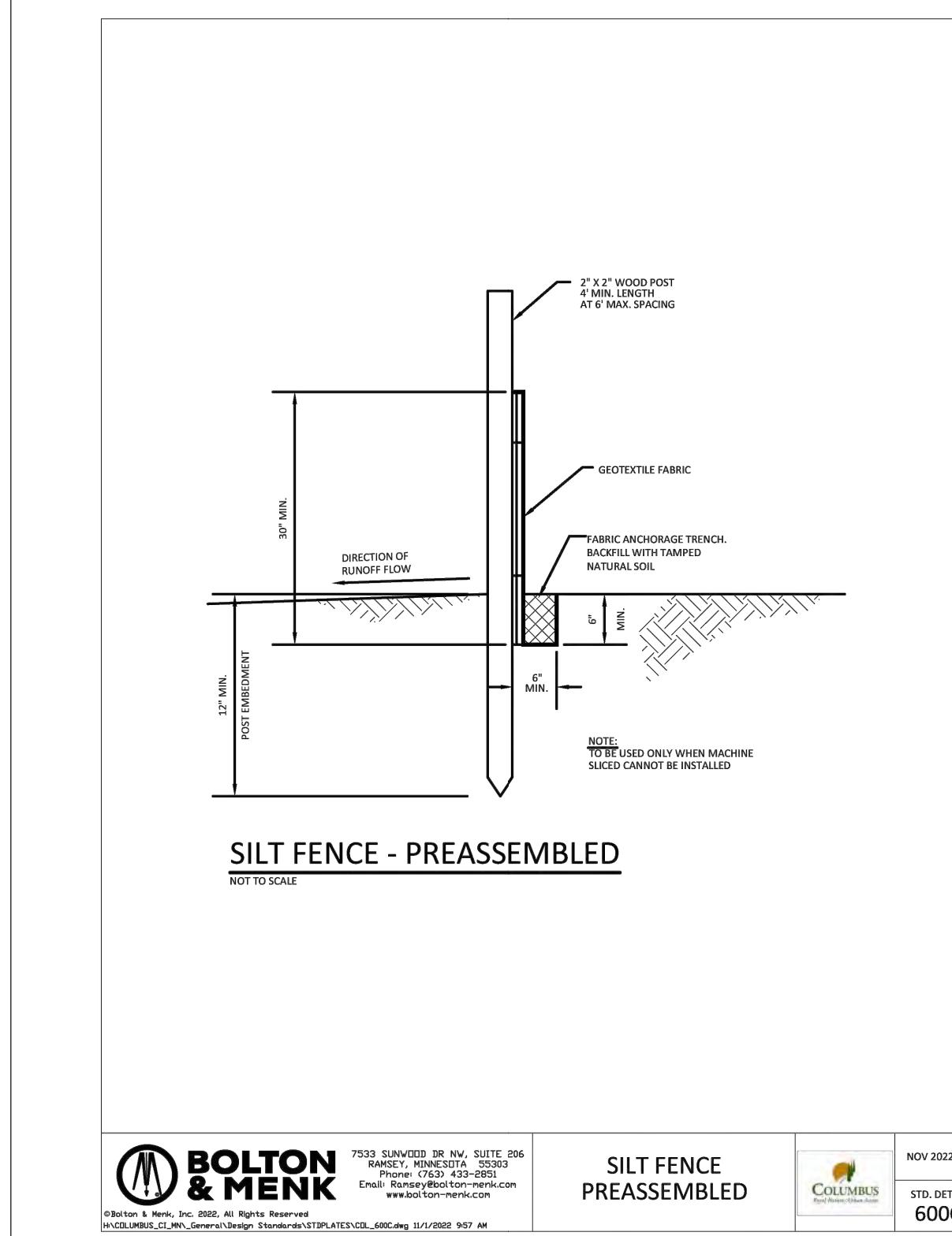
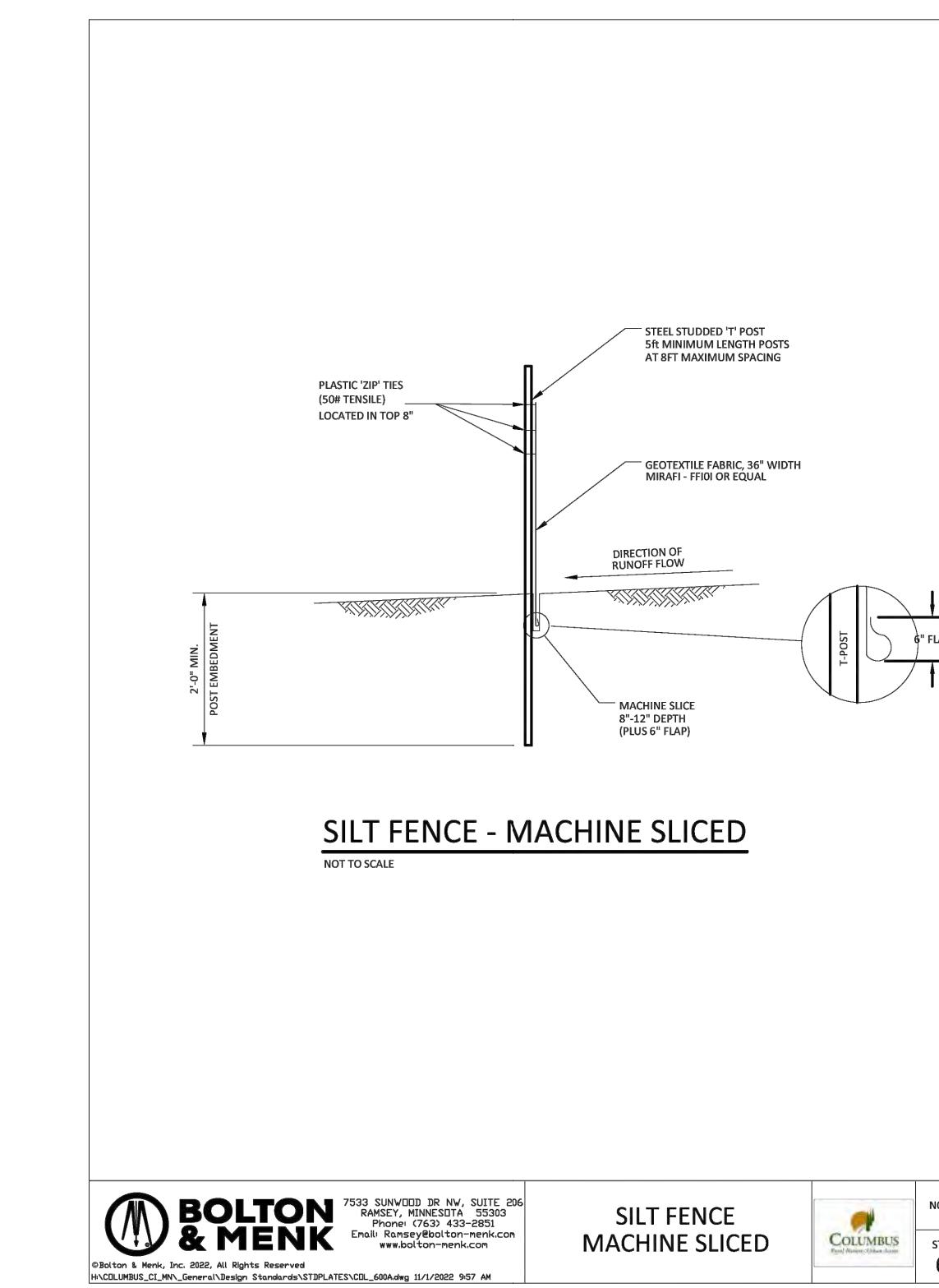
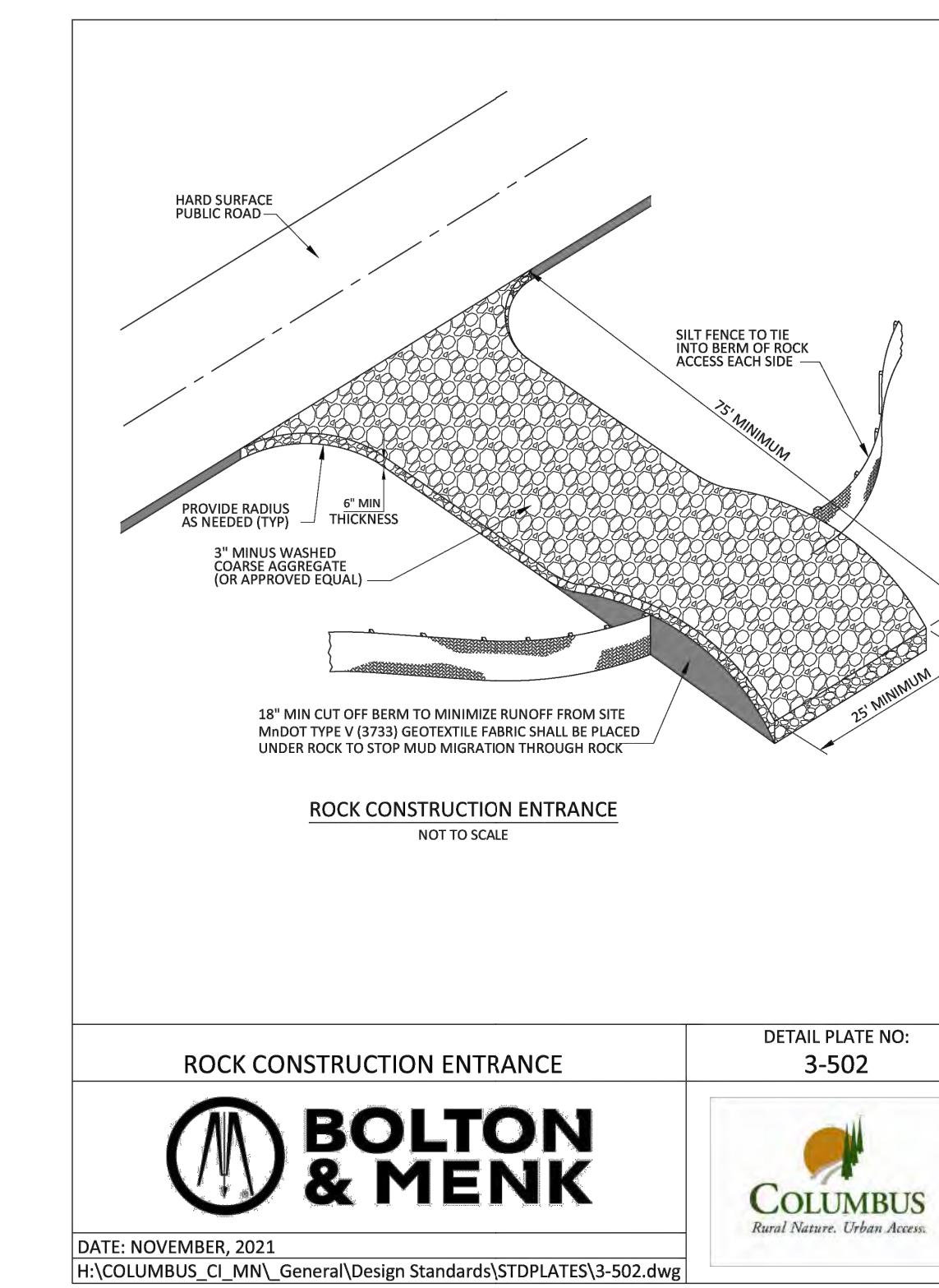
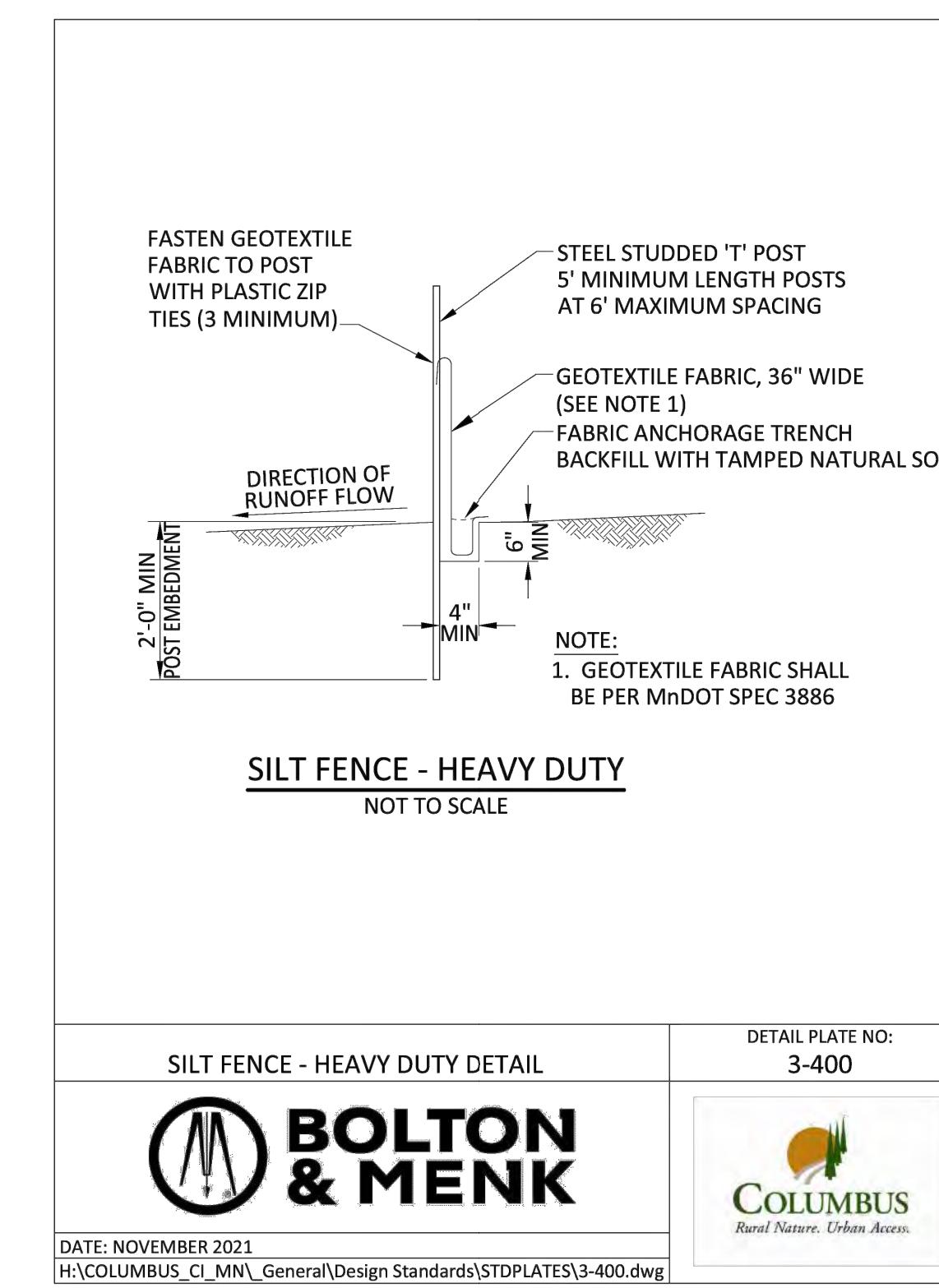
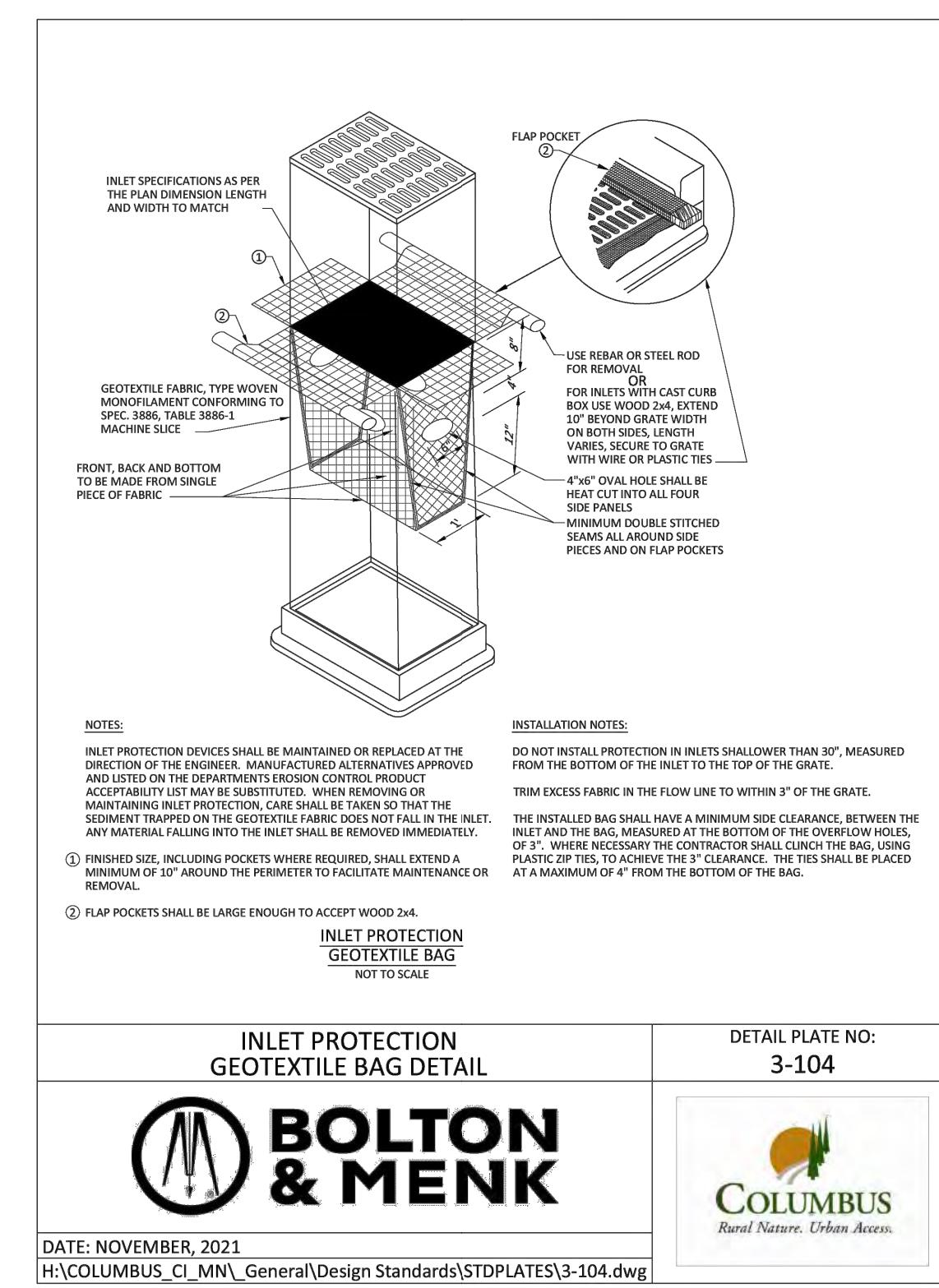


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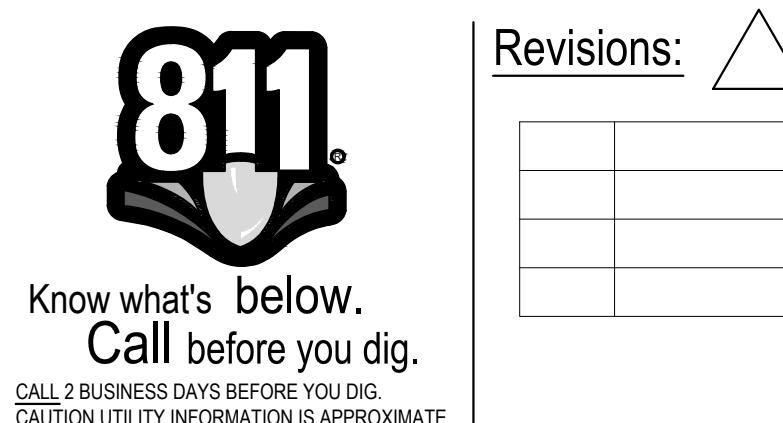
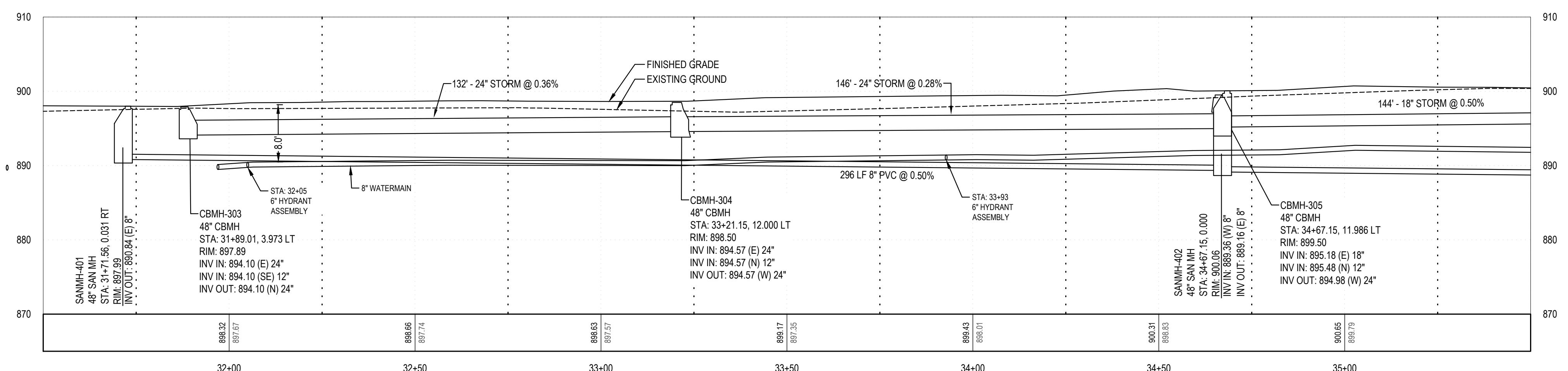
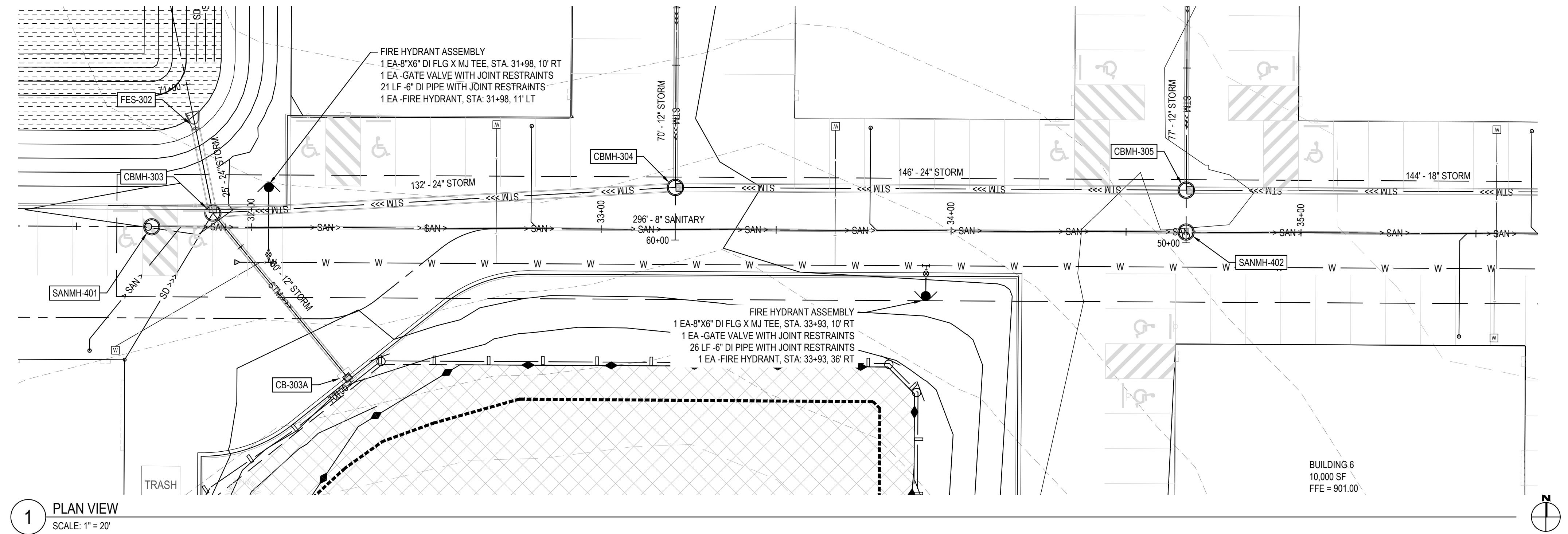
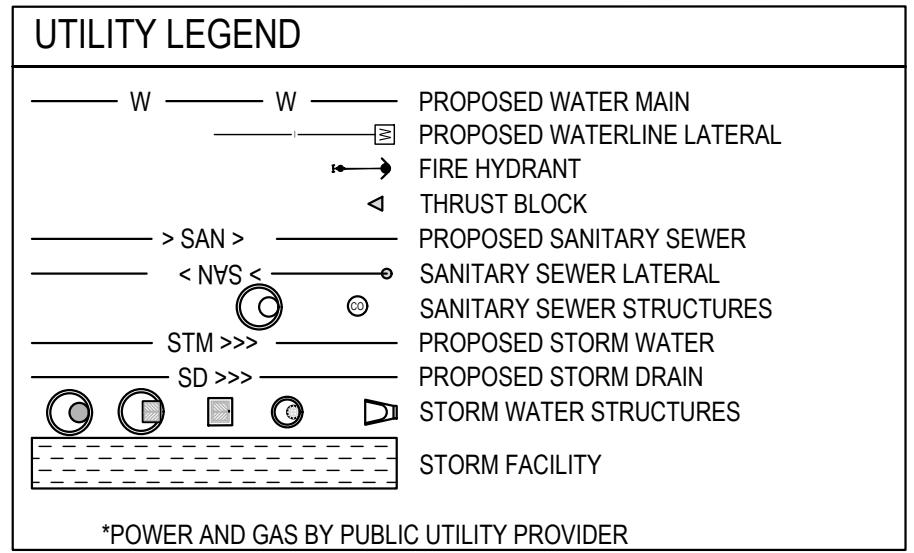
COLUMBUS INDUSTRIAL PARK
WEST FREEWAY DR. NE
COLUMBUS, MN 55038
ENGINEERING PLAN
Issue Date: 08/15/2023

Project Manager MRL
Drawn by CKJ
Checked by MRL



NOTES:

1. COORDINATE WITH CITY PUBLIC WORKS PRIOR TO CONNECTING TO EXISTING PUBLIC UTILITIES.
2. WATER SERVICES TO MAINTAIN 7.5' OF COVER.
3. MAINTAIN 10' OF SEPARATION FROM WATER SERVICE MAIN LINE FROM SANITARY AND STORM SEWER.
4. INSULATE BETWEEN WATERMAIN AND ANY SERVICES THAT ARE WITHIN 18" OF STORM OR SANITARY CROSSINGS.
5. Water service shall be 2".
6. Sewer service shall be 6".



