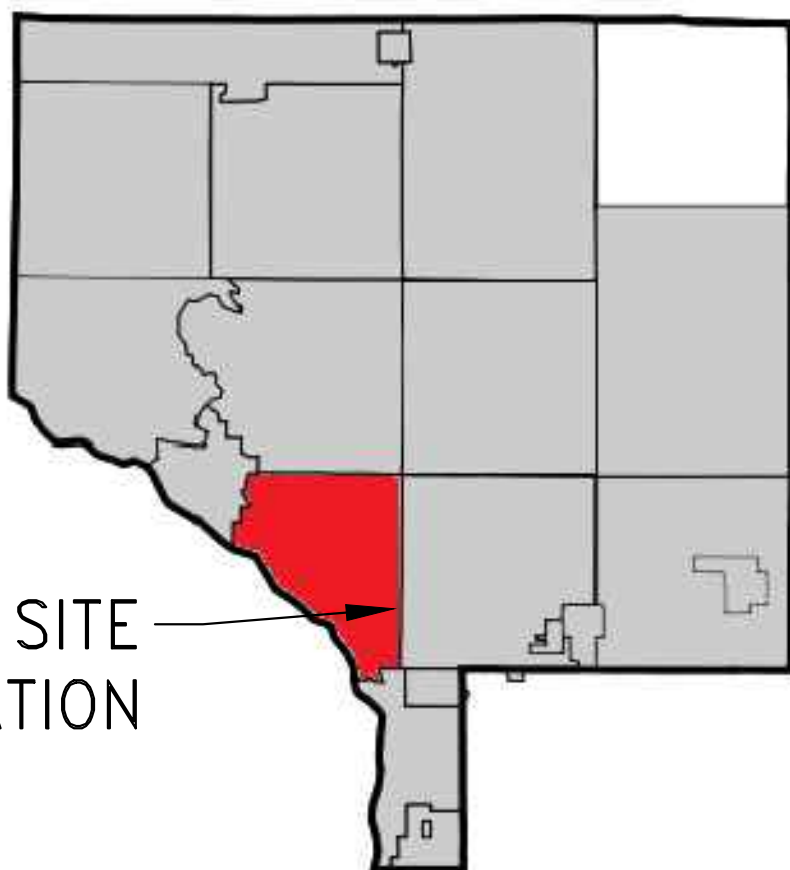


SITE DEVELOPMENT PLANS
FOR
CEDARWOOD
9730 UNIVERSITY AVE. NW
COON RAPIDS, MINNESOTA



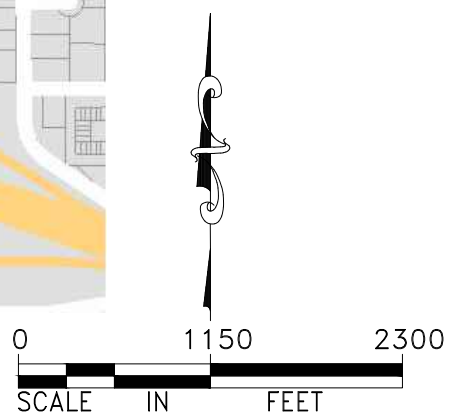
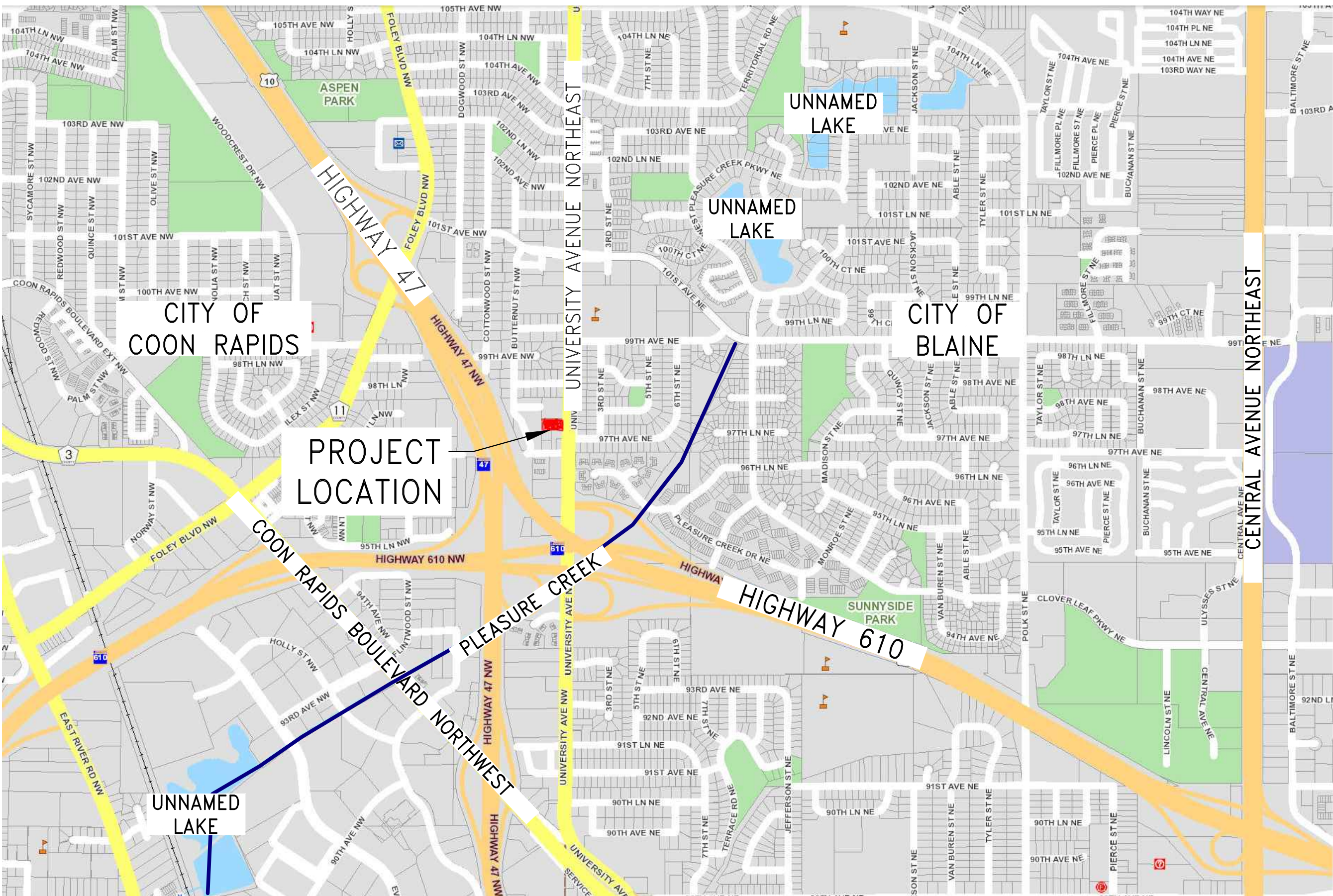
SITE
LOCATION

ANOKA COUNTY



SITE
LOCATION

CITY OF COON RAPIDS



SHEET INDEX
THIS PLAN CONTAINS 9 SHEETS

SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2-C4	DETAILS
C5	EXISTING CONDITIONS & REMOVALS PLAN
C6	SITE PLAN
C7	GRADING & EROSION CONTROL PLAN
C8	UTILITY PLAN
L1	LANDSCAPE PLAN



CALL BEFORE YOU DIG!
Gopher State One Call
Twin City Area: 651-454-0002
Toll Free: 1-800-252-1166

THE SUBSURFACE UTILITY INFORMATION
DEPICTED IN THESE PLANS ARE SHOWN
ACCORDING TO CII/ASCE 38-02, "STANDARD
GUIDELINES FOR THE COLLECTION AND
DEPICTION OF EXISTING SUBSURFACE UTILITY
DATA," LEVEL D STANDARDS.