Revisions:

LINE IS 1" ON FULL SCALE DRAWING



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REGISTRATION NO: 52664
SIGNED:
MARCUS R. LEE, P.E.

COLUMBUS INDUSTRIAL PARK
WEST FREEWAY DR. NE
COLUMBUS, MN 55038
ENGINEERING PLAN
Issue Date: 08/15/2023

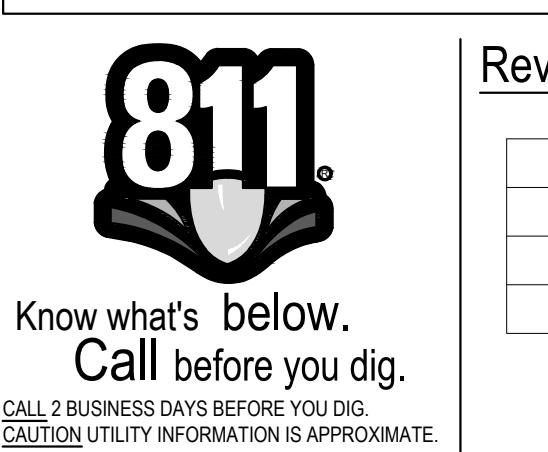
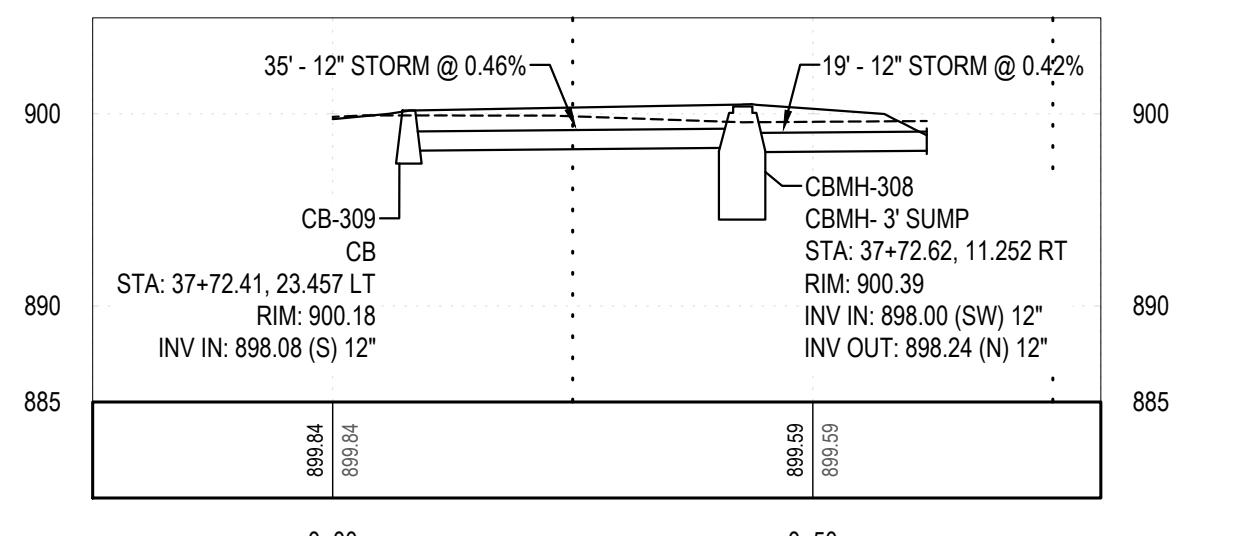
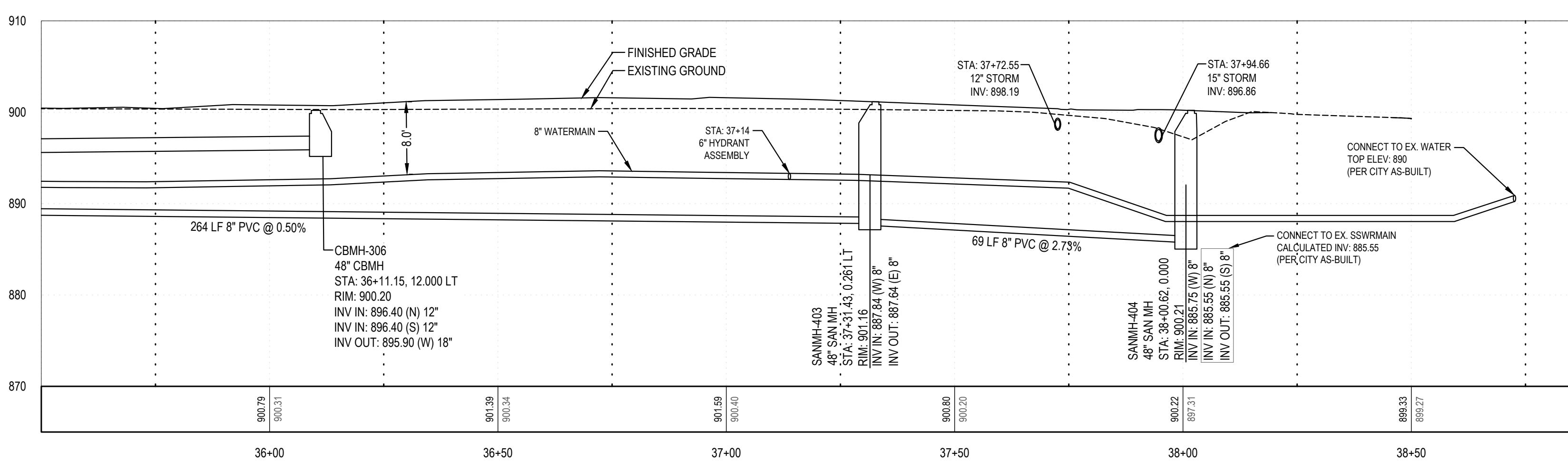
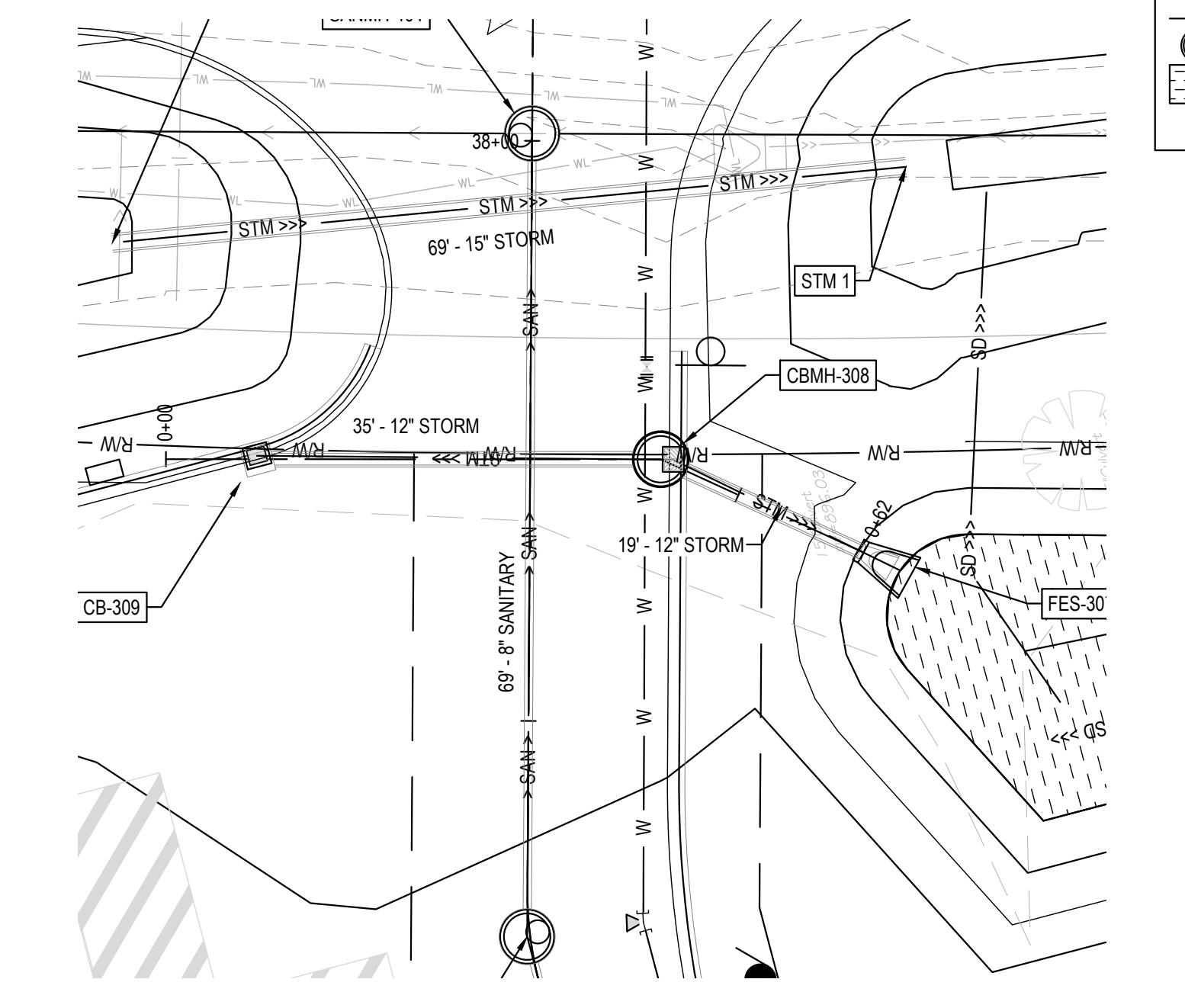
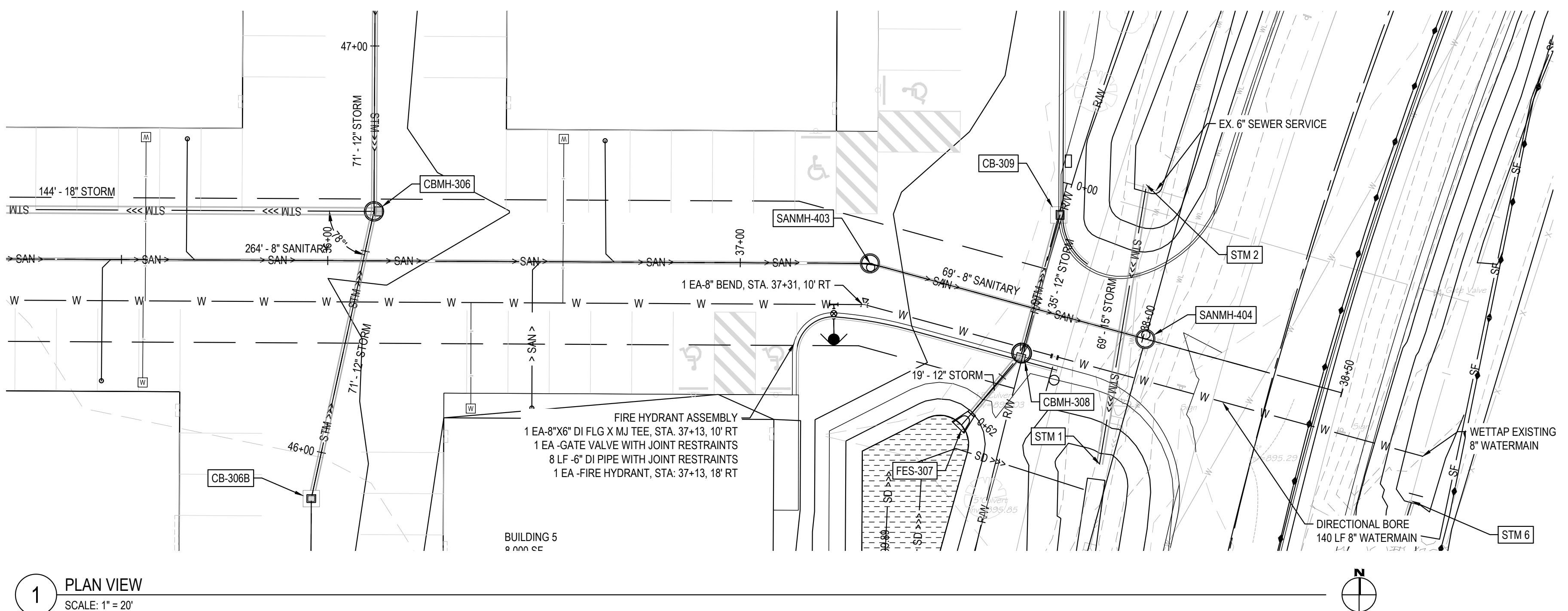
Project Manager **MRL**
Drawn by **CKJ**
Checked by **MRL**

C300

NOTES:

1. COORDINATE WITH CITY PUBLIC WORKS PRIOR TO CONNECTING TO EXISTING PUBLIC UTILITIES.
2. WATER SERVICES TO MAINTAIN 7.5' OF COVER.
3. MAINTAIN 10' OF SEPARATION FROM WATER SERVICE MAIN LINE FROM SANITARY AND STORM SEWER.
4. INSULATE BETWEEN WATERMAIN AND ANY SERVICES THAT ARE WITHIN 18" OF STORM OR SANITARY CROSSINGS.

UTILITY LEGEND	
W	PROPOSED WATER MAIN
W	PROPOSED WATERLINE LATERAL
→	FIRE HYDRANT
△	THRUST BLOCK
> SAN >	PROPOSED SANITARY SEWER
< SAN <	PROPOSED SANITARY SEWER LATERAL
STM >>	PROPOSED STORM WATER
SD >>	PROPOSED STORM DRAIN
STM	STORM WATER STRUCTURES
SD	STORM FACILITY
*POWER AND GAS BY PUBLIC UTILITY PROVIDER	



Revisions:

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COLUMBUS INDUSTRIAL PARK
WEST FREEWAY DR. NE
COLUMBUS, MN 55038
ENGINEERING PLAN
Issue Date: 08/15/2023

Project Manager MRL
Drawn by CKJ
Checked by MRL

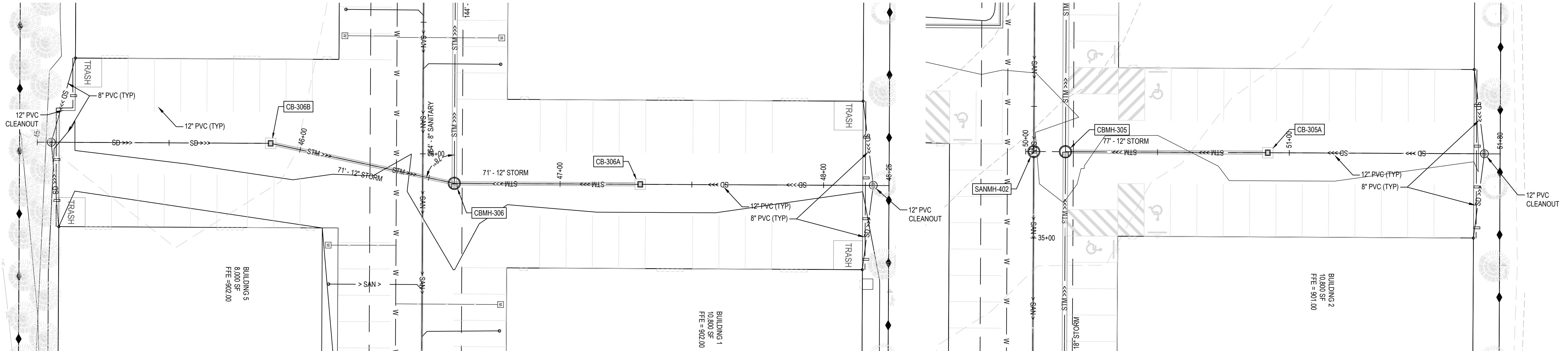
UTILITY PLAN & PROFILE
C301

NOTES:

1. COORDINATE WITH CITY PUBLIC WORKS PRIOR TO CONNECTING TO EXISTING PUBLIC UTILITIES.
2. WATER SERVICES TO MAINTAIN 7.5' OF COVER.
3. MAINTAIN 10' OF SEPARATION FROM WATER SERVICE MAIN LINE FROM SANITARY AND STORM SEWER.
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UTILITY LEGEND	
W	PROPOSED WATER MAIN
W	PROPOSED WATERLINE LATERAL
FFF	FIRE HYDRANT
W	THRUST BLOCK
> SAN >	PROPOSED SANITARY SEWER
< NVS <	SANITARY SEWER LATERAL
STM >>	SANITARY SEWER STRUCTURES
SD >>	PROPOSED STORM WATER
SD >>	PROPOSED STORM DRAIN
SD >>	STORM WATER STRUCTURES
SD >>	STORM FACILITY

*POWER AND GAS BY PUBLIC UTILITY PROVIDER

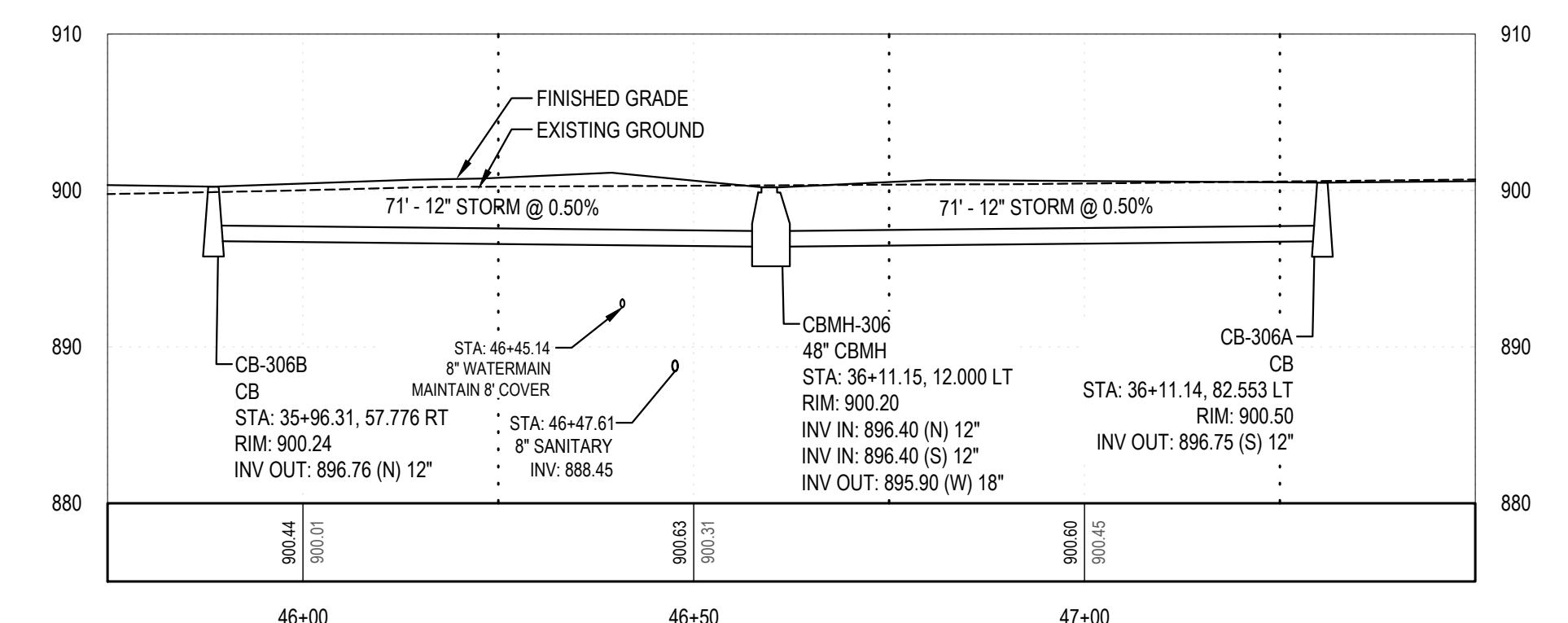


1 PLAN VIEW

SCALE: 1" = 20'

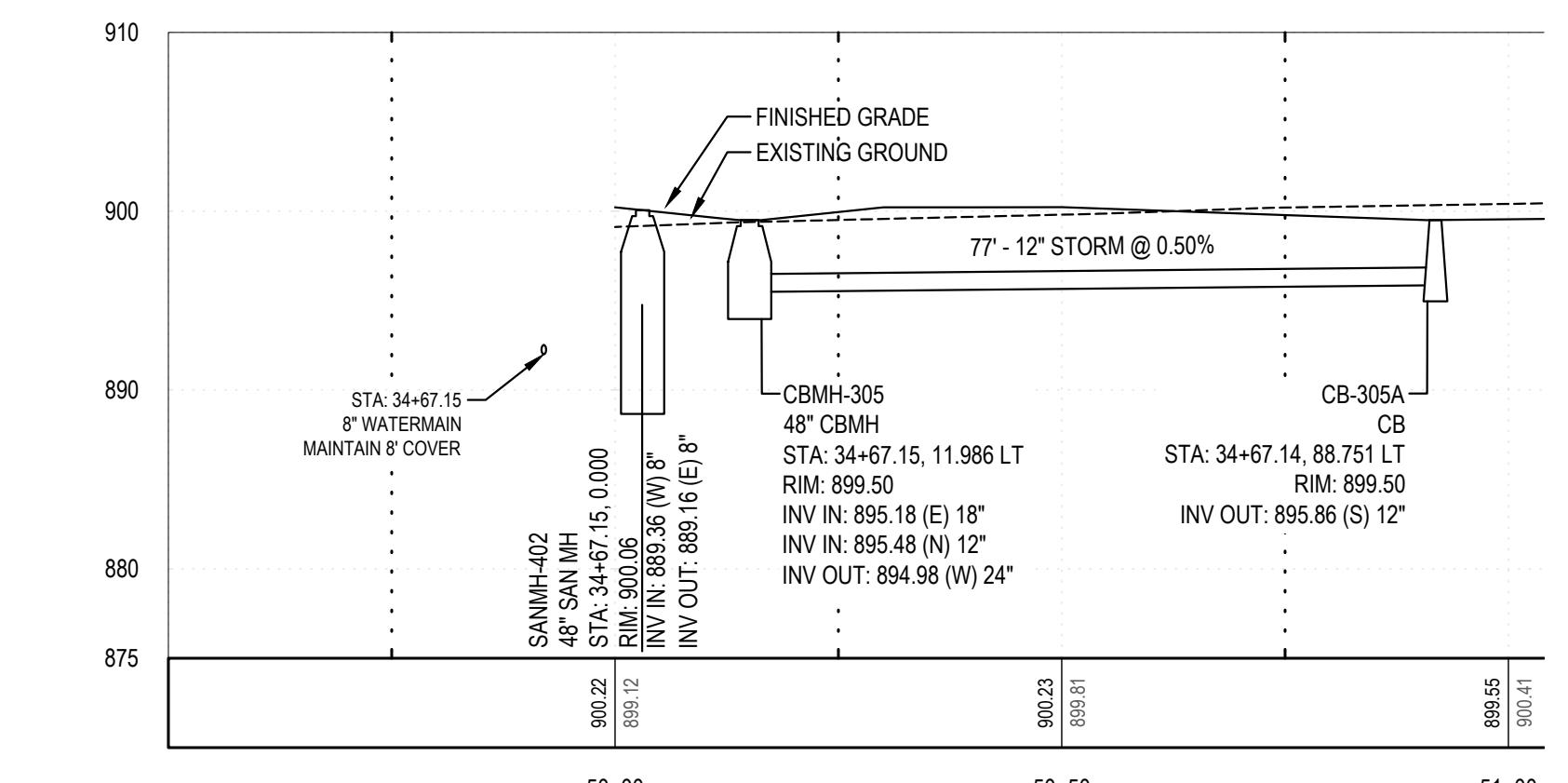
3 PLAN VIEW

SCALE: 1" = 20'



2 PROFILE VIEW

HORIZONTAL SCALE: 1" = 20' - VERTICAL SCALE: 1" = 10'



4 PROFILE VIEW

HORIZONTAL SCALE: 1" = 20' - VERTICAL SCALE: 1" = 10'



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Revisions:

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COLUMBUS, MN 55038

ENGINEERING PLAN
Issue Date: 08/15/2023

Project Manager **MRL**
Drawn by **CKJ**
Checked by **MRL**

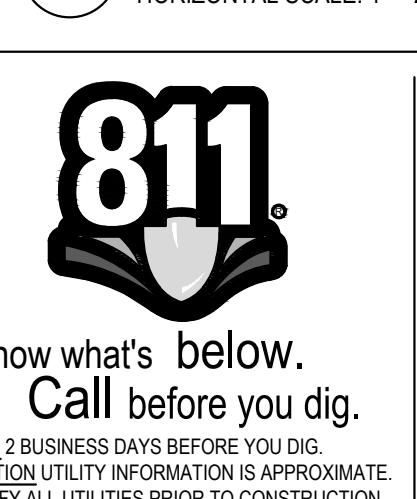
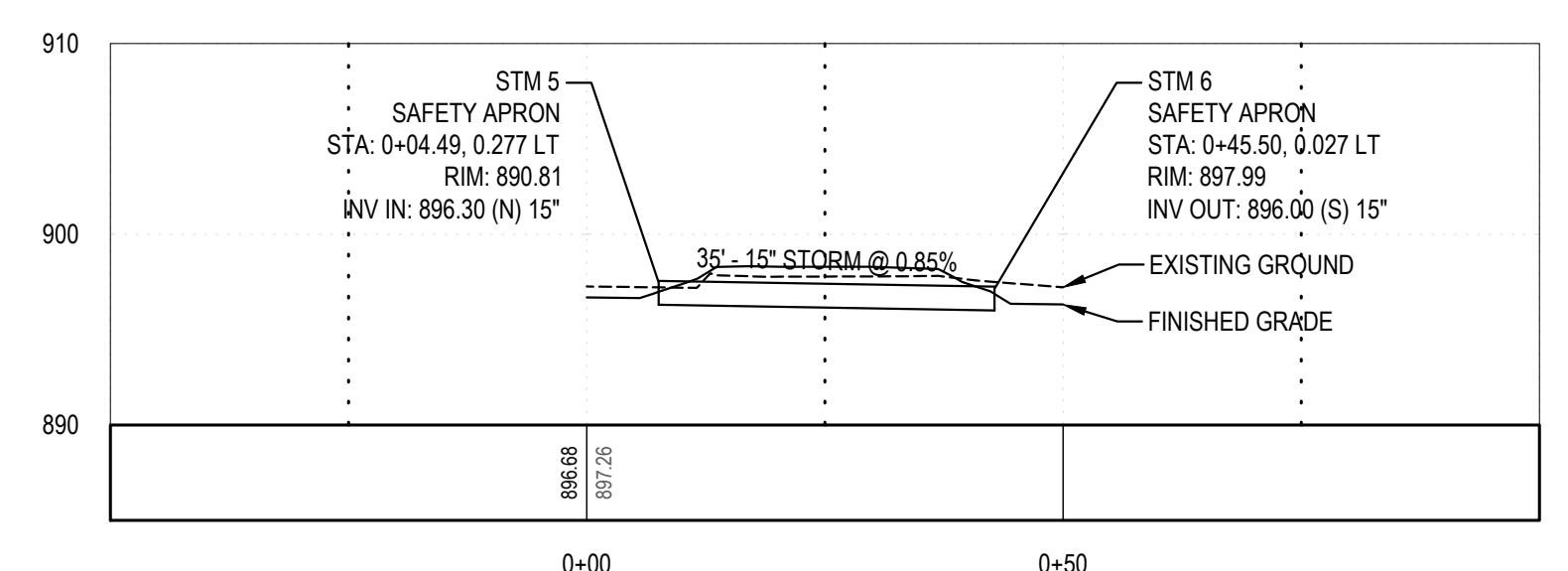
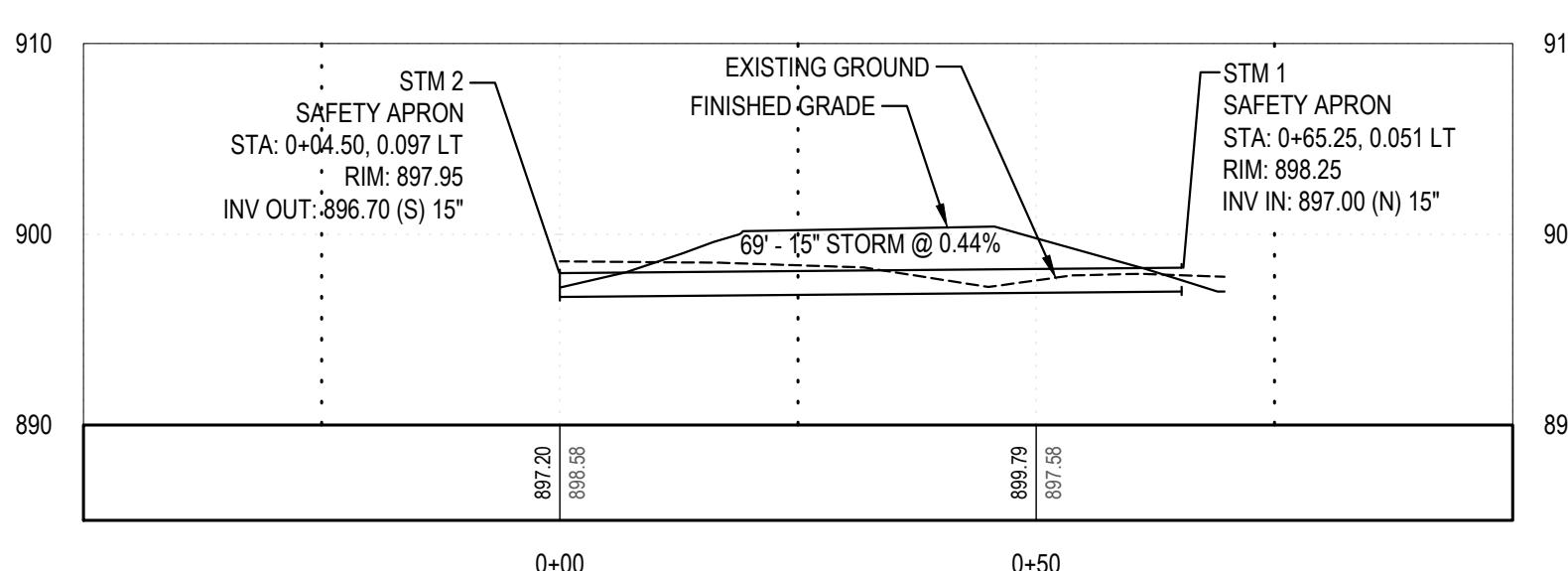
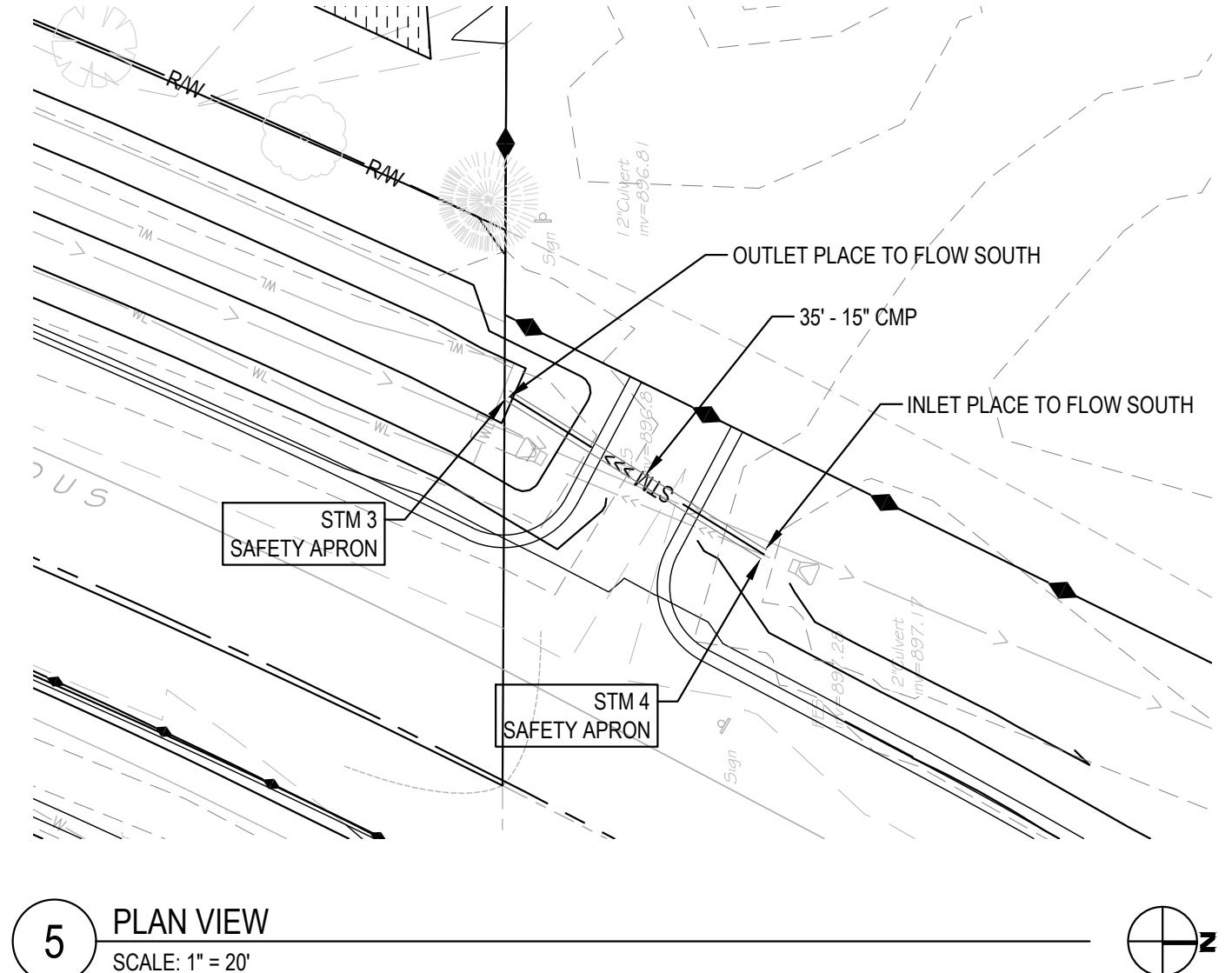
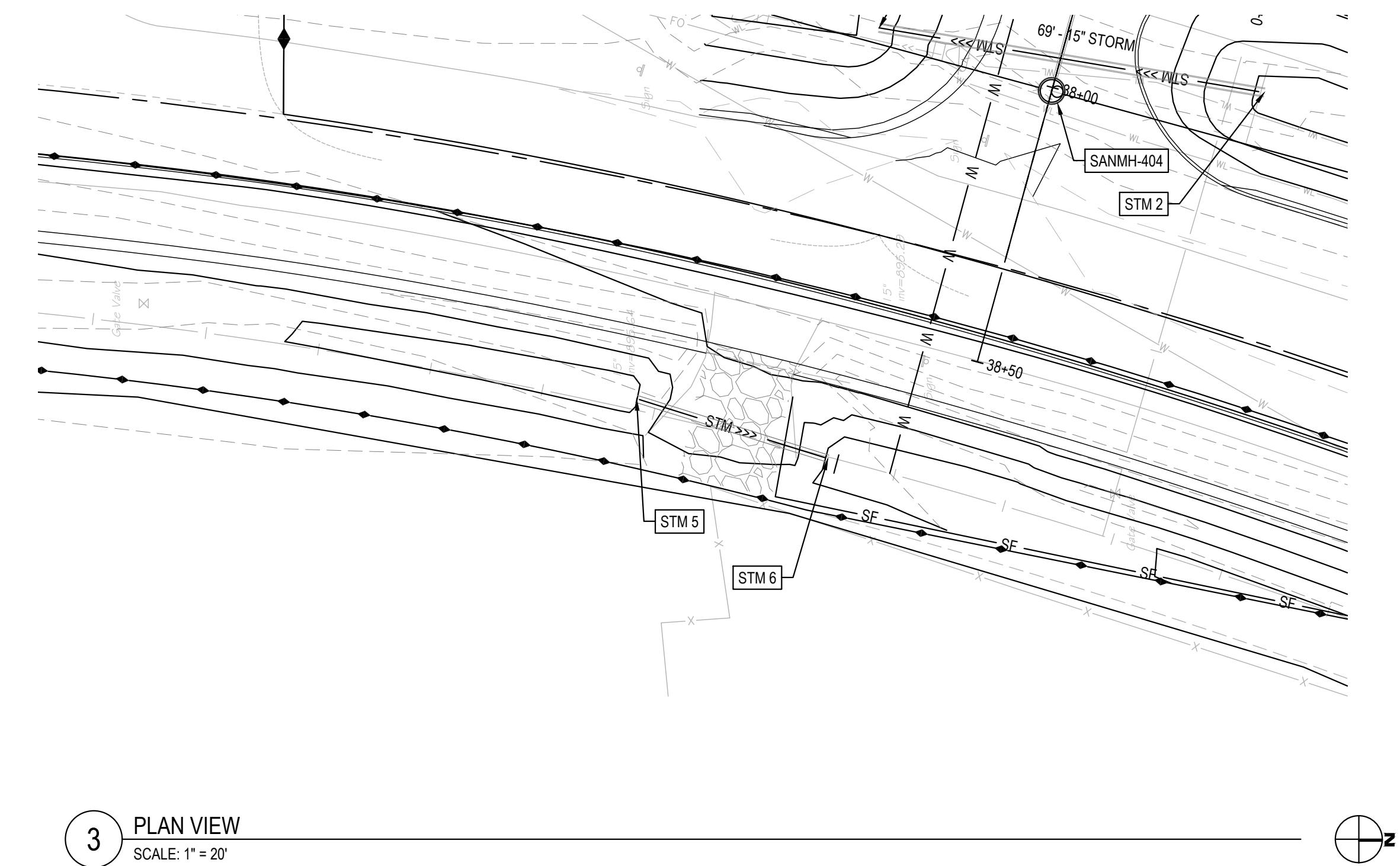
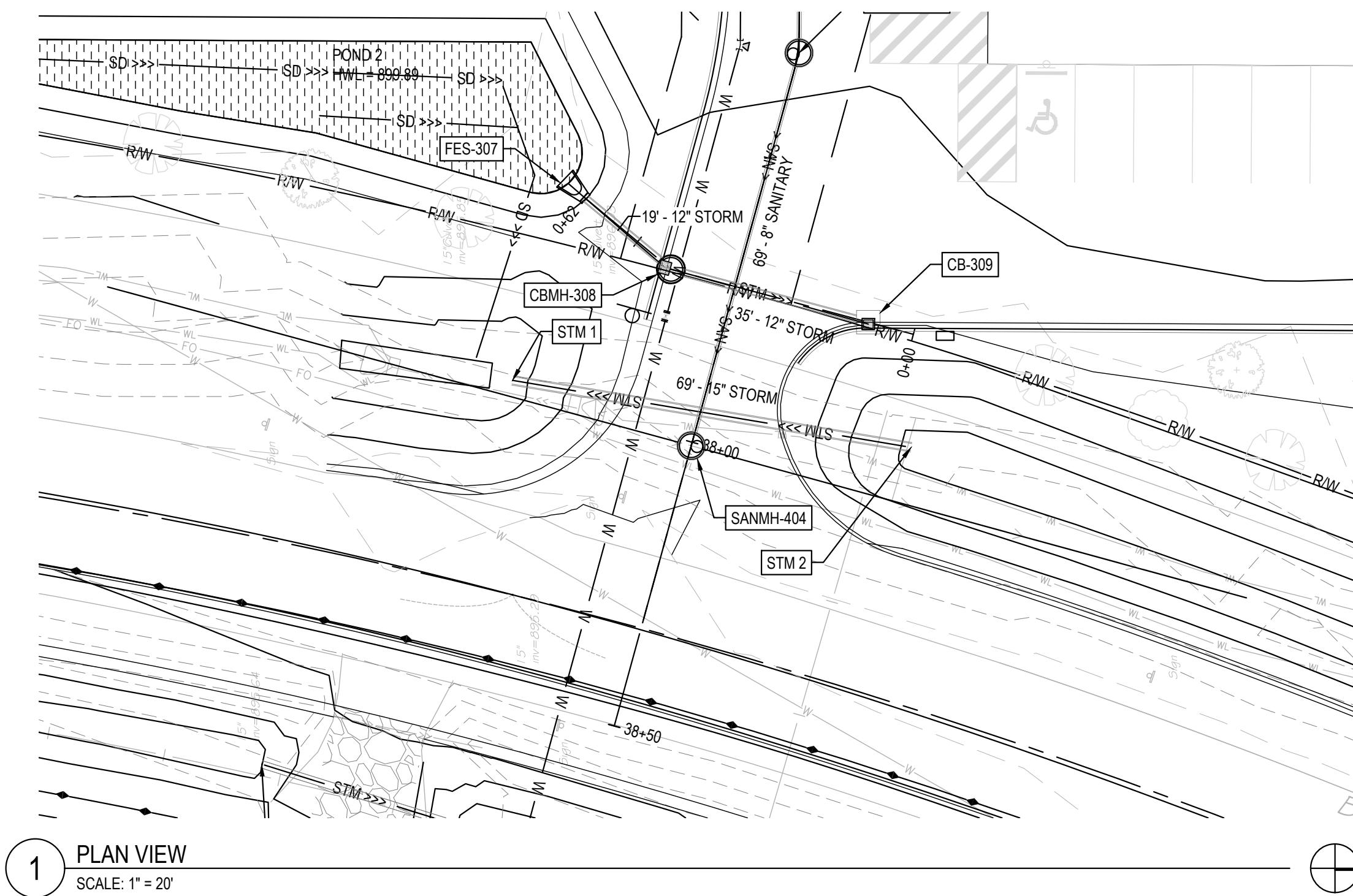
UTILITY PLAN & PROFILE

C302

NOTES:

1. COORDINATE WITH CITY PUBLIC WORKS PRIOR TO CONNECTING TO EXISTING PUBLIC UTILITIES.
2. WATER SERVICES TO MAINTAIN 7.5' OF COVER.
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W	PROPOSED WATERLINE LATERAL
→	FIRE HYDRANT
△	THRUST BLOCK
> SAN >	PROPOSED SANITARY SEWER
< NVS <	SANITARY SEWER LATERAL
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STM	STORM WATER STRUCTURES
SD >>>	PROPOSED STORM DRAIN
SD	STORM WATER STRUCTURES
FO	STORM FACILITY
*POWER AND GAS BY PUBLIC UTILITY PROVIDER	



Revisions:

LINE IS 1" ON FULL SCALE DRAWING



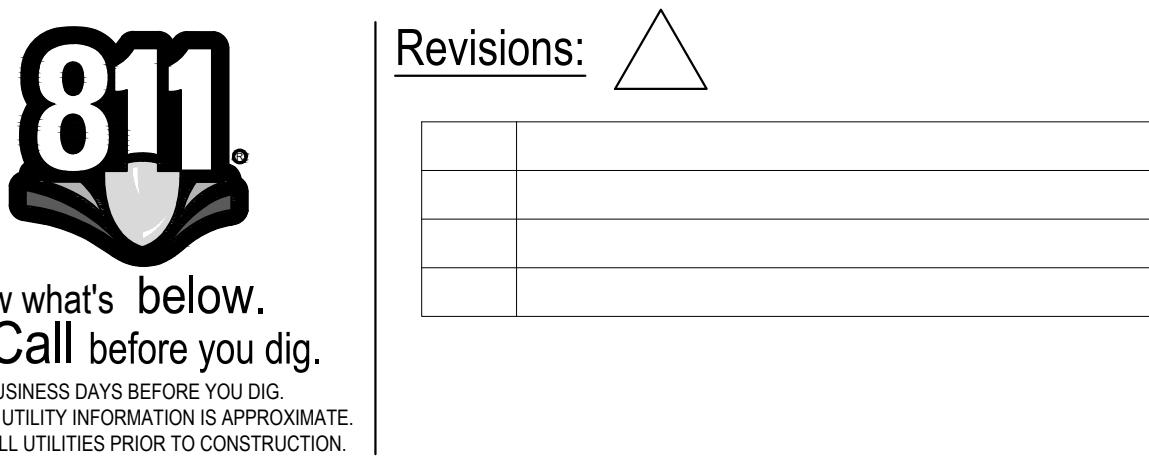
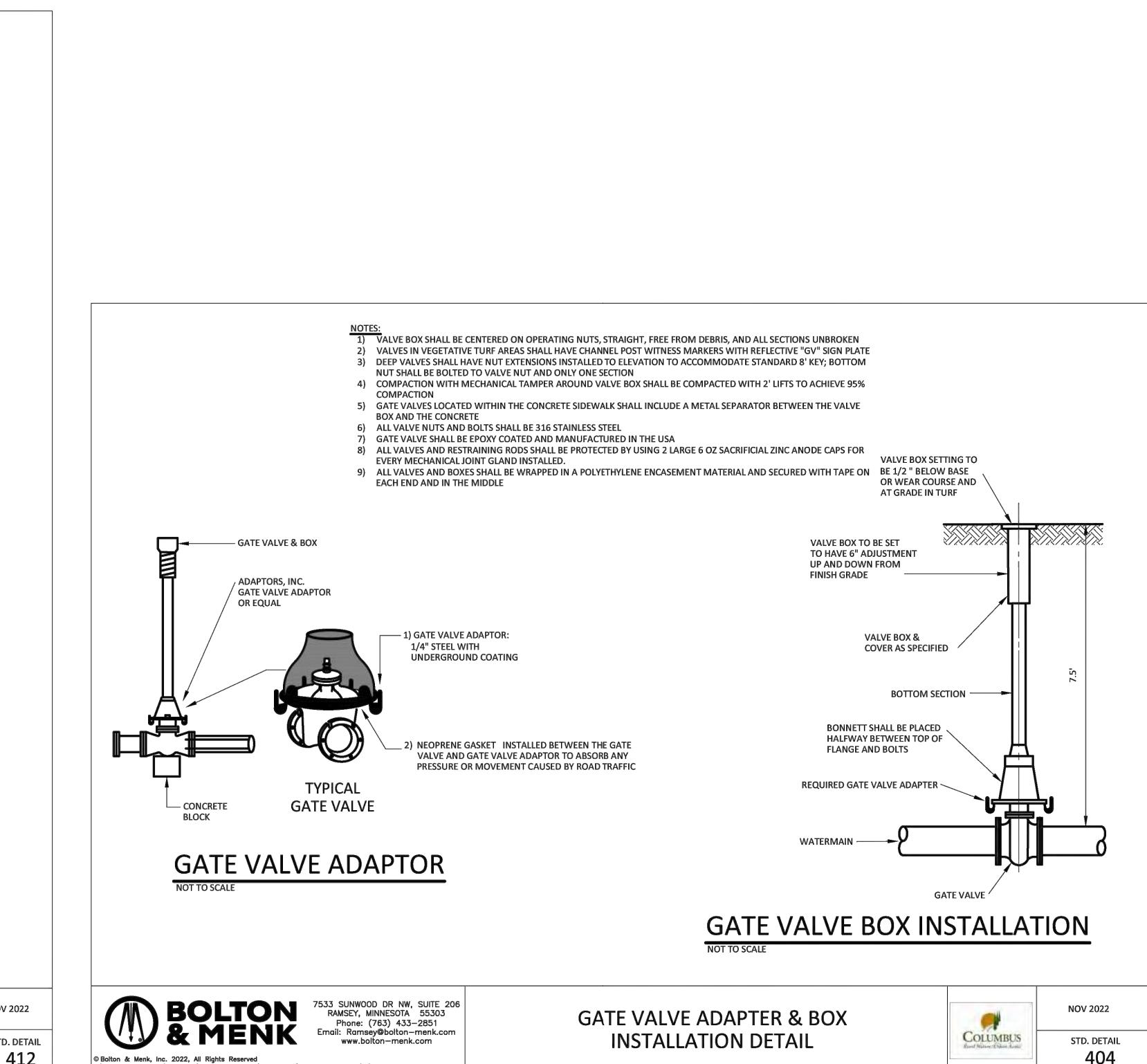
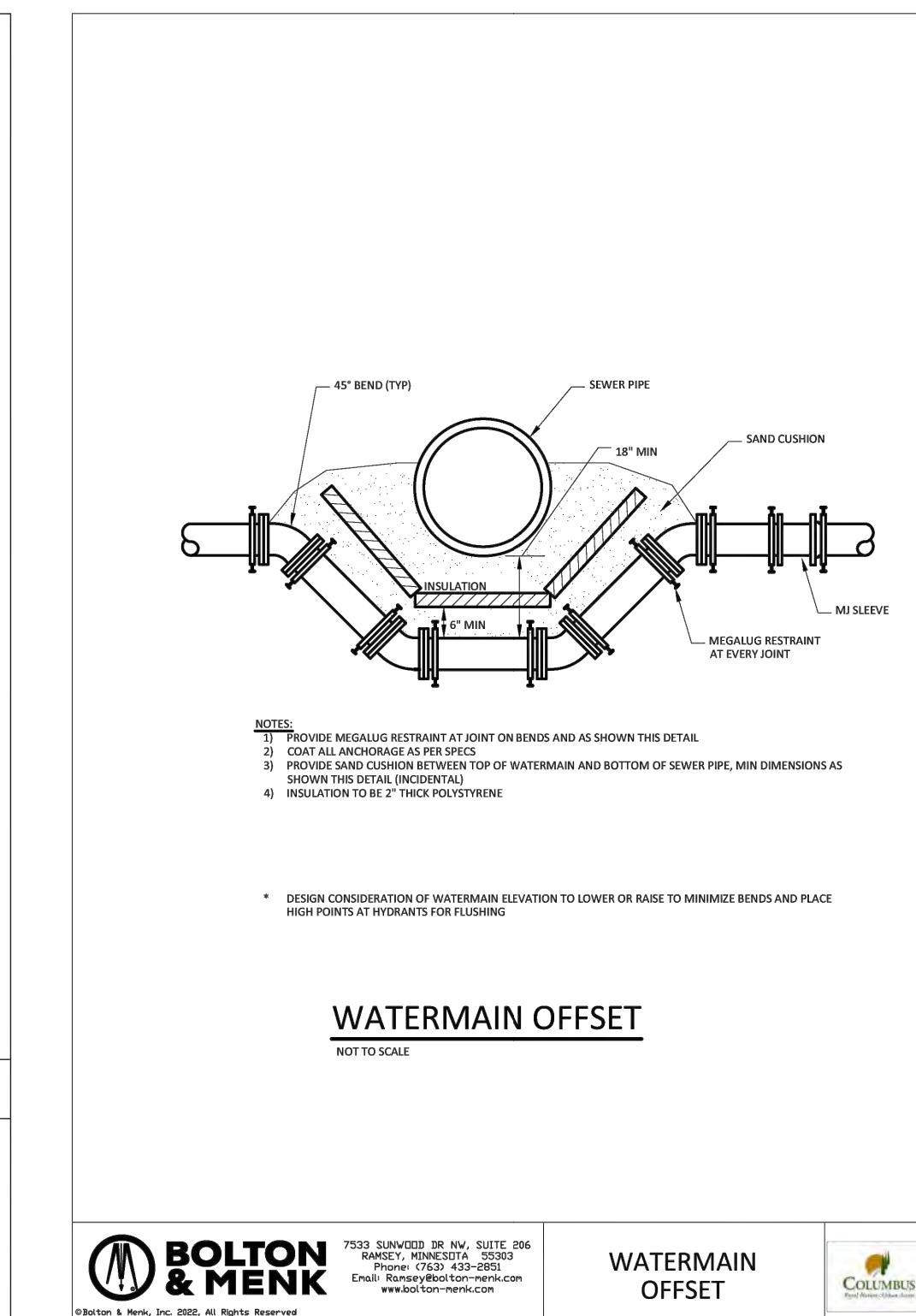
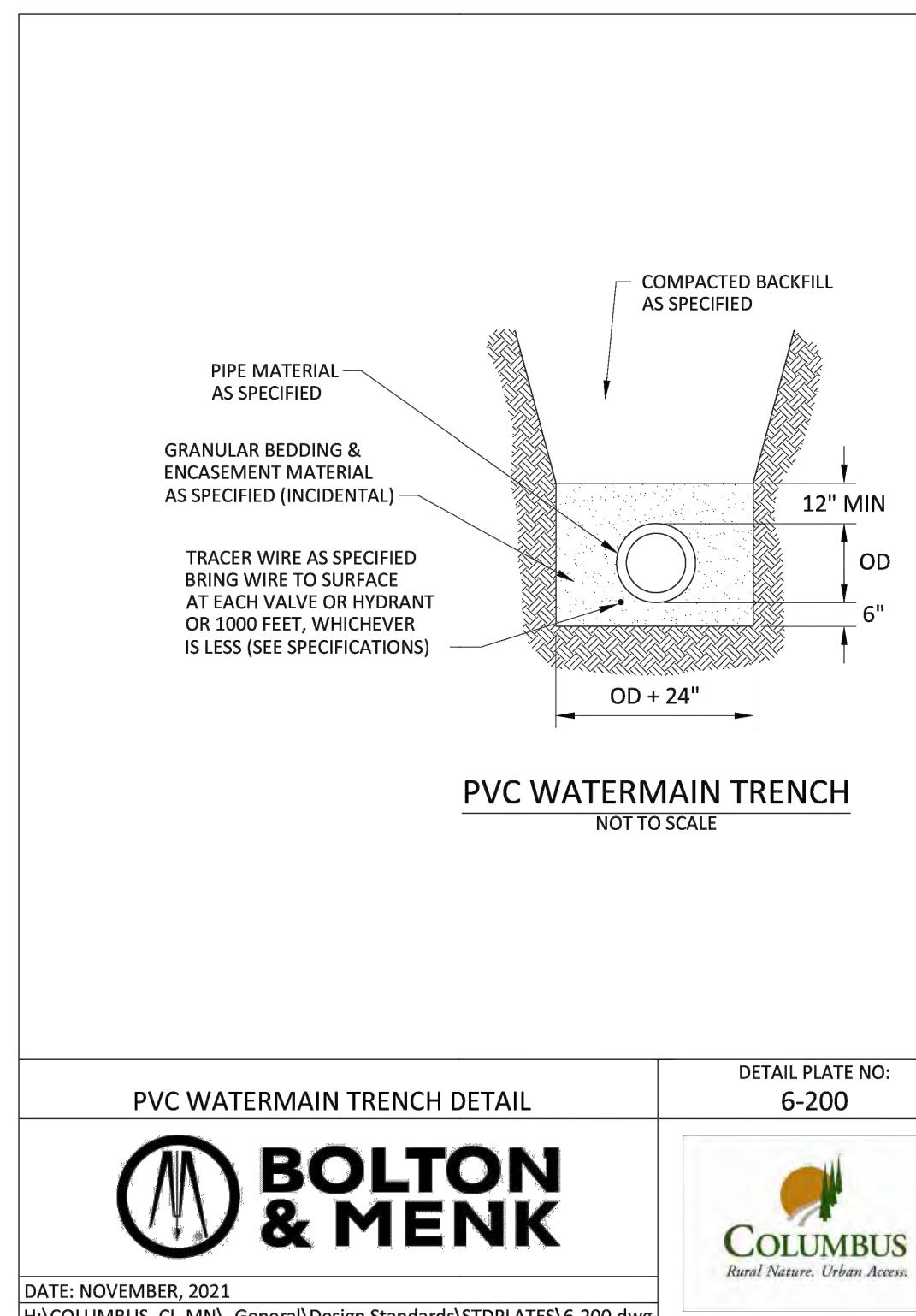
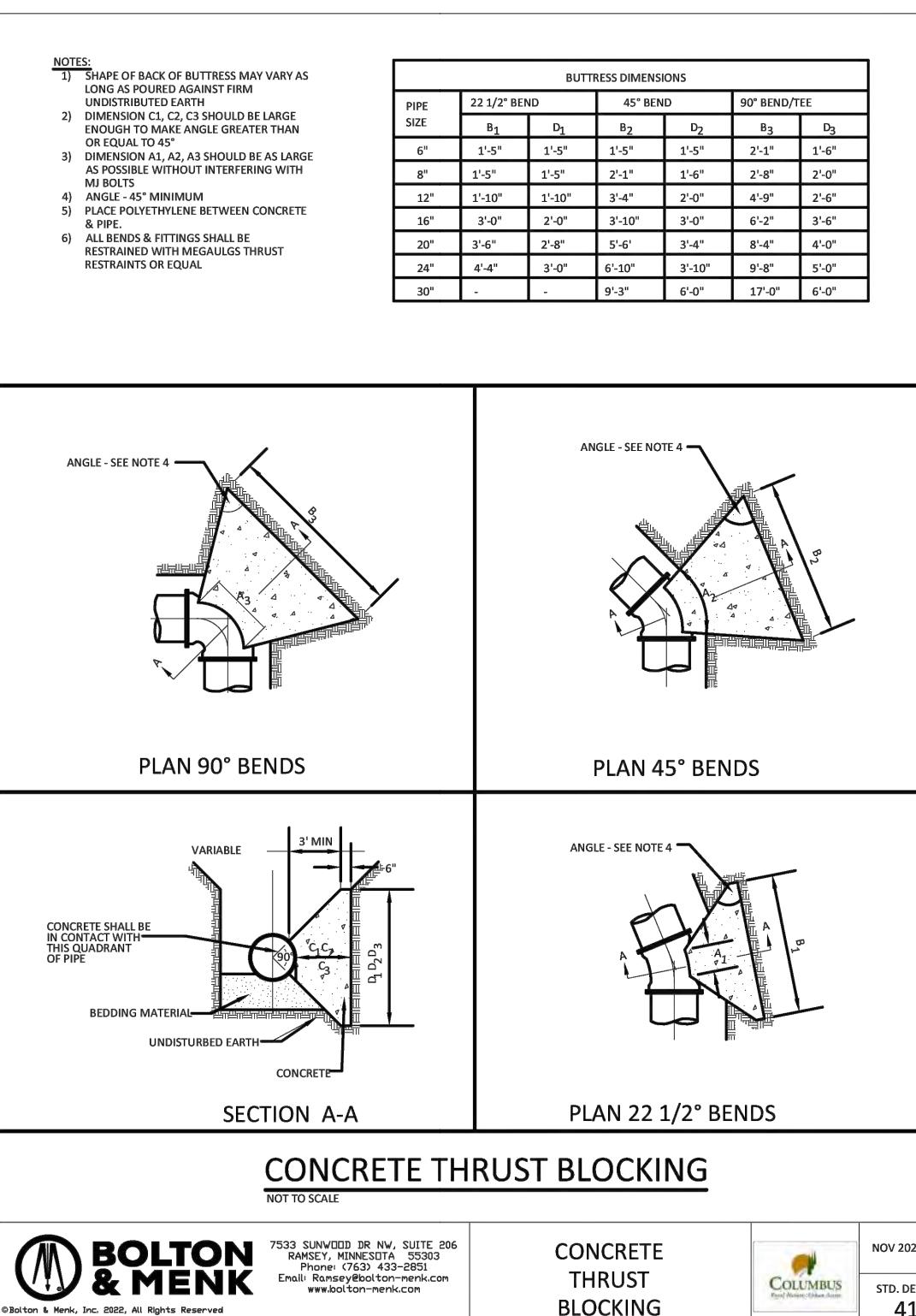
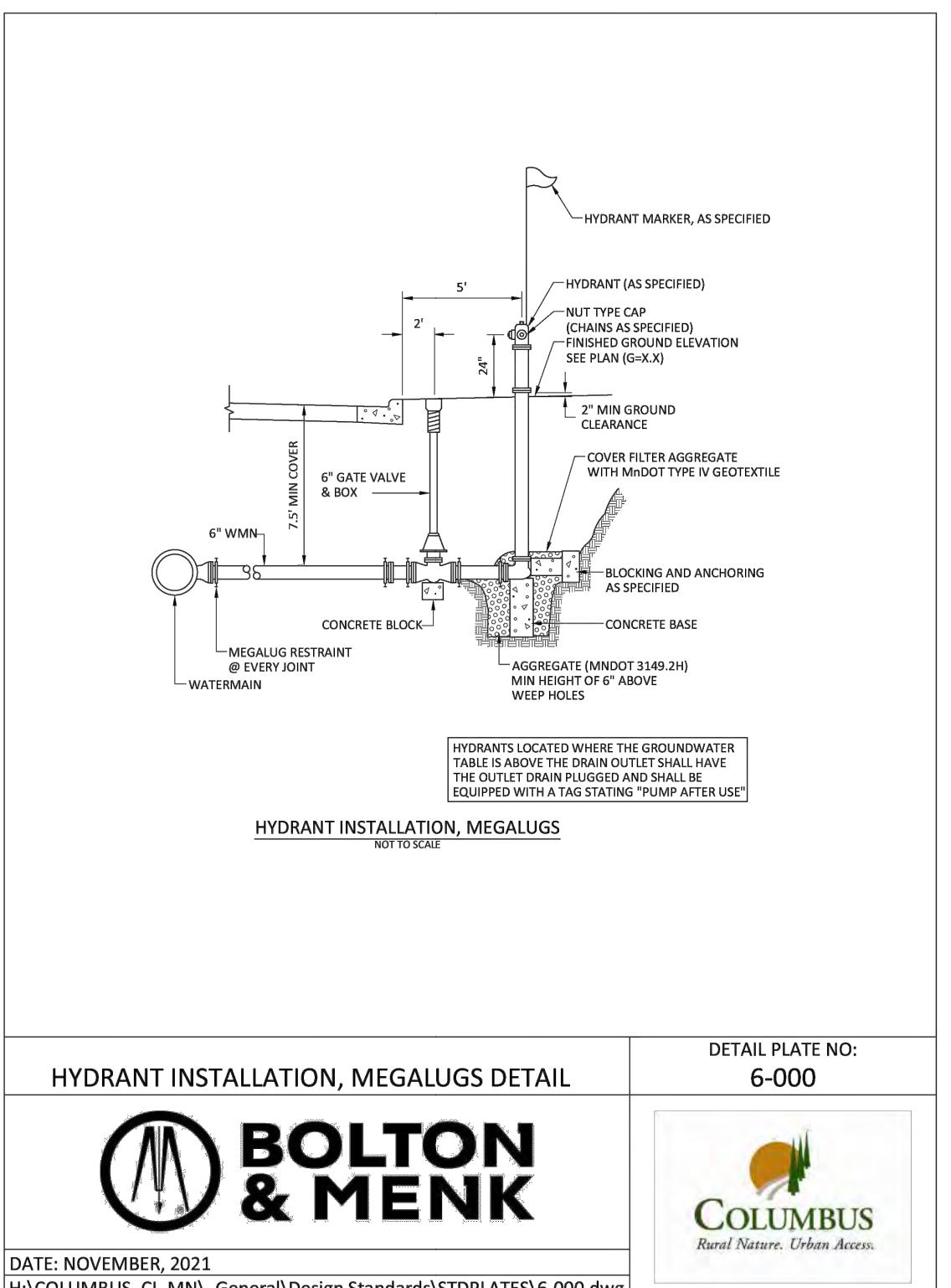
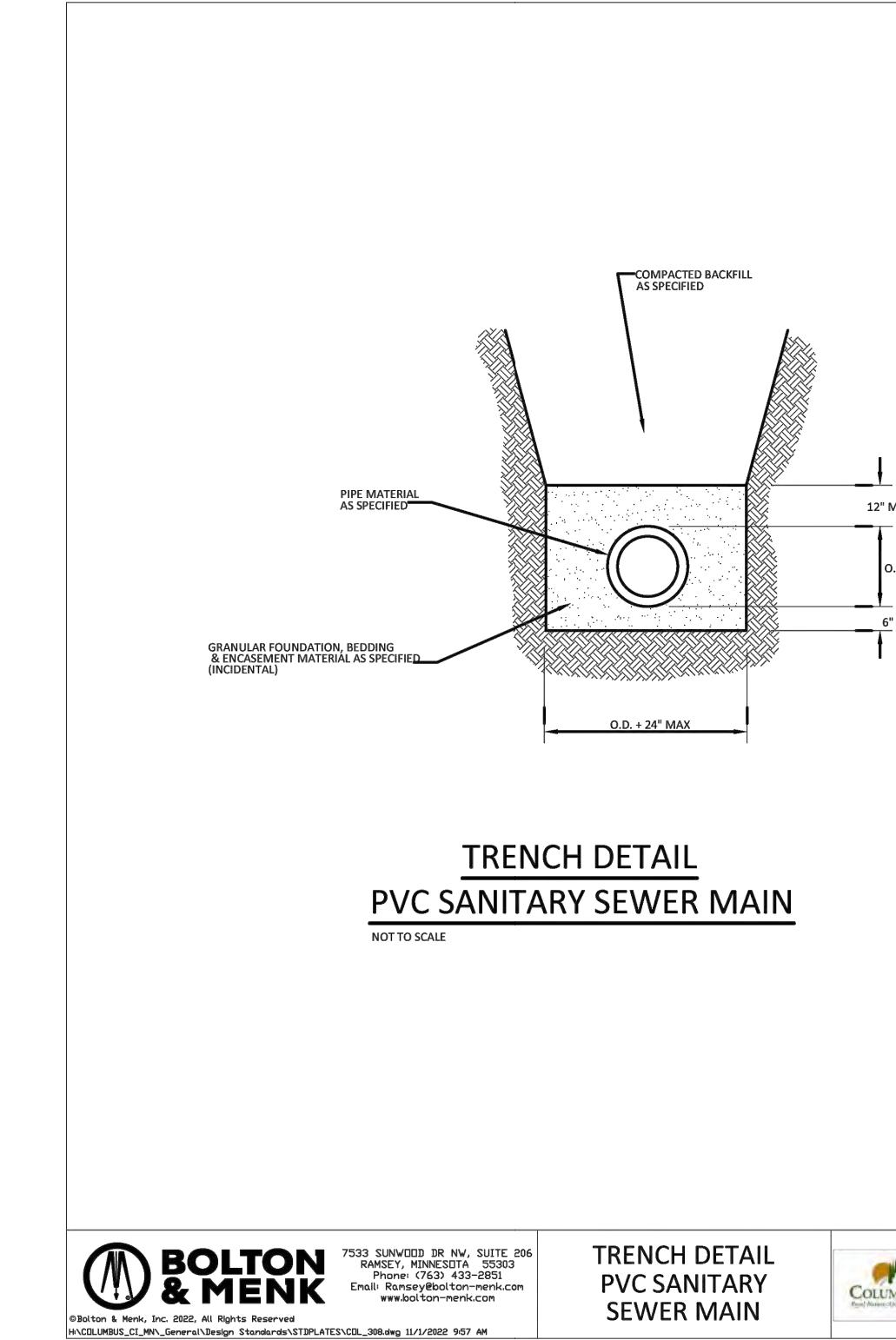
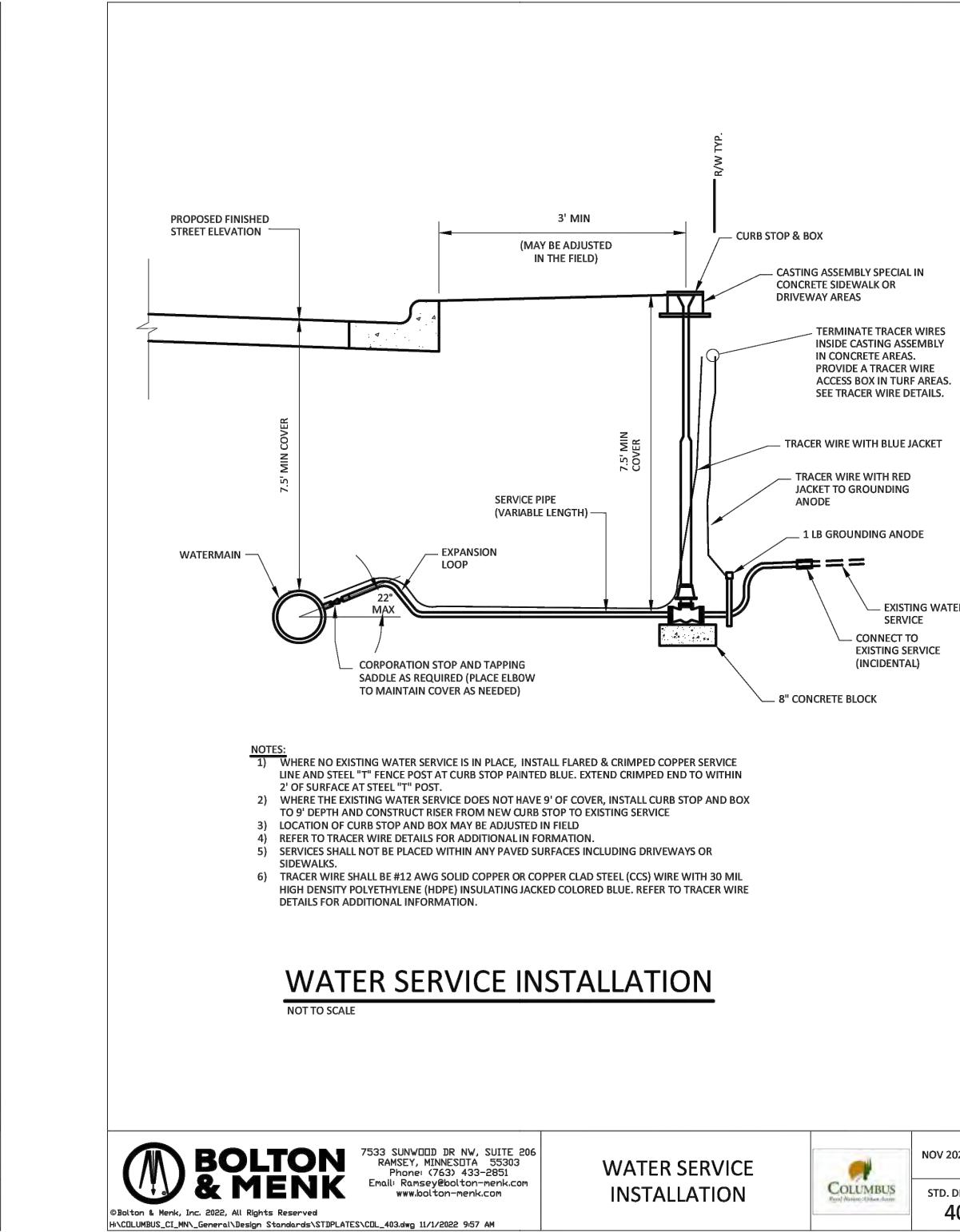
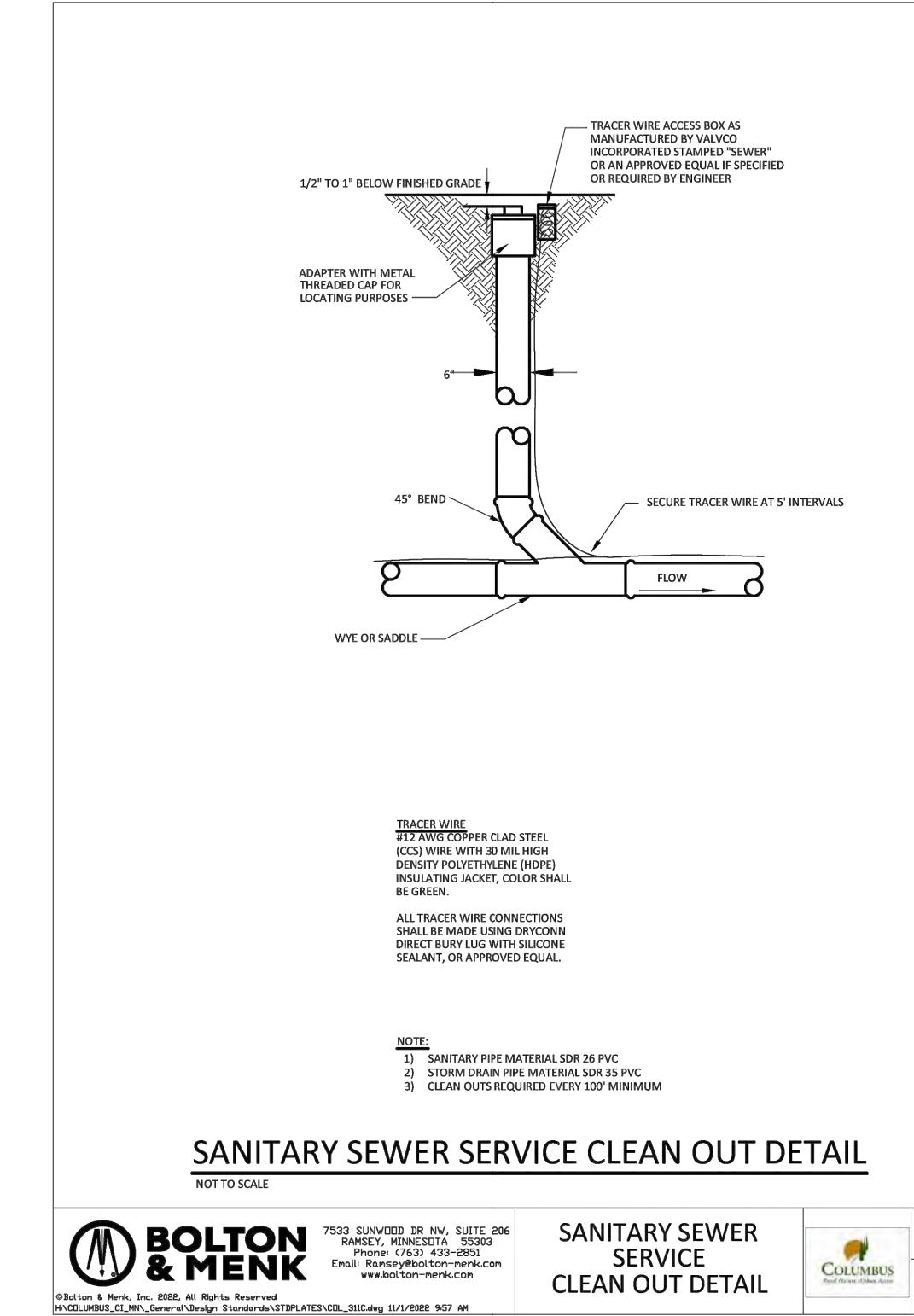
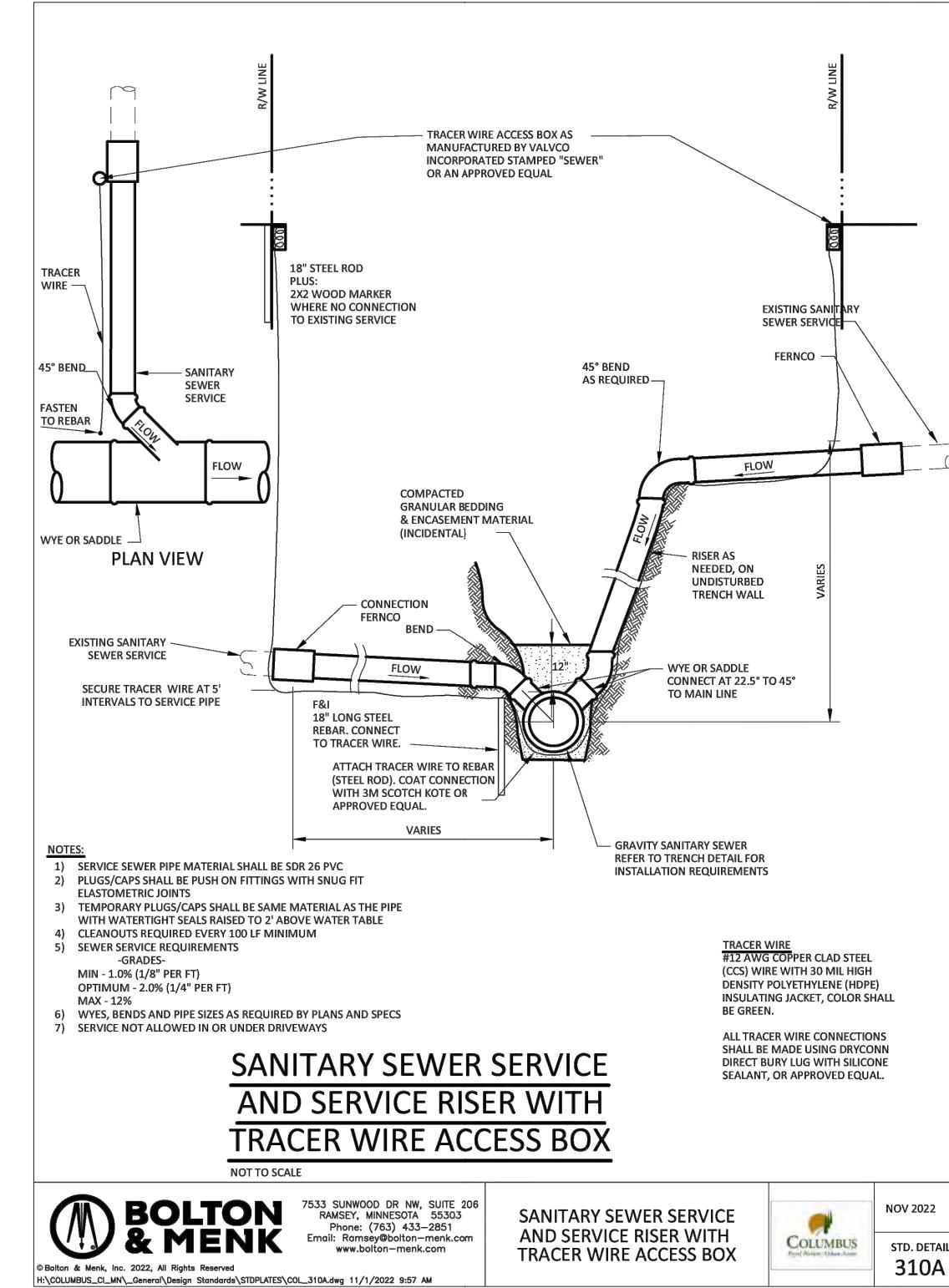
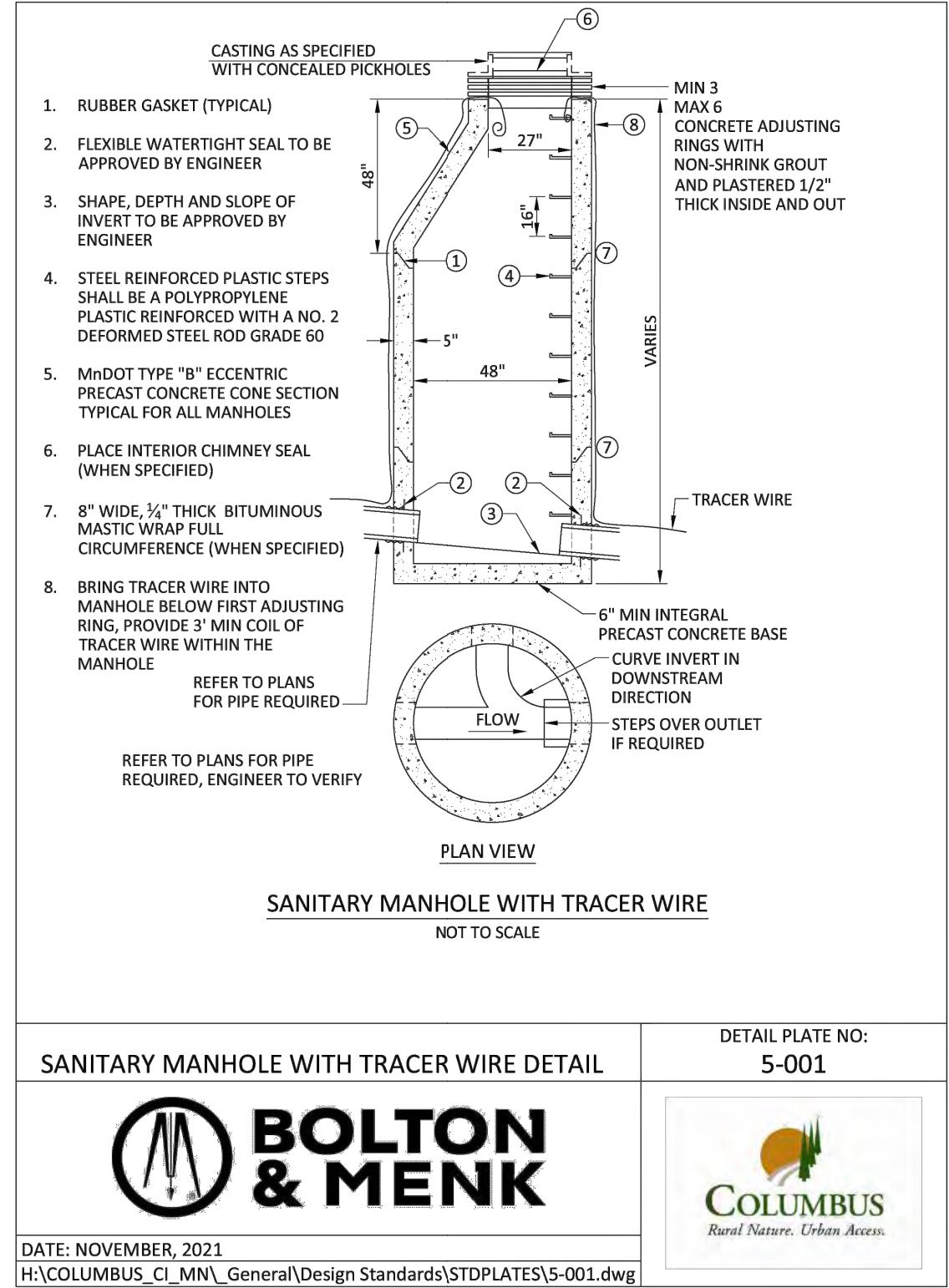
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SIGNED:
MARCUS R. LEE, P.E.

COLUMBUS INDUSTRIAL PARK
WEST FREEWAY DR. NE
COLUMBUS, MN 55038
ENGINEERING PLAN
Issue Date: 08/15/2023

Project Manager **MRL**
Drawn by **CKJ**
Checked by **MRL**

UTILITY PLAN & PROFILE
C304



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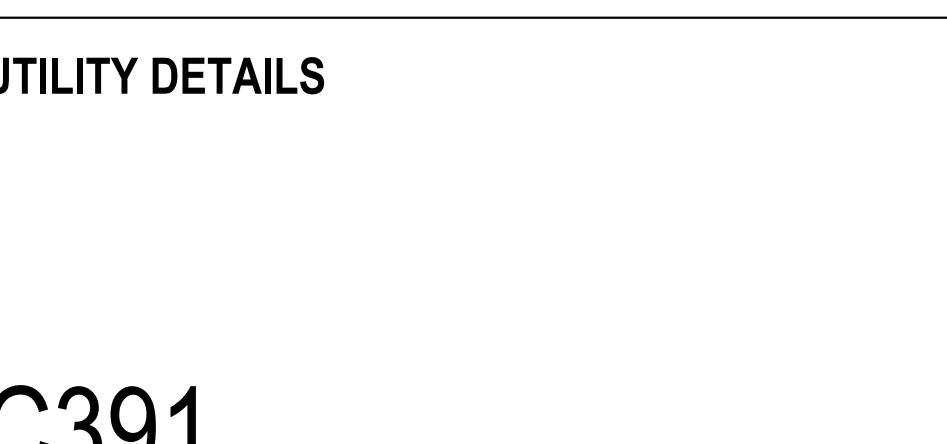
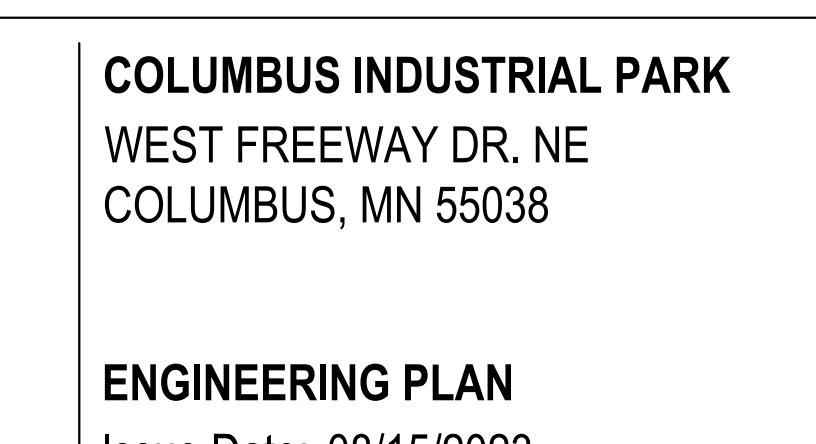
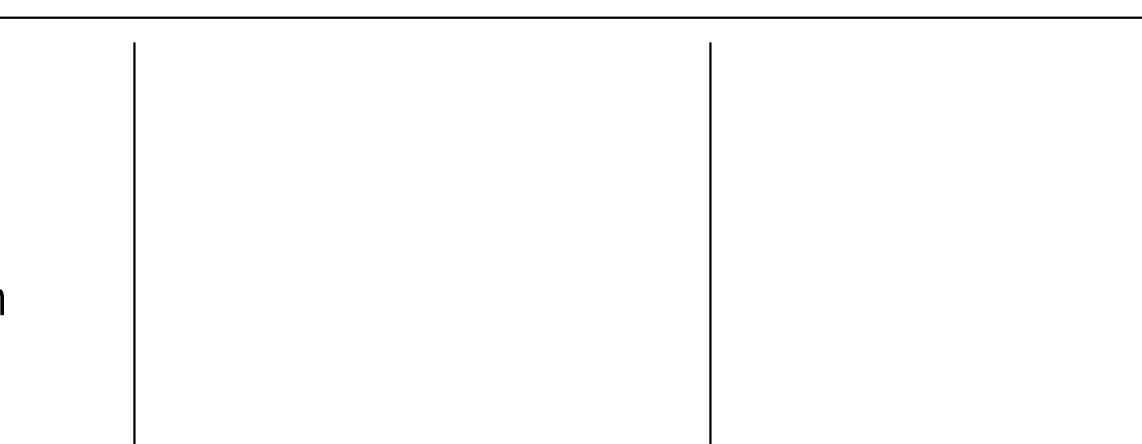
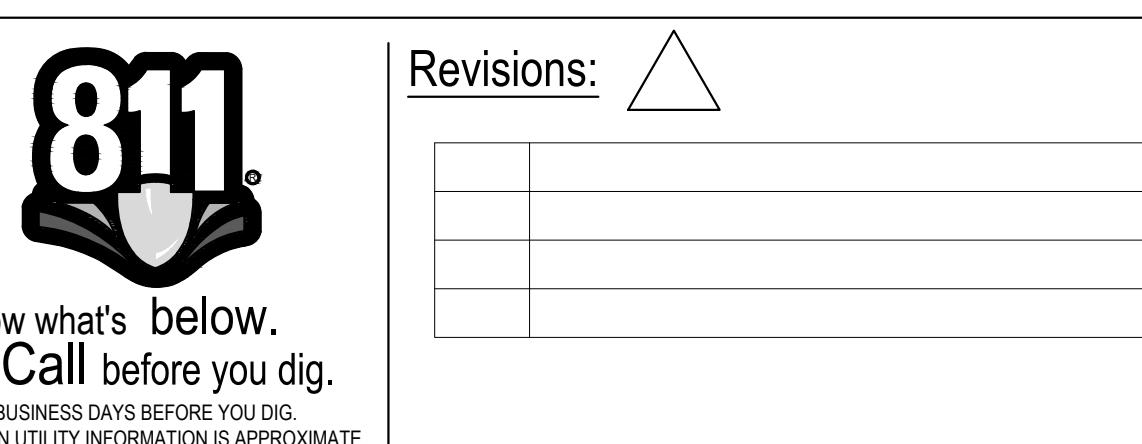
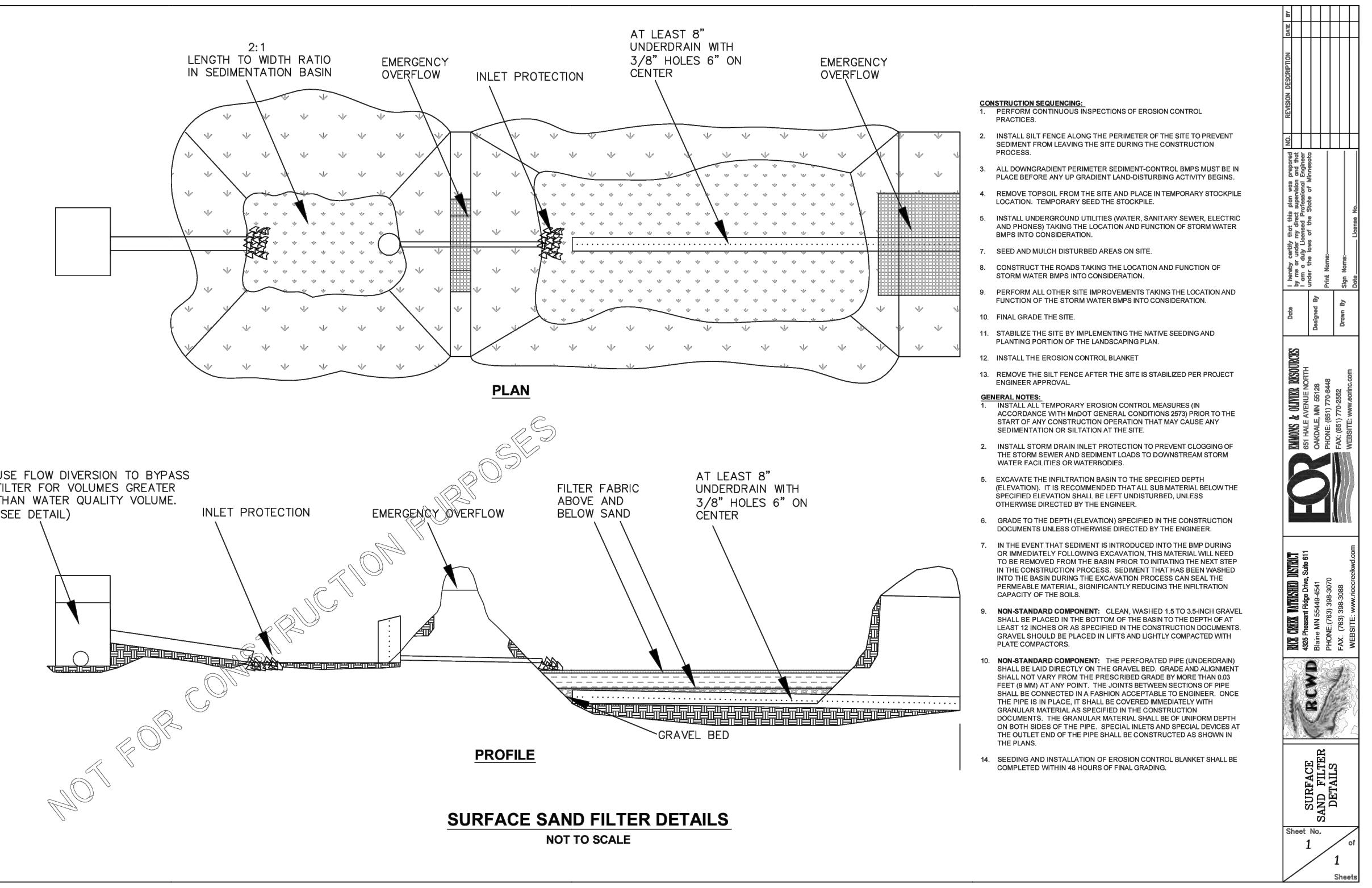
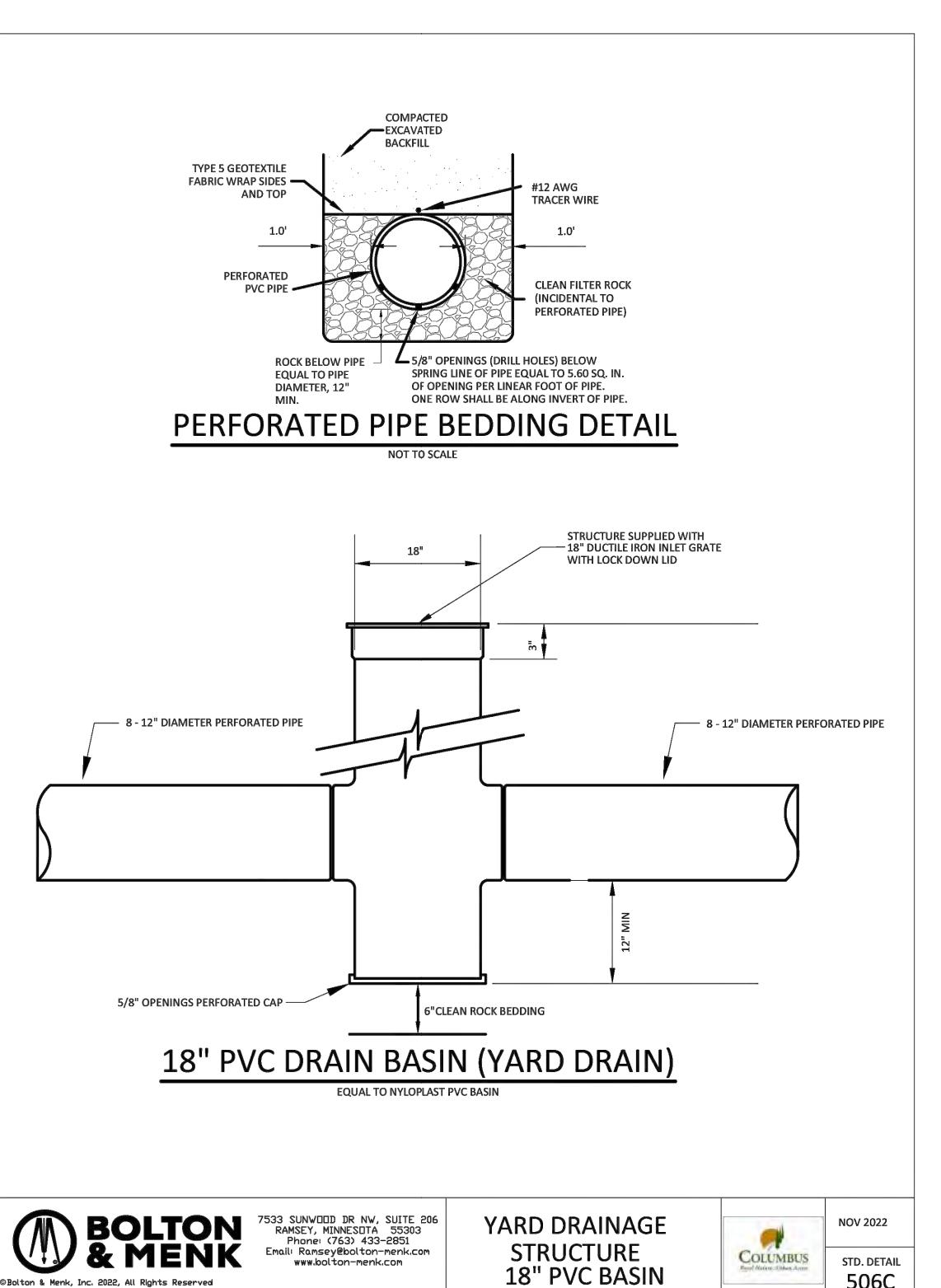
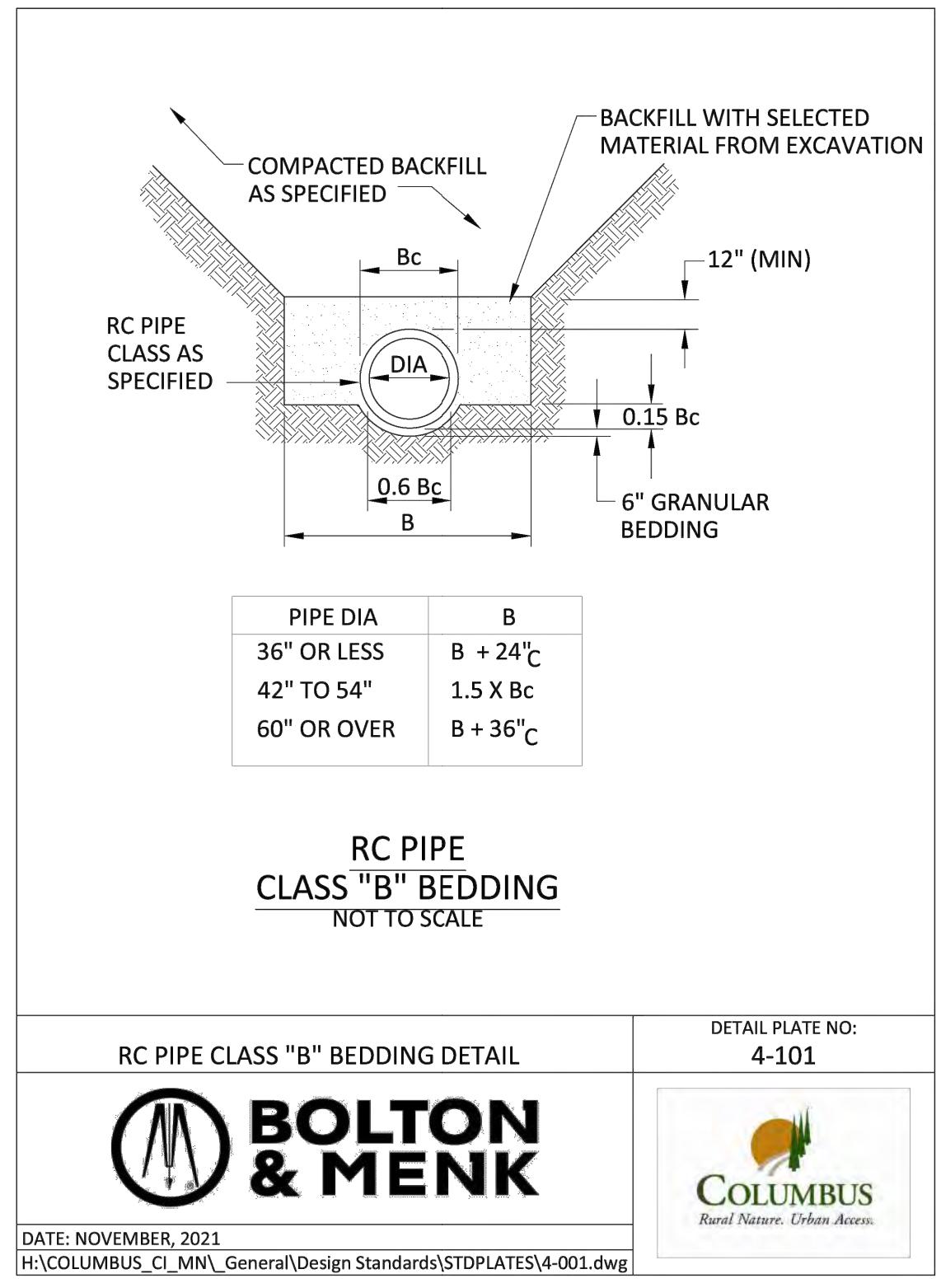
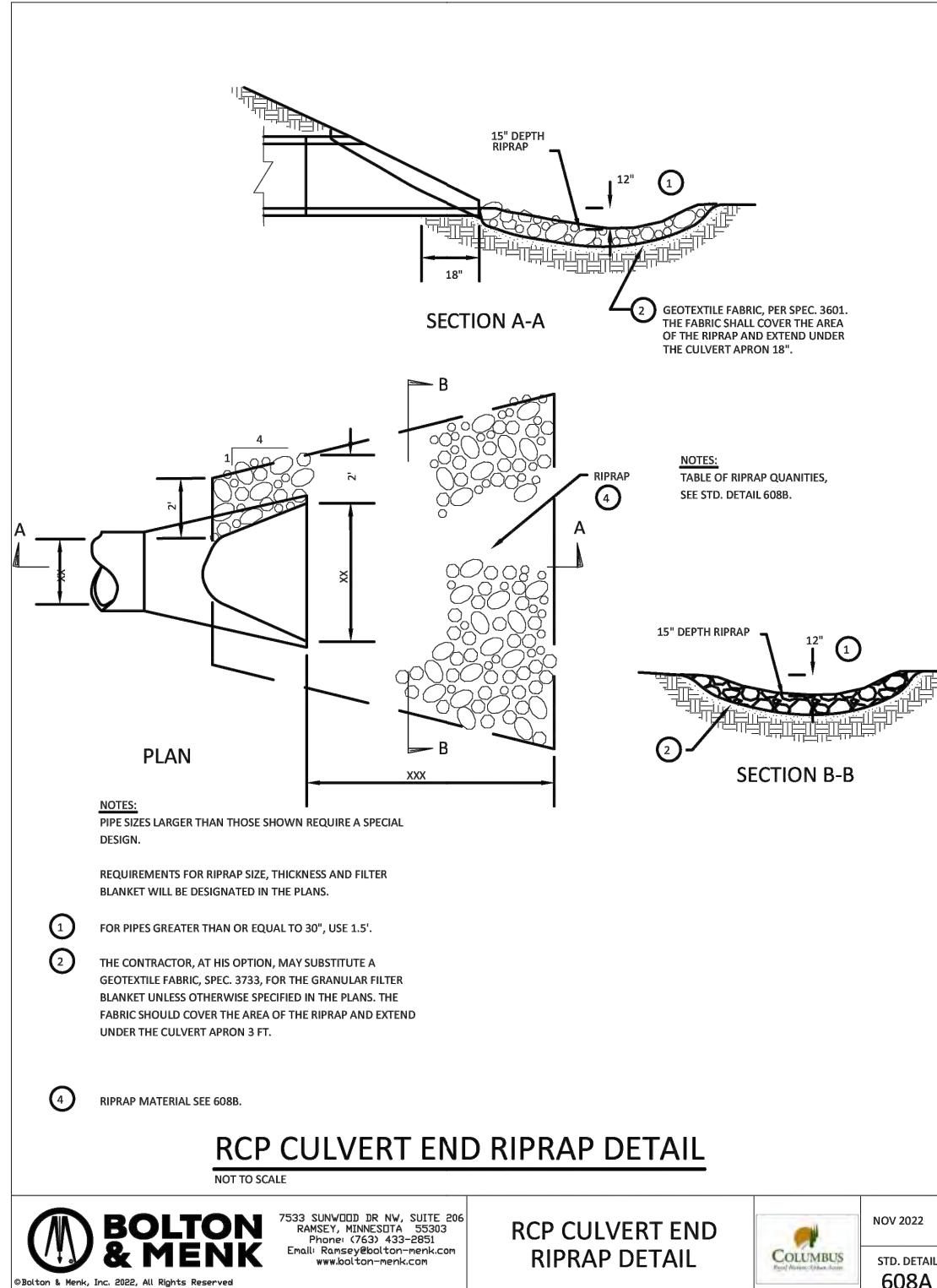
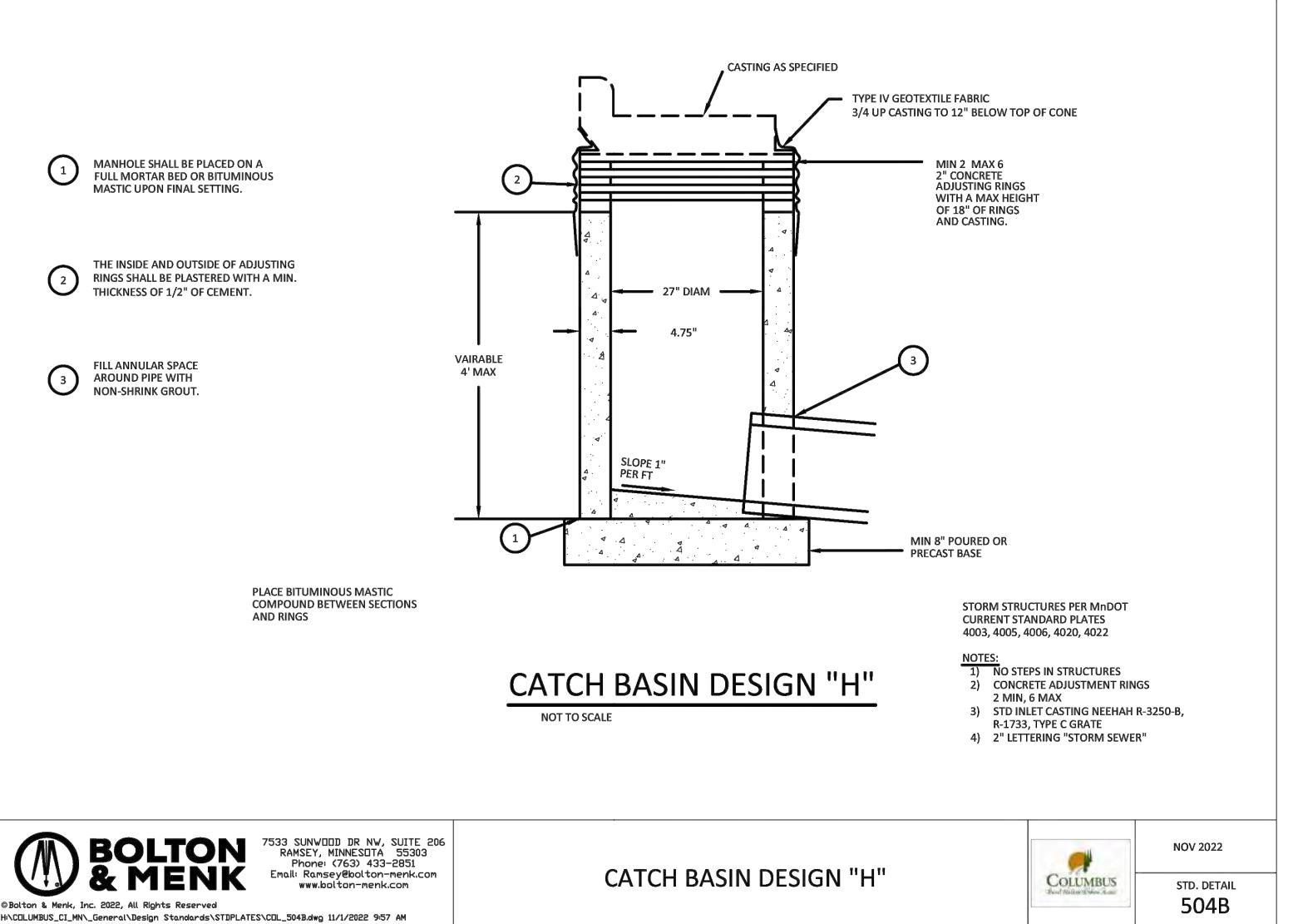
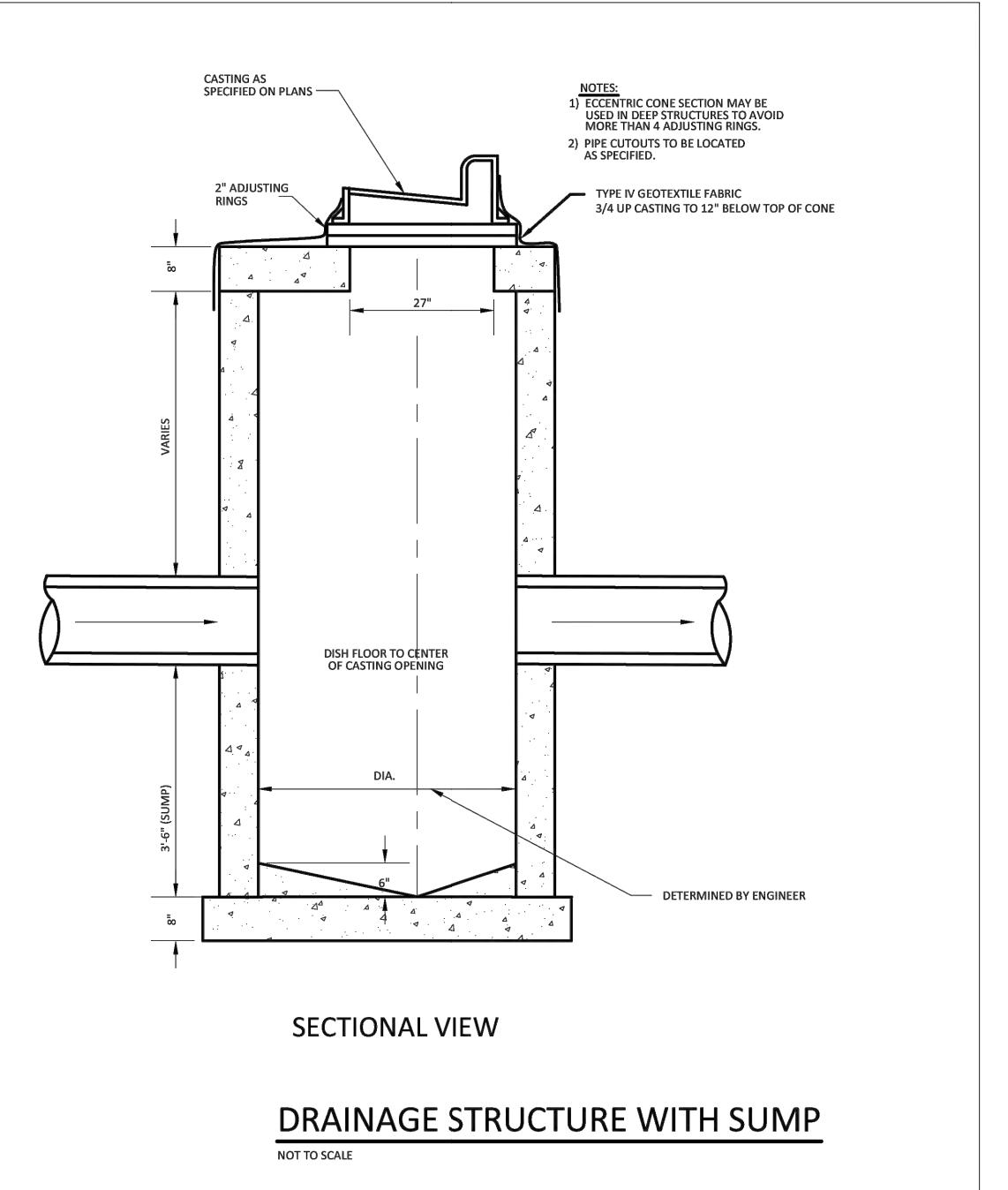
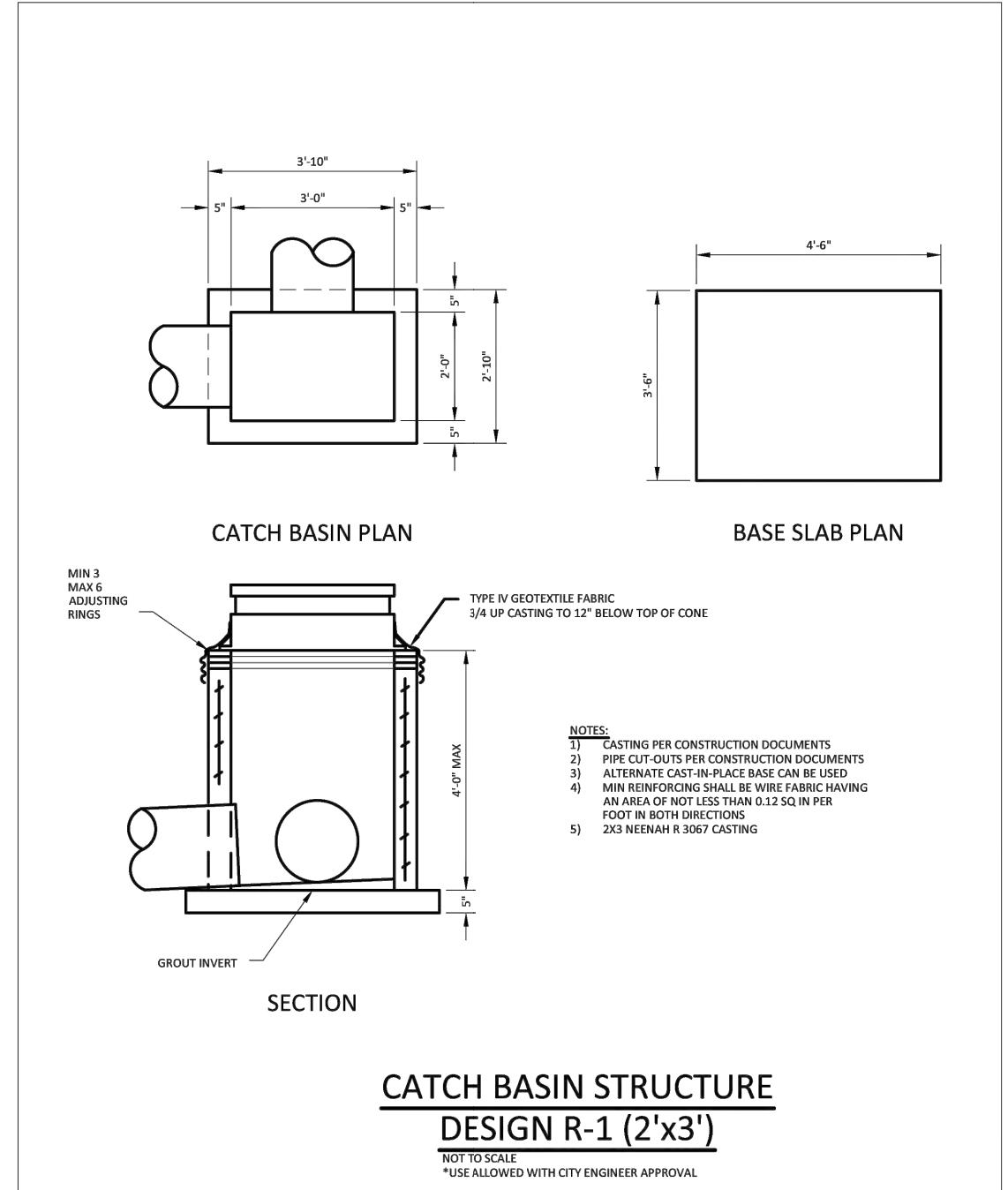
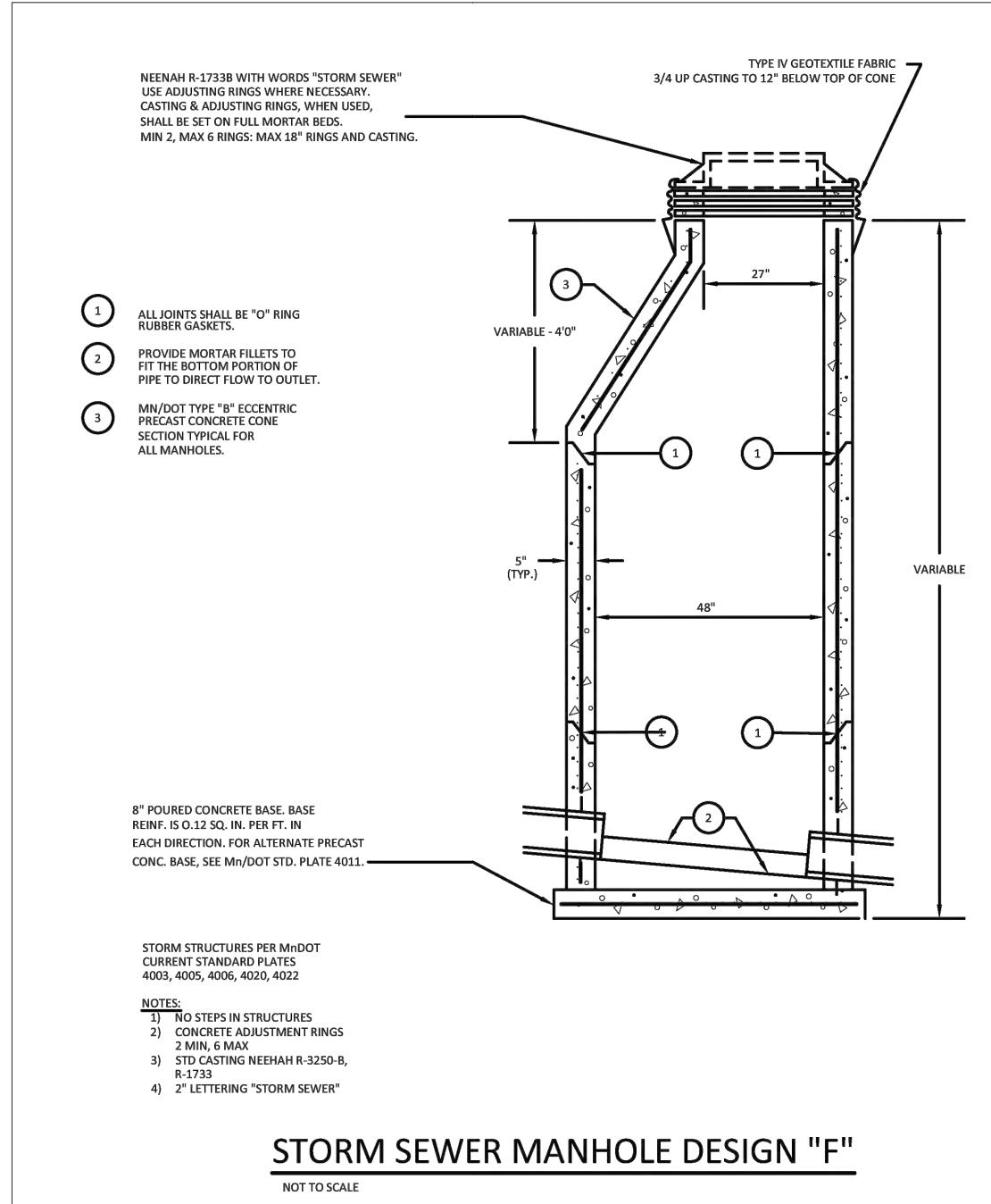


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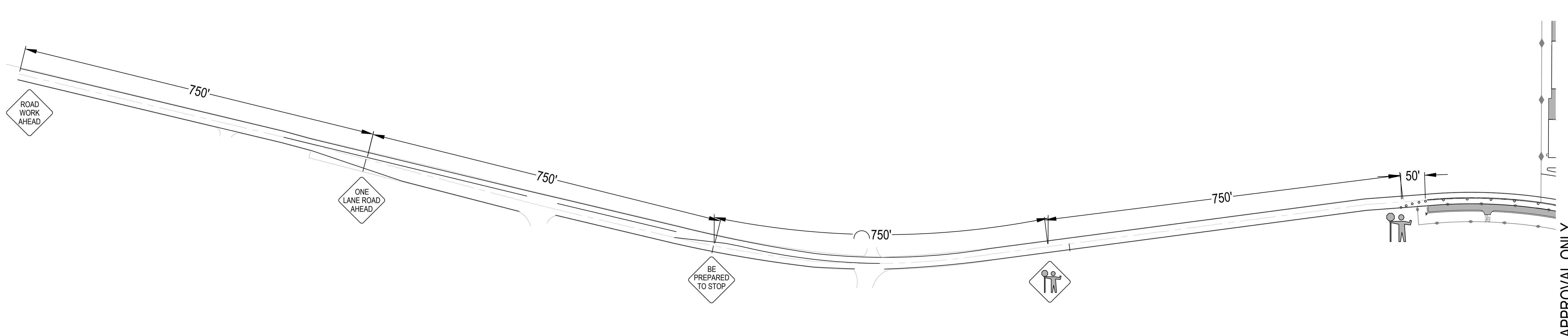
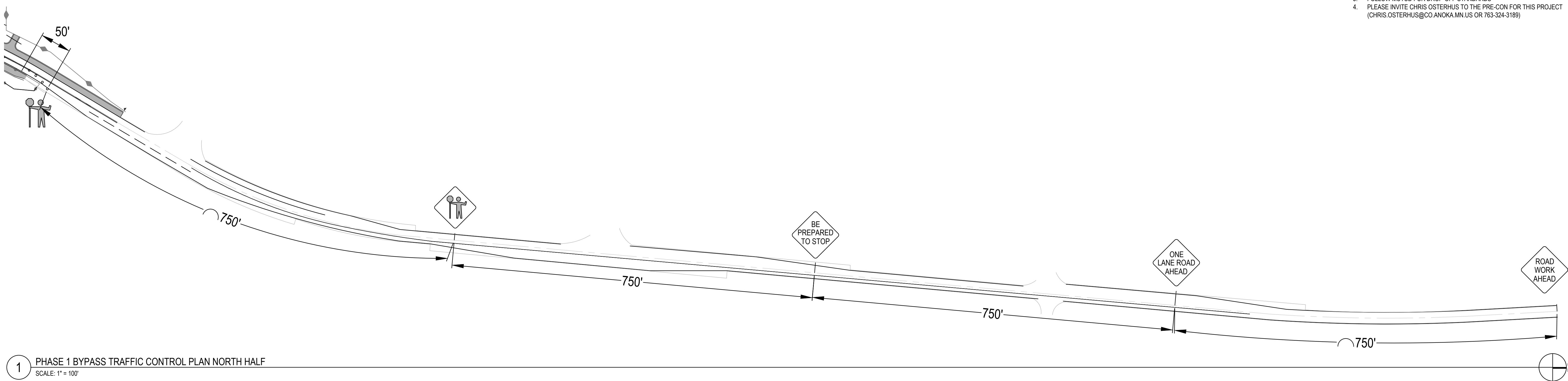
Project Manager MRL
Drawn by CKJ
Checked by MRL

UTILITY DETAILS
C390



GENERAL NOTES:

1. PHASE 1 CONSTRUCT BYPASS LANE.
2. PHASE 2 CONSTRUCT RIGHT TURN LANE.
3. FOLLOW MUTCD FOR DROP-OFF STANDARDS
4. PLEASE INVITE CHRIS OSTERHUS TO THE PRE-CON FOR THIS PROJECT (CHRIS.OSTERHUS@CO.ANOKA.MN.US OR 763-324-3189)



2 PHASE 1 BYPASS TRAFFIC CONTROL PLAN SOUTH HALF
SCALE: 1" = 100'



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Revisions:

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WEST FREEWAY DR. NE
COLUMBUS, MN 55038
ENGINEERING PLAN
Issue Date: 05/02/2023

Project Manager MRL
Drawn by CKJ
Checked by MRL

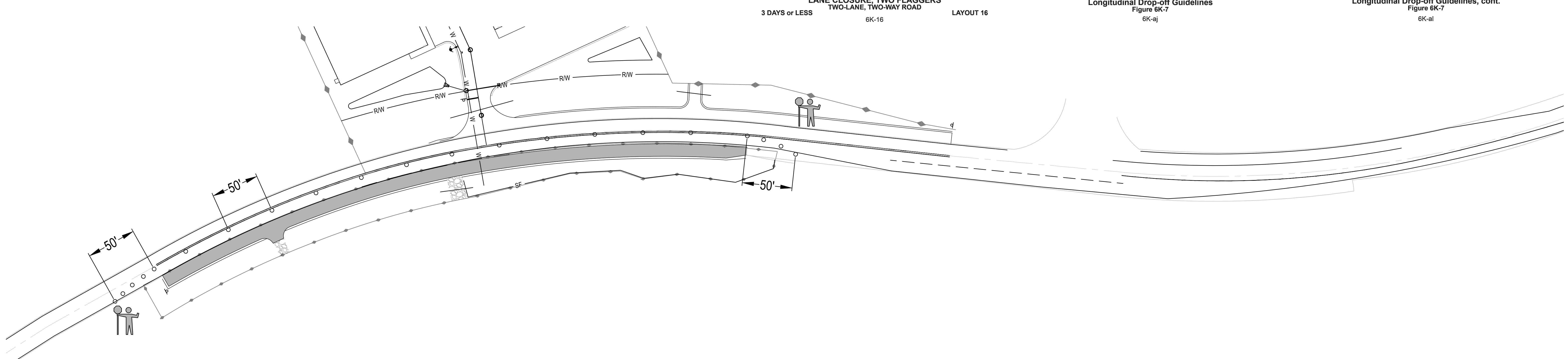
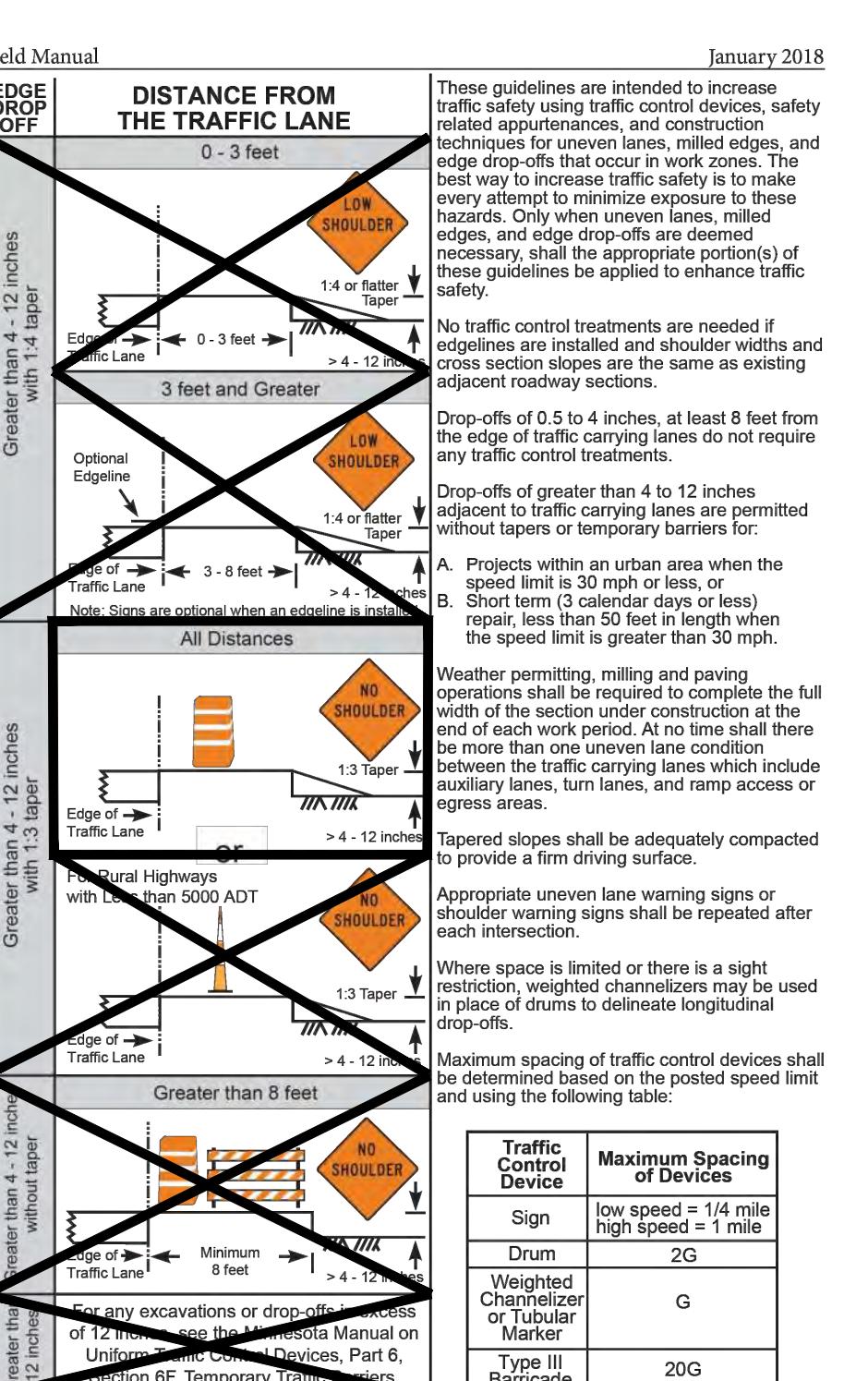
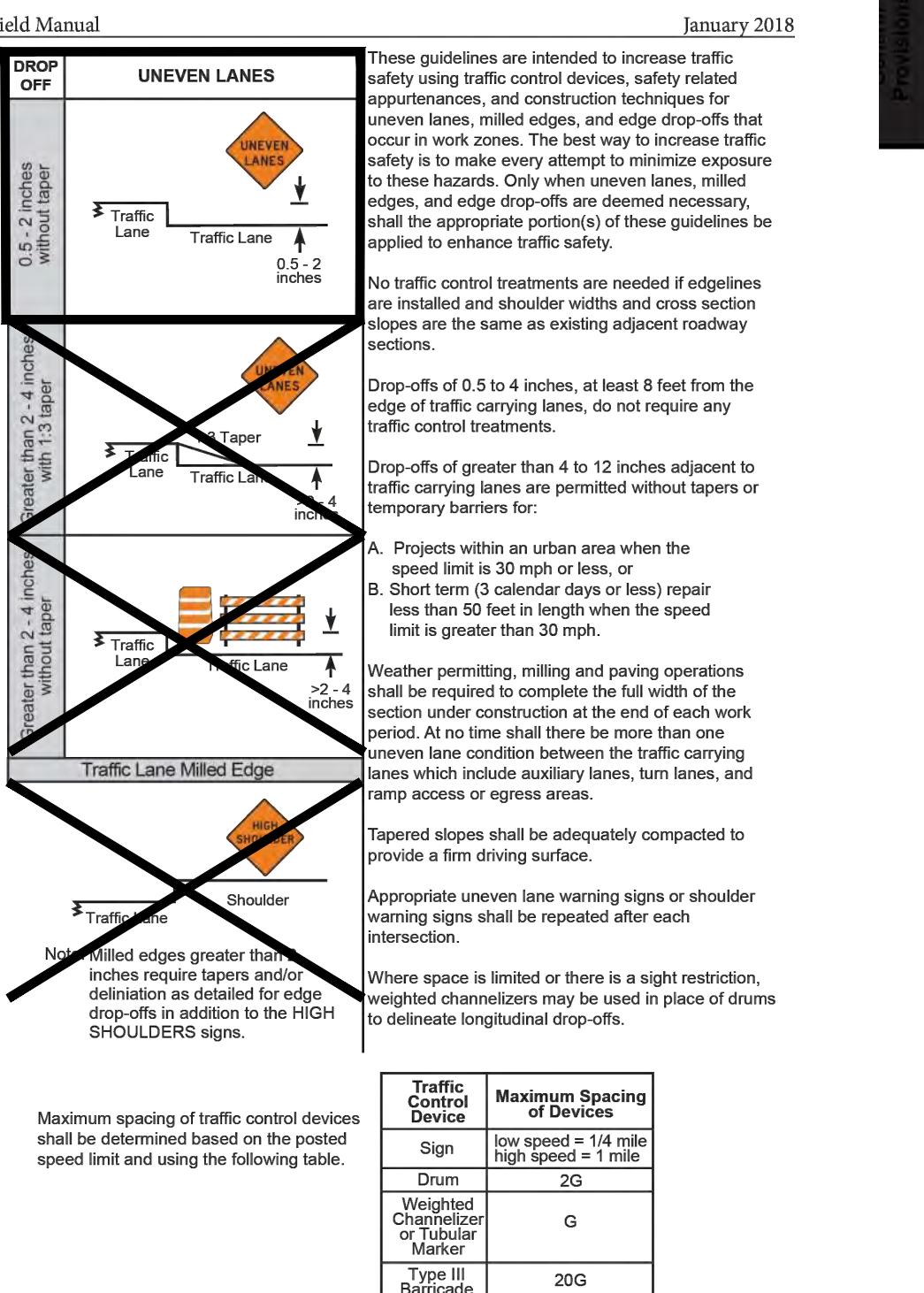
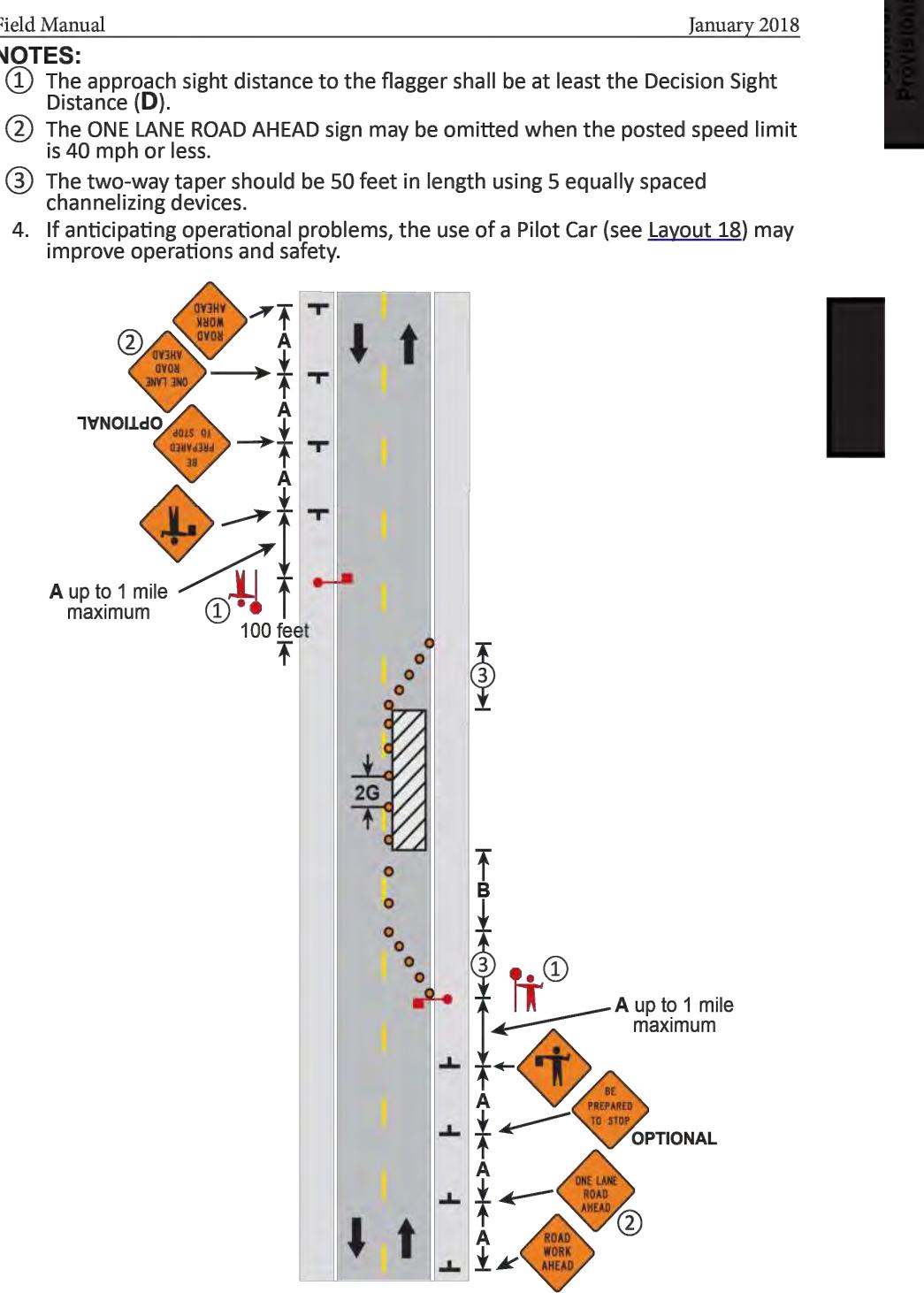
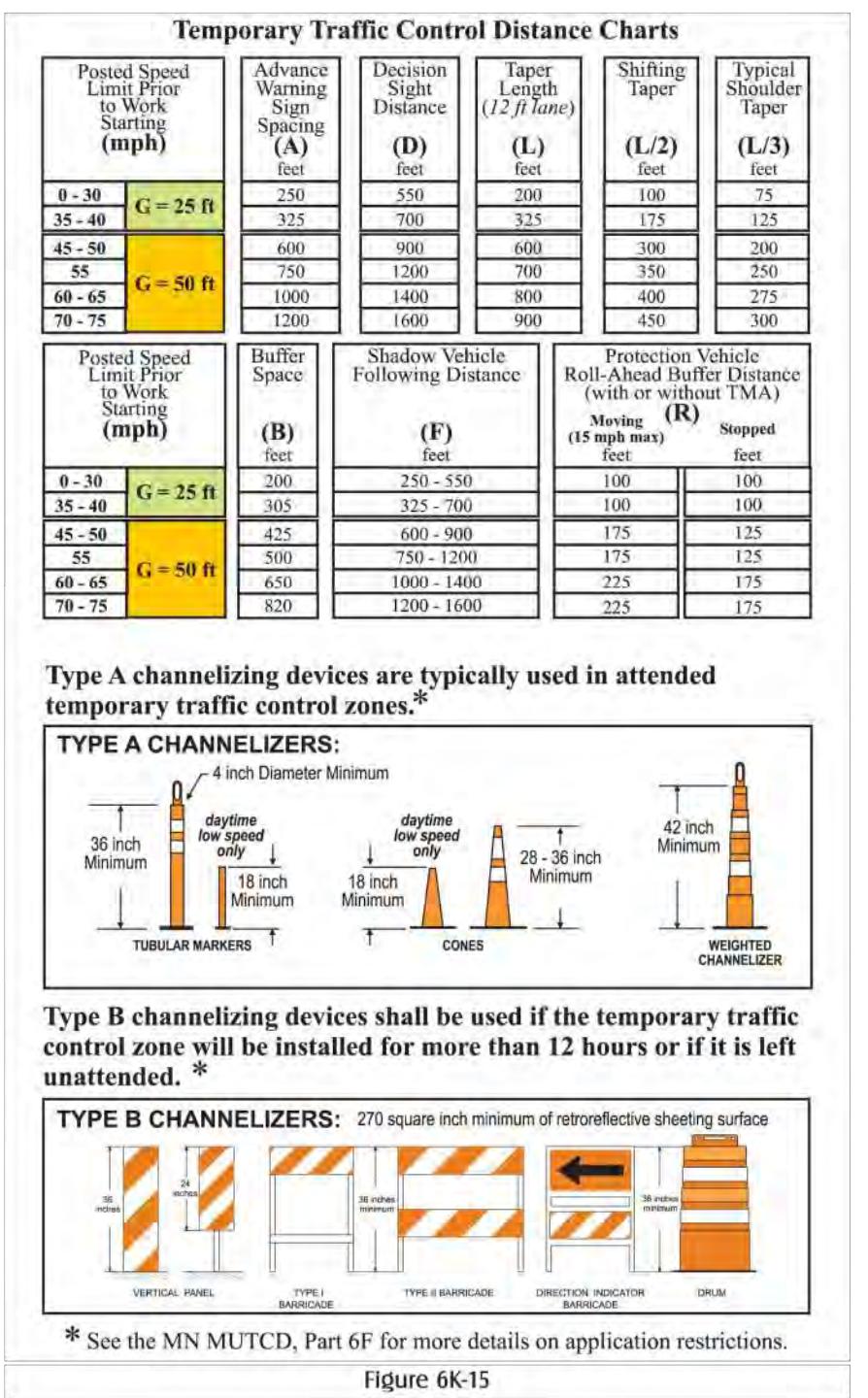
TRAFFIC CONTROL PLAN
BYPASS LANE

C400

ISSUED FOR ENGINEERING APPROVAL ONLY

GENERAL NOTES:

1. PHASE 1 CONSTRUCT BYPASS LANE.
2. PHASE 2 CONSTRUCT RIGHT TURN LANE.
3. FOLLOW MUTCD FOR DROP-OFF STANDARDS.
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1 PHASE 1 BYPASS TRAFFIC CONTROL PLAN
SCALE: 1" = 50'



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ENGINEERING PLAN
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Project Manager **MRL**
Drawn by **CKJ**
Checked by **MRL**

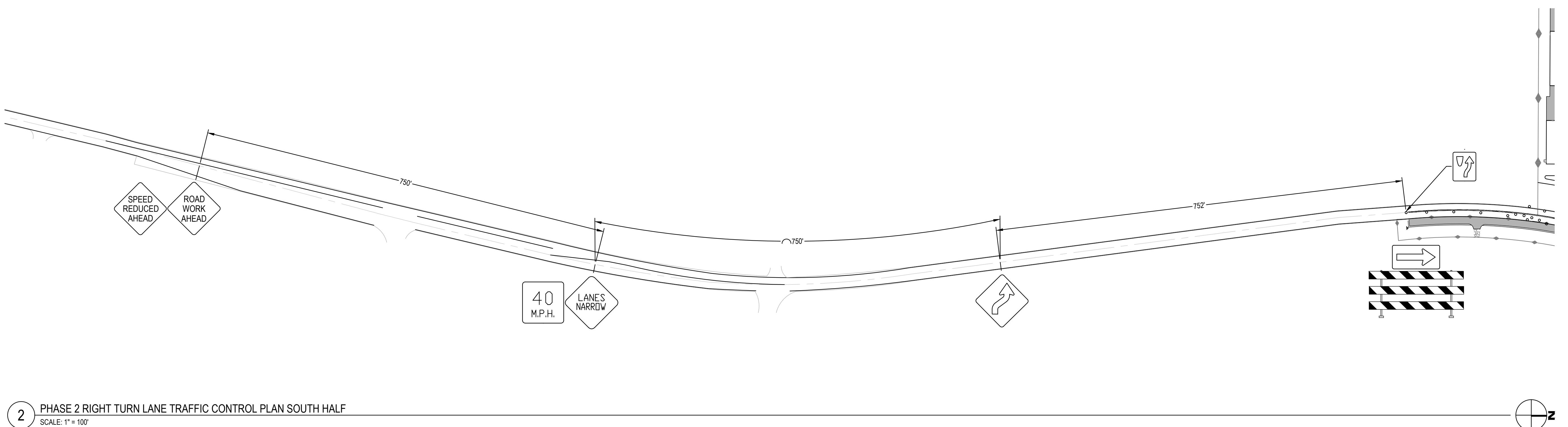
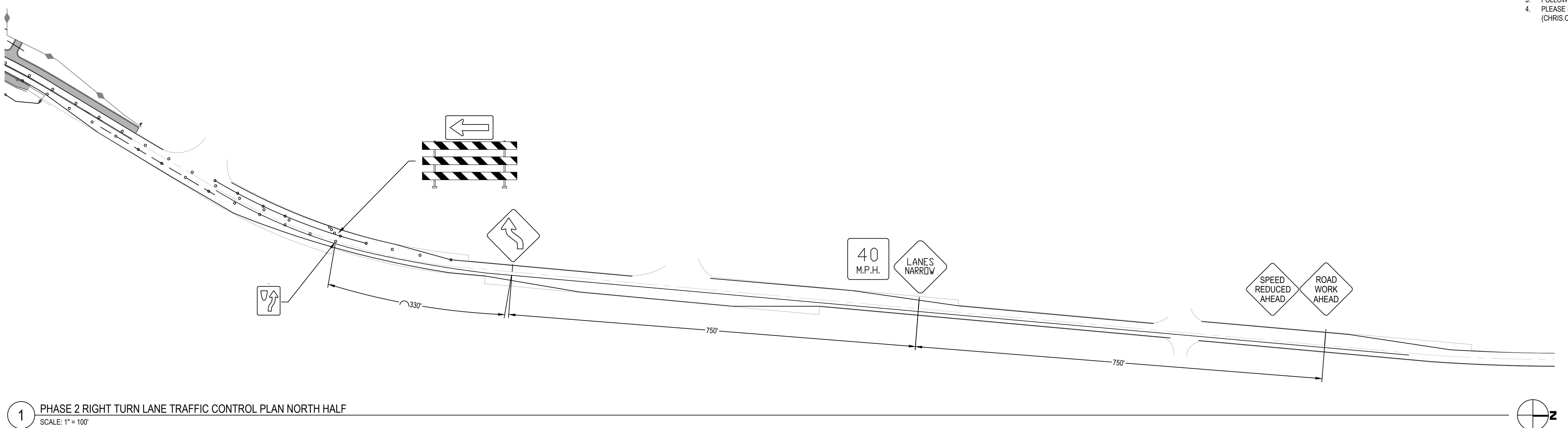
TRAFFIC CONTROL PLAN
BYPASS LANE

C401

ISSUED FOR ENGINEERING APPROVAL ONLY

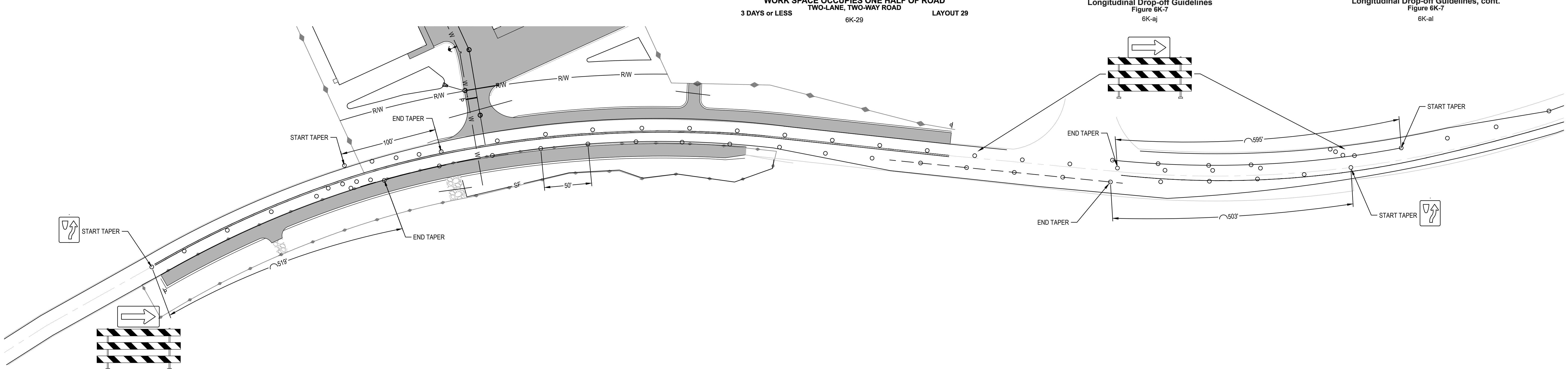
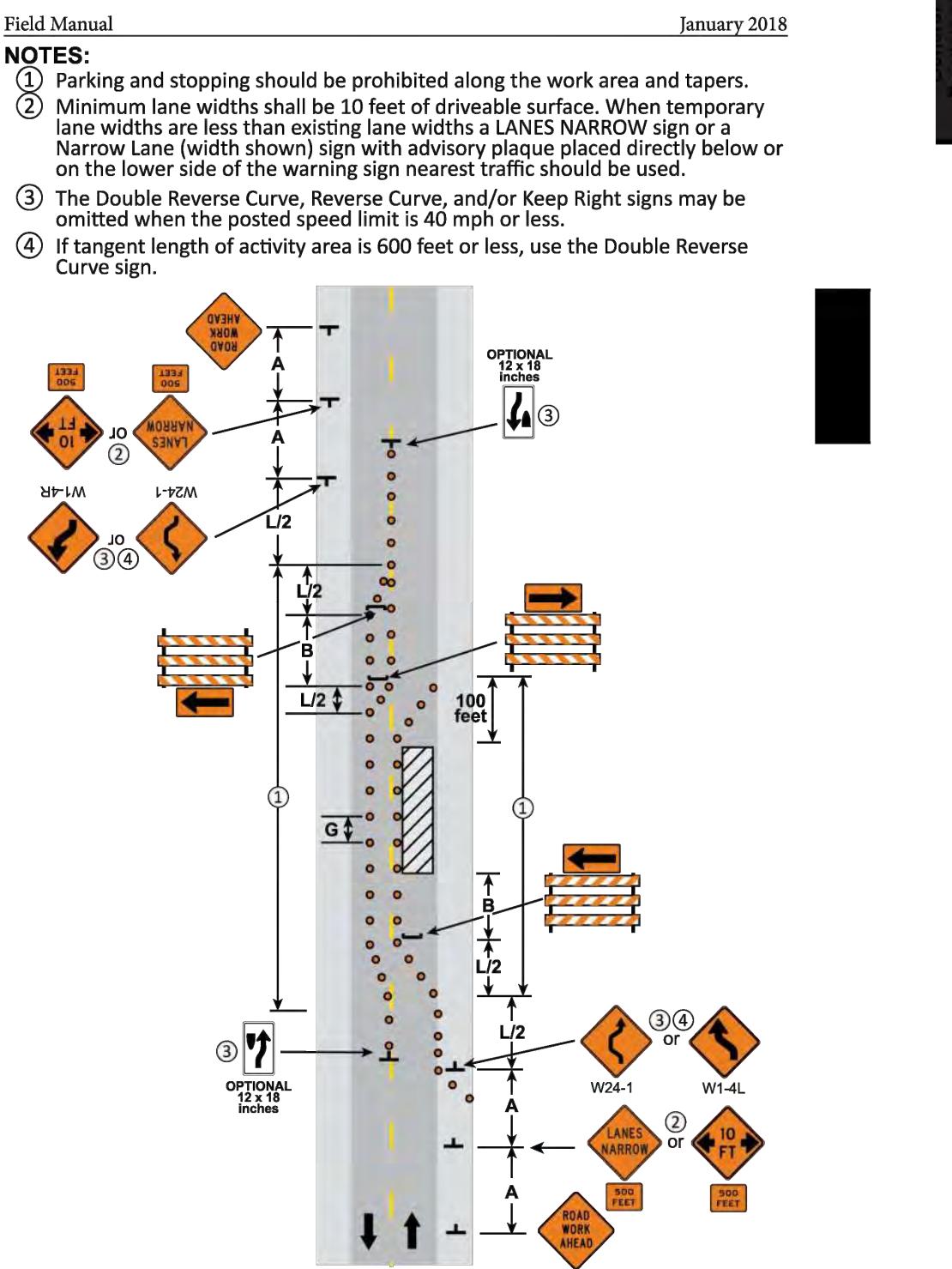
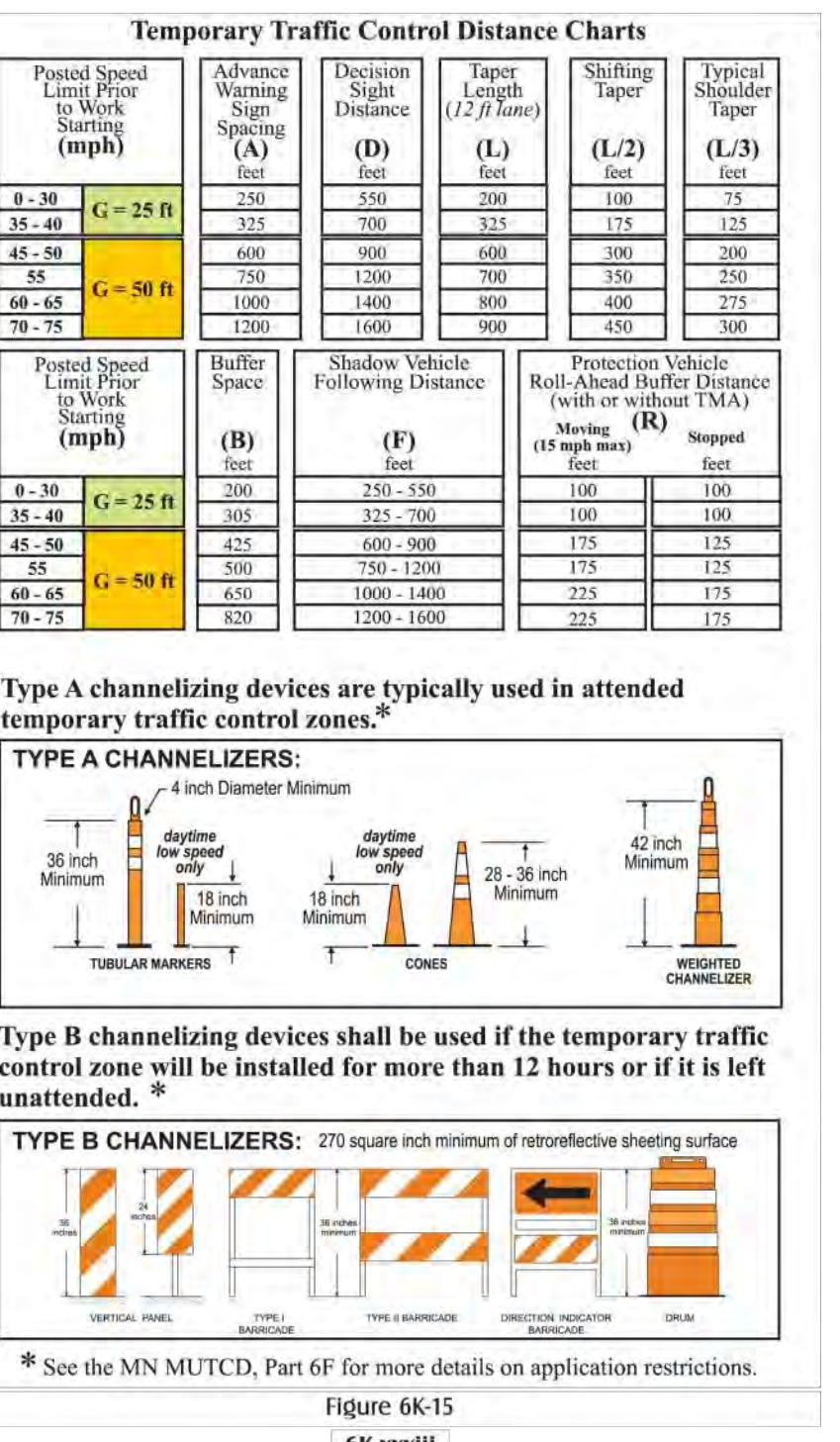
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Project No: 21136.4

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I HEREBY CERTIFY THAT THIS PLAN WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
REGISTERED ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.
DATE: 05-02-2023
REGISTRATION NO: 52664
SIGNED:
MARCUS R. LEE, P.E.

COLUMBUS INDUSTRIAL PARK
WEST FREEWAY DR. NE
COLUMBUS, MN 55038

ENGINEERING PLAN
Issue Date: 05/02/2023

Project Manager **MRL**
Drawn by **CKJ**
Checked by **MRL**

**TRAFFIC CONTROL PLAN
RIGHT TURN LANE**

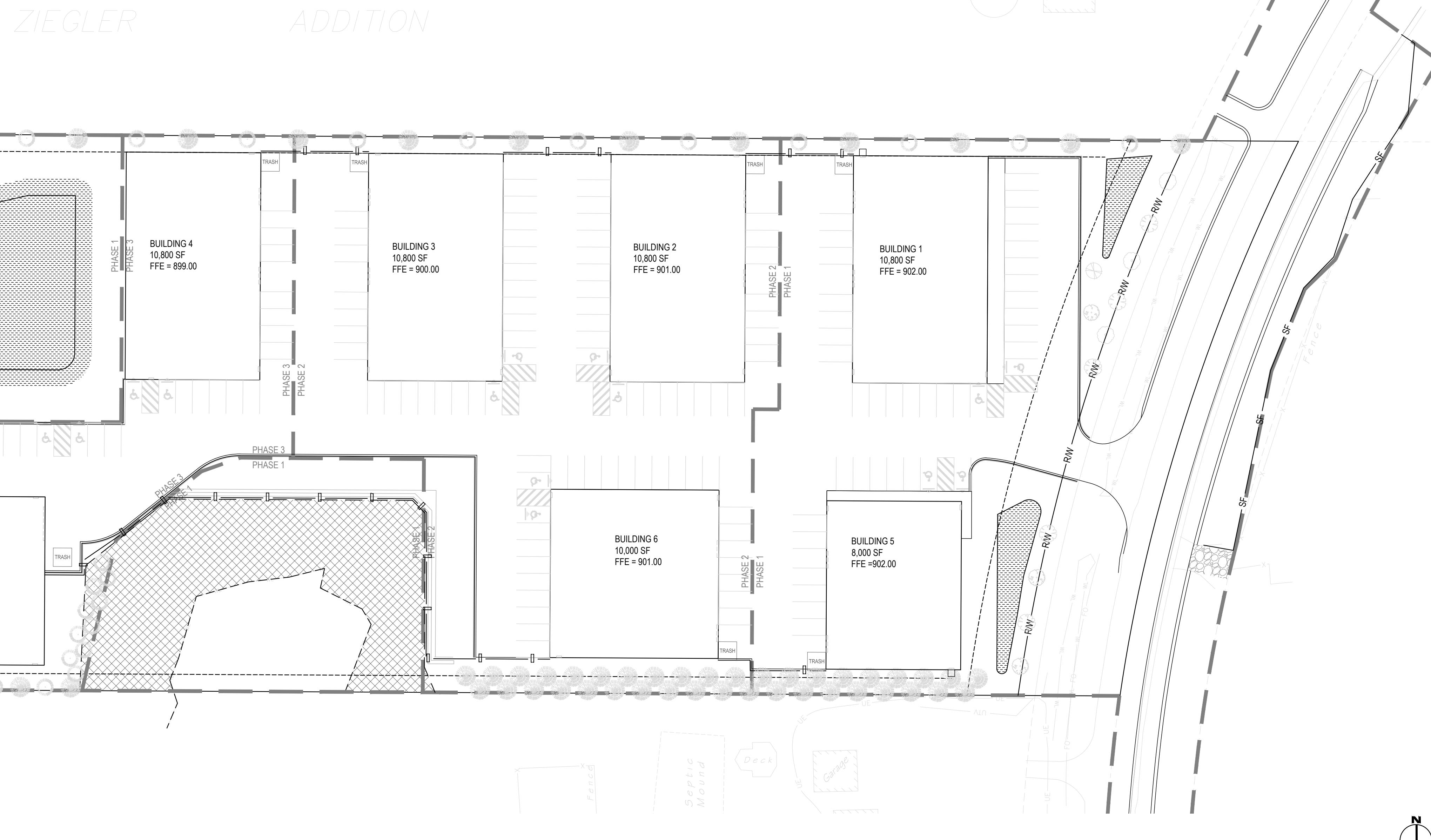
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ISSUED FOR ENGINEERING APPROVAL ONLY

PLANT LIST: SITE PLANTINGS					
TREES			SHRUBS		
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
XX	ABM	Acer freemanii 'Jeffersred'	Autumn Blaze Maple	2-1/2"	B & B
XX	RRM	platanoidesAcer 'Royal Red'	Royal Red Maple	2-1/2"	B & B
XX	CH	Celtis occidentalis	Common Hackberry	2-1/2"	B & B
XX	AL	Tilia americana	American Linden	2-1/2"	B & B
XX	BHS	Picea glauca densata	Black Hills Spruce	6'-0"	B & B
XX	AP	Pinus nigra	Austrian Pine	6'-0"	B & B
XX	SP	Pinus sylvestris	Scotch Pine	6'-0"	B & B
XX	RP	Pinus resinosa	Red Pine	6'-0"	B & B
XX	GL	Tilia cordata 'Greenspire'	Greenspire Linden	2-1/2"	B & B
XX	SSC	Malus 'Spring Snow'	Spring Snow Crabapple	1-1/2"	B & B
XX	NP	Pinus resinosa	Norway Pine	6'-0"	B & B
XX	BO	Quercus macrocarpa	Bur Oak	3-1/2"	B & B
XX	WF	Abies concolor	White Fir	6'-0"	B & B
XX	PFC	Malus 'Prairie Fire'	Prairie Fire Crabapple	1-1/2"	B & B

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
xx	R & B	Raspberry and Blackberry shrubs	Species selected by owner	3 Gal.	POT
xx	SR	Shrub rose hedge, mix several varieties - Blanc Double De Coubert, Hansa, & Magnifica		3 Gal.	POT
xx	WH	Hamamelis virginiana	Witch Hazel	5 Gal.	POT
xx	DWE	Euonymus alatus 'Compactus'	Dwarf Winged Euonymus	5 Gal.	POT
xx	GMS	Spiraea x bumalda	Goldmound Spirea	2 Gal.	POT
xx	LPS	Spiraea japonica 'Little Princess'	Little Princess Spirea	2 Gal.	POT
xx	TA	Thuja occidentalis 'Techny'	Techny Arborvitae, upright form	5 Gal.	POT
xx	H	Hosta, sp.	Any sun tolerant hosta	1 Gal.	POT
xx	RTD	Tilia cordata 'Greenspire'	Redtwigged Dogwood	5 Gal.	POT
xx	AJ	Juniperus horizontalis 'Compacta'	Compact Andorra Juniper	5 Gal.	POT
xx	HJ	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 Gal.	POT
xx	SJ	Juniperus sabina 'Scandia'	Scandia Juniper	5 Gal.	POT
xx	CL	Syringa vulgaris	Common Lilac	5 Gal.	POT
xx	SGJ	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 Gal.	POT
xx	B	Boulders as accents in landscaped areas	Match boulders with rock mulch		

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
	SOD	Locally grown Minnesota highland sod.			
	SEED	Native grass mixture for short, dry species.			
	SEED	Native grass mixture for short, dry species or wetland; depends on site area.			
	NO MOW	Fescue blend with equal parts: Improved Creeping Red, Sheep, Southport Chewings,			
	NO MOW	Boreal Creeping Red, and Durar Hard			
xx	KFG	Calamagrostis acutiflora 'Karl Forester' Karl Forester Feather Reed Grass		1 Gal.	POT
	A	Seed - Drought tolerant turf blend			
	B	Seed - Short dry native grass blend			
	C	Seed - Wildflower blend for infiltration basins			
	D	Seed - Mesic native grass blend			
	A	Seed - Infiltration grass blend, MnDOT 33-261, or similar @ 35 lbs/ac			
	B	Seed - Mesic native grass blend, MnDOT 35-221, or similar @ 36.5 lbs/ac			
	C	Seed - Short native grass blend, MnDOT 35-241, or similar @ 36.5 lbs/ac			
	D	Seed - Short native grass blend, MnDOT 25-131, or similar @ 220 lbs/ac			
		Follow MnDOT Spec 2575 for seeded, watering, and weed control and "Turf Establishment Recommendations for Metro Districts" by MnDOT, April 2014.			



Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS BEFORE YOU DIG.
CAUTION: UTILITY INFORMATION IS APPROXIMATE.
VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

Revisions:

LINE IS 1" ON FULL SCALE DRAWING



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LANDSCAPE PLAN

L100

REQUIRED RESIDENTIAL SCREENING.

1. A SCALED AND DIMENSIONED SCREENING PLAN MUST BE SUBMITTED TO THE ZONING ADMINISTRATOR PRIOR TO APPROVAL OF THE FOLLOWING:
 - a. ANY NEW NONRESIDENTIAL USE, STRUCTURE, BUILDING ADDITION, SITE IMPROVEMENT, OR LAND USE CHANGE THAT OCCURS ON A PROPERTY LOCATED WITHIN A NON RESIDENTIALLY ZONED DISTRICT THAT ABUTS PROPERTY LOCATED WITHIN A RESIDENTIALLY ZONED DISTRICT OR WITHIN 150 FEET OF AN EXISTING RESIDENCE, INCLUDING BUT NOT LIMITED TO:
 - i. OUTDOOR STORAGE, CONTRACTOR'S YARD, COMMERCIAL EQUIPMENT AND COMMERCIAL VEHICLES.
 - ii. ANY NEW DEVELOPMENT THAT REQUIRES AN INTERIM USE PERMIT, CONDITIONAL USE PERMIT, PLANNED UNIT DEVELOPMENT OR SUBDIVISION APPROVAL; AND
 - iii. OUTDOOR STORAGE AREAS.
2. THE SCREENING PLAN MUST BE REVIEWED AND APPROVED ADMINISTRATIVELY BY THE ZONING ADMINISTRATOR EXCEPT WHERE IT ACCOMPANIES A LAND USE APPLICATION, IN WHICH CASE IT SHALL BE REVIEWED CONCURRENTLY WITH THAT APPLICATION BY THE PLANNING COMMISSION AND CITY COUNCIL. THE REQUIRED SCREENING PLAN SHALL RESTRICT DIRECT VISUAL ACCESS TO THE NONRESIDENTIAL USE OR NONRESIDENTIAL PROPERTY FROM ANY RESIDENTIALLY ZONED PROPERTY OR RESIDENCE WITHIN 150 FEET. THE SCREENING SHALL BE DESIGNED AND MAINTAINED AS FOLLOWS:
 - a. REQUIRED SCREENING SHALL BE A SIX (6) FEET IN HEIGHT.
 - b. REQUIRED SCREENING SHALL BE LOCATED ENTIRELY WITHIN THE REQUIRED SETBACKS.
 - c. REQUIRED SCREENING SHALL BE AT LEAST NINETY-FIVE (95) PERCENT OPAQUE THROUGHOUT THE YEAR.
 - d. REQUIRED SCREENING SHALL BE SATISFIED BY ONE (1) OR MORE OF THE FOLLOWING:
 - i. A BERM.
 - ii. A DECORATIVE FENCE. FOR THE PURPOSES OF THIS SECTION, A CHAIN-LINK FENCE WITH SLATS OR FABRIC MATERIAL IS NOT A DECORATIVE FENCE. THE FINISHED SIDE OF FENCE (THE SIDE HAVING NO STRUCTURAL SUPPORTS) SHALL FACE THE RESIDENTIAL PROPERTY.
 - iii. A DECORATIVE MASONRY WALL.
 - iv. A HEDGE OR PLANTINGS THAT GROW TO THE REQUIRED HEIGHT WITHIN THREE (3) YEARS OF INSTALLATION.
3. THE REQUIRED SCREENING REQUIREMENT MAY BE WAIVED BY THE ZONING ADMINISTRATOR IN LOCATIONS WHERE THE MINIMUM SEPARATION OF NONRESIDENTIALLY ZONED DEVELOPABLE AREAS AND RESIDENTIAL ZONE DEVELOPABLE AREAS IS AT LEAST ONE-QUARTER MILE, DUE TO WETLANDS, PUBLIC WATERS, OR PUBLICLY-OWNED PROPERTIES. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE RESTORATION OR REPAIR OF SCREENING THAT BECOMES NOT IN COMPLIANCE WITH THE APPROVED SCREENING PLAN. APPROVED SCREENING MUST BE MAINTAINED IN A REASONABLE CONDITION AND SHALL NOT BY REASON OF AGE, DECAY, ACCIDENT, OR OTHERWISE BE ALLOWED TO BECOME AND REMAIN IN A STATE OF DISREPAIR ON NONCOMPLIANCE WITH THE APPROVED SCREENING PLAN.

PLANTING NOTES:

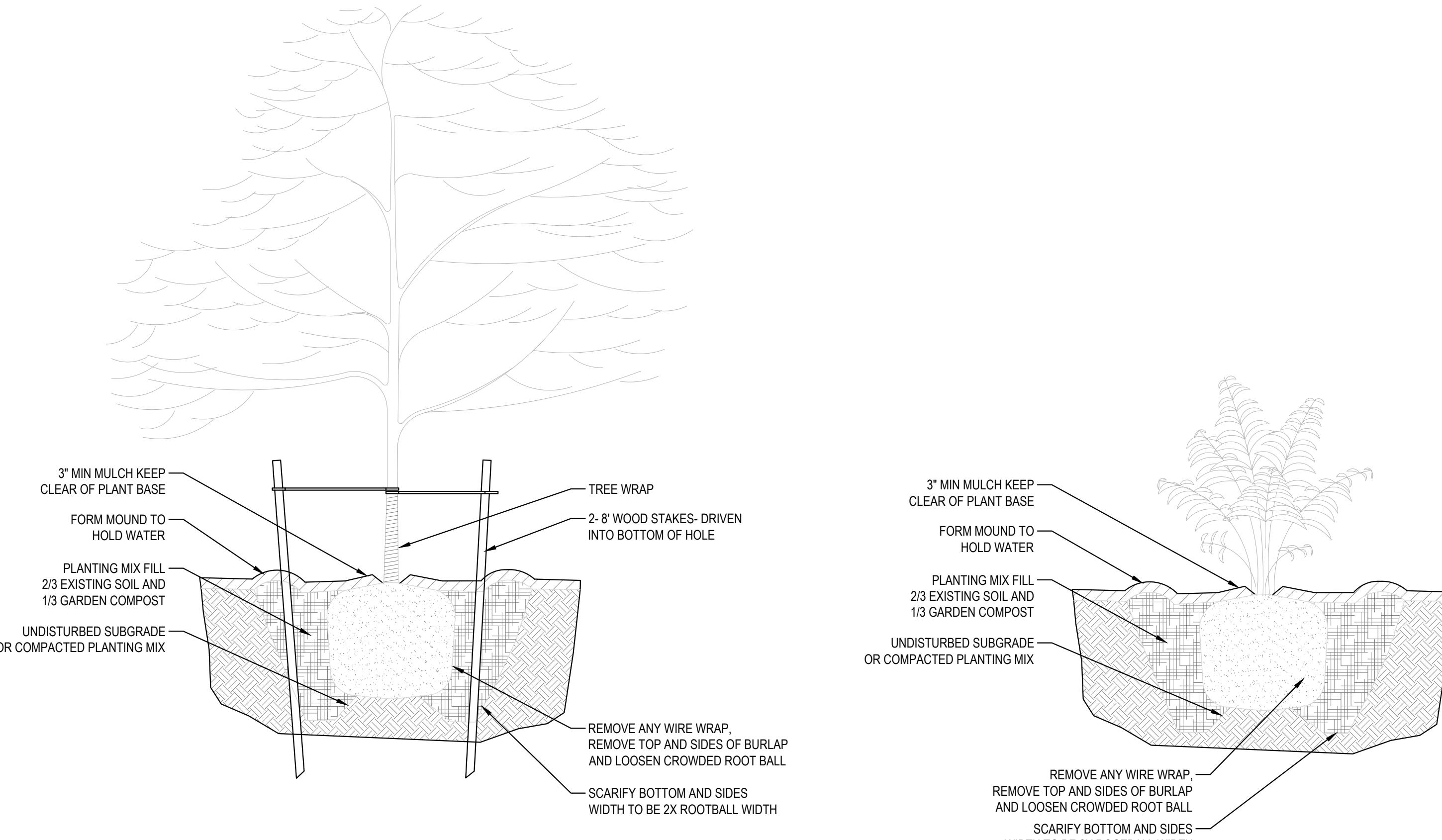
1. CONTRACTOR SHALL PROVIDE ONE YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIALS SHALL ALSO HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
2. ALL PLANTS TO BE NORTHERN-GROWN AND HARDY.
3. PLANTS TO BE INSTALLED AS PER STANDARD AAN PLANTING PRACTICES.
4. USE MINIMUM 12" LOAM PLANTING SOIL ON TREES AND 6" ON SHRUBS.
5. CONTRACTOR SHALL VERIFY LOCATIONS WITH ALL UTILITIES PRIOR TO INSTALLATION OF PLANTS.
6. ALL LANDSCAPING AND SOD AREAS SHALL BE IRRIGATED MANUALLY BY THE OWNER.
7. STAKING OF TREES OPTIONAL; REPOSITION IF NOT PLUMB AFTER ONE YEAR.
8. WRAP ALL SMOOTH-BARKED TREES-FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1.
9. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
10. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE.
11. OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE AFTER ACCEPTANCE OF THE WORK BY THE OWNER.
12. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
13. ALL DISTURBED AREAS TO BE SODDED UNLESS OTHERWISE NOTED. SOD SHALL BE NORTHERN GROWN AND HARDY.
14. PLANTING BEDS FOR SHRUBS SHALL HAVE (4 OZ. MIN.) WEED BARRIER FABRIC, 4"- 6" OF SHREDDED HARDWOOD MULCH AND 4" VERTICAL (COMMERCIAL GRADE) BLACK POLY EDGING. THE EDGING SHALL BE PLACED AND STAKED WITH SMOOTH CURVES.
15. SHREDDED HARDWOOD MULCH 4" DEEP SHALL BE PROVIDED AROUND ALL INSTALLED TREES.
16. NO RETAINING WALLS ARE PROPOSED. ANY FUTURE RETAINING WALLS ARE NOT THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT. CONTACT THE PROJECT ENGINEER FOR DETAILS, LOCATIONS, MATERIALS, AND SPECIFICATIONS FOR ALL RETAINING WALLS.
17. A VARIETY OF MULCHES SHALL BE USED IN THE LANDSCAPE AREAS AS DISPLAY AREAS. DISPLAY AREA BY OTHERS.
18. SHREDDED HARDWOOD MULCH 4" DEEP SHALL BE PROVIDED AROUND ALL INSTALLED TREES.

LANDSCAPE CODE FOR CITY OF COLUMBUS:

1. LI - LIGHT INDUSTRIAL = 4 TREES OR 1 / 6,000 SF SITE AREA.
2. THE REQUIRED NUMBER OF TREES IS BASED UPON A MINIMUM OF 4 TREES OR 1 TREE PER 6,000 SF OF SITE AREAS (NET OF WETLANDS, SURFACE WATERS, AND EXISTING ROAD EASEMENTS, WHICHEVER IS GREATER. TREE SPACING MUST INCLUDE TREES AT THE BOULEVARD AT A MINIMUM OF 80 FEET INTERVALS.
3. FOUNDATION PLANTINGS - PERENNIAL FLOWERS, DECIDUOUS SHRUBS, AND CONIFEROUS SHRUBS, ARE ENCOURAGED IN ALL COMMERCIAL AND INDUSTRIAL ZONING DISTRICTS. SUGGESTED LOCATIONS INCLUDE BUILDING ENTRANCES, SIGN BASES, BERMS AND OTHER SIMILAR VISIBLE LOCATIONS.

MINIMUM STANDARDS

4. DECIDUOUS TREES - 2-1/2" CALIPER PLANTING SIZE - BALLED AND BURLAPPED
5. CONIFEROUS TREES - 6" IN HEIGHT PLANTING SIZE, BALLED AND BURLAPPED
6. FOUNDATION PLANTINGS - CONIFEROUS AND DECIDUOUS SHRUBS SHOULD BE PLANTED AT A MINIMUM OF 1/3 OF THE MATURE SPREAD AND HEIGHT OF A TYPICAL GROWTH HABITS.
7. BOULEVARD TREES - ALL BOULEVARD TREES SHALL BE HARDWOOD SHADE TREES OR FLOWERING TREES.
8. OVERSTORY MIX - WHEN MULTIPLE QUANTITIES OF OVERSTORY TREES ARE REQUIRED, AT LEAST 50% OF THE TREES REQUIRED SHALL BE DECIDUOUS.
9. HARDINESS - ALL LANDSCAPE MATERIALS PROPOSED SHALL BE CONSISTENT WITH MINNESOTA HARDINESS ZONES, WHETHER INGENIOUS OR FOREIGN. PLANT SPECIES MUST ALSO BE TOLERANT TO SNOW STORAGE, EXPOSURE TO SALT AND SUN SCALD IN PARKING AREAS.
10. DIVERSITY - IN ANY DEVELOPMENT, IN WHICH AT LEAST 8 OVERSTORY TREES ARE REQUIRED, AT LEAST 3 VARIETIES OF PLANTINGS ARE REQUIRED.
11. WARRANTY - ALL REQUIRED LANDSCAPE MATERIALS SHALL BE WARRANTED FOR GROWTH A MINIMUM OF 2 YEARS AFTER PLANTING.
12. CLEAR ZONES - NO LANDSCAPING OVER 2' IN HEIGHT SHALL BE PLANTED OR MAINTAINED IN A SIGHT TRIANGLE AT THE INTERSECTION OF TWO PUBLIC STREETS. SUCH A CLEAR ZONE IS A TRIANGLE MEASURED 30' FROM THE INTERSECTION OF TWO RIGHT OF WAY ALONG EACH RIGHT OF WAY.



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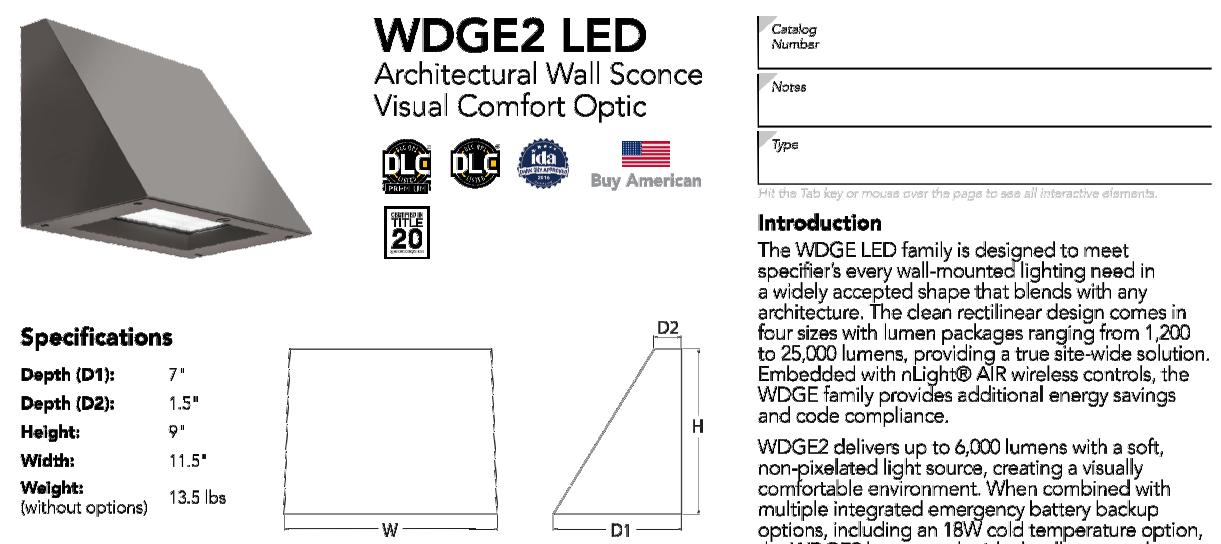
LANDSCAPE NOTES AND DETAILS

PROJECT GENERAL NOTES

1. COORDINATE POWER WITH DEVELOPER AND BUILDING ELECTRICAL PLANS.
2. CITY OF COLUMBUS LIGHTING REQUIREMENTS (7A-813.B):
 - 2.1. ALL NEWLY INSTALLED, REPAIRED, OR REPLACED OUTDOOR LIGHTING FIXTURES SHALL INCLUDE CUTOFF LUMINAIRES AND SHALL BE DIRECTED AWAY FROM RESIDENTIAL PROPERTY AND PUBLIC STREETS IN SUCH A WAY THAT RESIDENTIAL STRUCTURES SHALL BE SHIELDED FROM DIRECT RAYS OF LIGHT AND SO AS NOT TO EXCEED AN INTENSITY OF ILLUMINATION GREATER THAN ONE (1) FOOT-CANDLE (ONE LUMEN PER SQUARE FOOT) MEASURED AT THE RESIDENTIAL PROPERTY LINE
3. PROVIDE EMERGENCY EGRESS LIGHTING PER IBC, NOT SHOWN ON THIS PLAN (BY OTHERS).

LUMINAIRE SCHEDULE

LABEL	MFR.	CATALOG#	WATTAGE
SW1	LITHONIA	WDGE2-LED-P3-40K-80CRI-T3M	32
SW2	LITHONIA	WDGE4-LED-P2-40K-80CRI-R3	109



WDGE LED Family Overview									
Luminaire	Options	Standard EM, K/C	Color Temp, °K	Power	Setback	Volt	Wattage	Approximate Lumens (4000K, 80CRI)	Notes
WDGE1 LED	Visual Comfort	4W	30K	—	750	1,200	2,000	—	—
WDGE2 LED	Visual Comfort	10W	18W	Standalone/night	—	1,200	2,000	3,000	6,000
WDGE2 LED	Precision Reflective	10W	18W	Standalone/night	700	1,200	2,000	3,200	4,200
WDGE3 LED	Precision Reflective	15W	18W	Standalone/night	—	7,500	8,500	10,000	12,000
WDGE4 LED	Precision Reflective	—	—	Standalone/night	—	12,000	16,000	18,000	22,000
Approximate Lumens (4000K, 80CRI)									
									7W

Ordering Information									
EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD									
Series	Package	Color Temperature	EM	Setback	Volt	Wattage	Shipping	Notes	
WDGE2 LED	P1	PSW	27K	2700K	800K	VF	Standalone/night	—	—
	P2	PSW	30K	3000K	900K	VW	Standalone/night	347°	480°
	P3	PSW	35K	3500K	45K	4000K	SRM	Surface mounting socket	—
	P4	PSW	50K	5000K	500K	5000K	KW	Surface mounting fixture	—
	P5	PSW	—	—	—	—	PBW	Surface mounting fixture with damp location only	—

WDGE LED Options									
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