LEGEND

IMPAIRED WATERS

F:\survey\auditors subdivision - anoka\05\9730 university ave\02 Engineering - 1111\1\01 CAD\05 Sheet Files\01 Title Sheet.dwg

DESIGNED BY: JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. PRELIMINARY JEFFREY A. PRASCH, P.E. DATE: 2.28.23 LIC. NO.: 52706	REVISIONS	
DRAWN BY: JPF		04.13.23	CLIENT COMMENTS
CHECKED BY:		05.15.23	COUNTY COMMENTS
GRP			

DEMARC
LAND SURVEYING & ENGINEERING
7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.3093 FAX: 763.560.3522
www.DemarcInc.com

VALUE HOMES
12301 CENTRAL AVE. NE, SUITE 101
BLAINE, MINNESOTA 55434

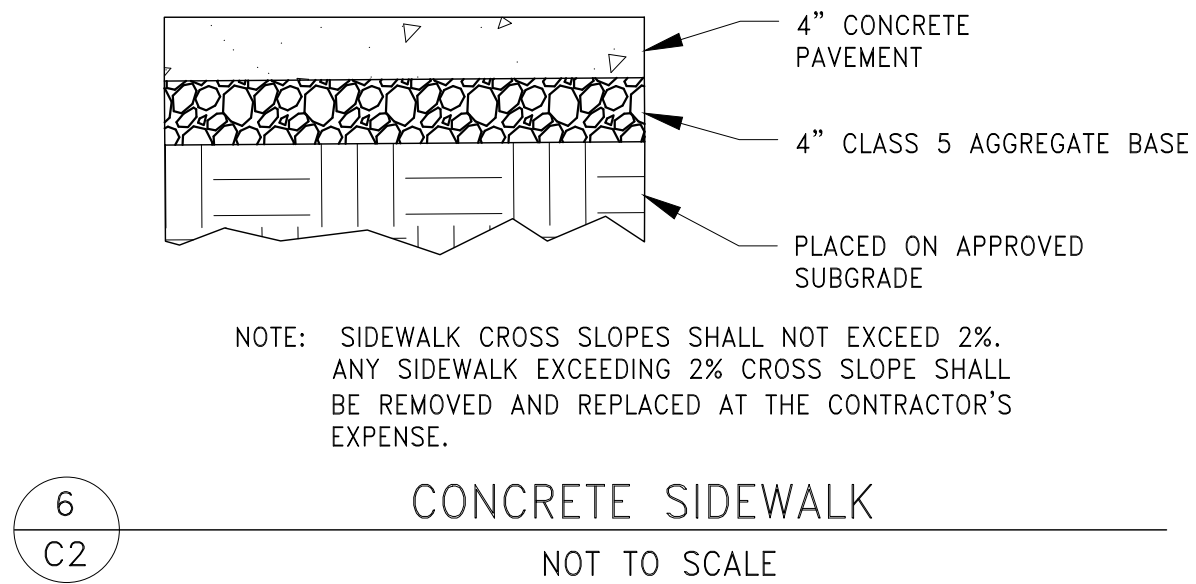
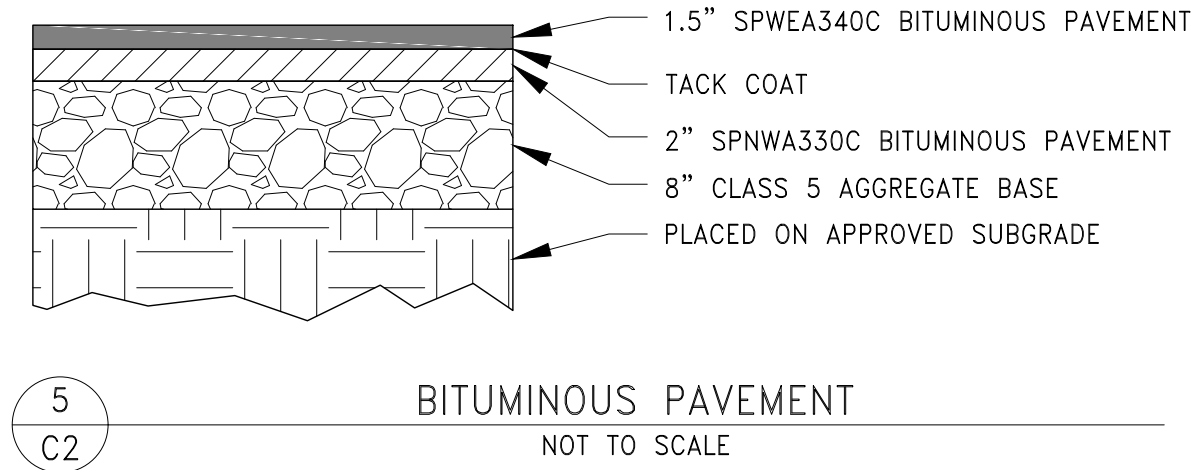
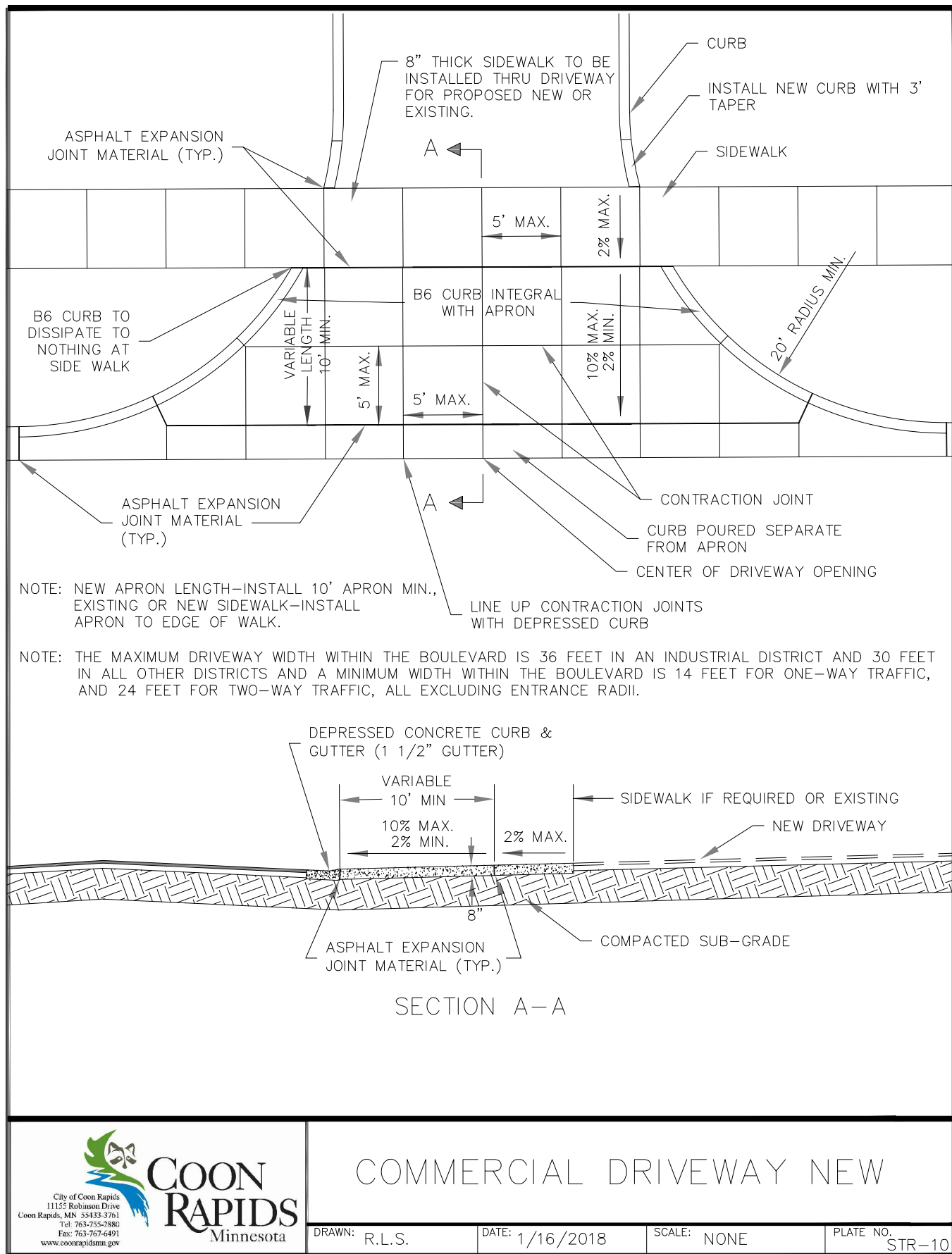
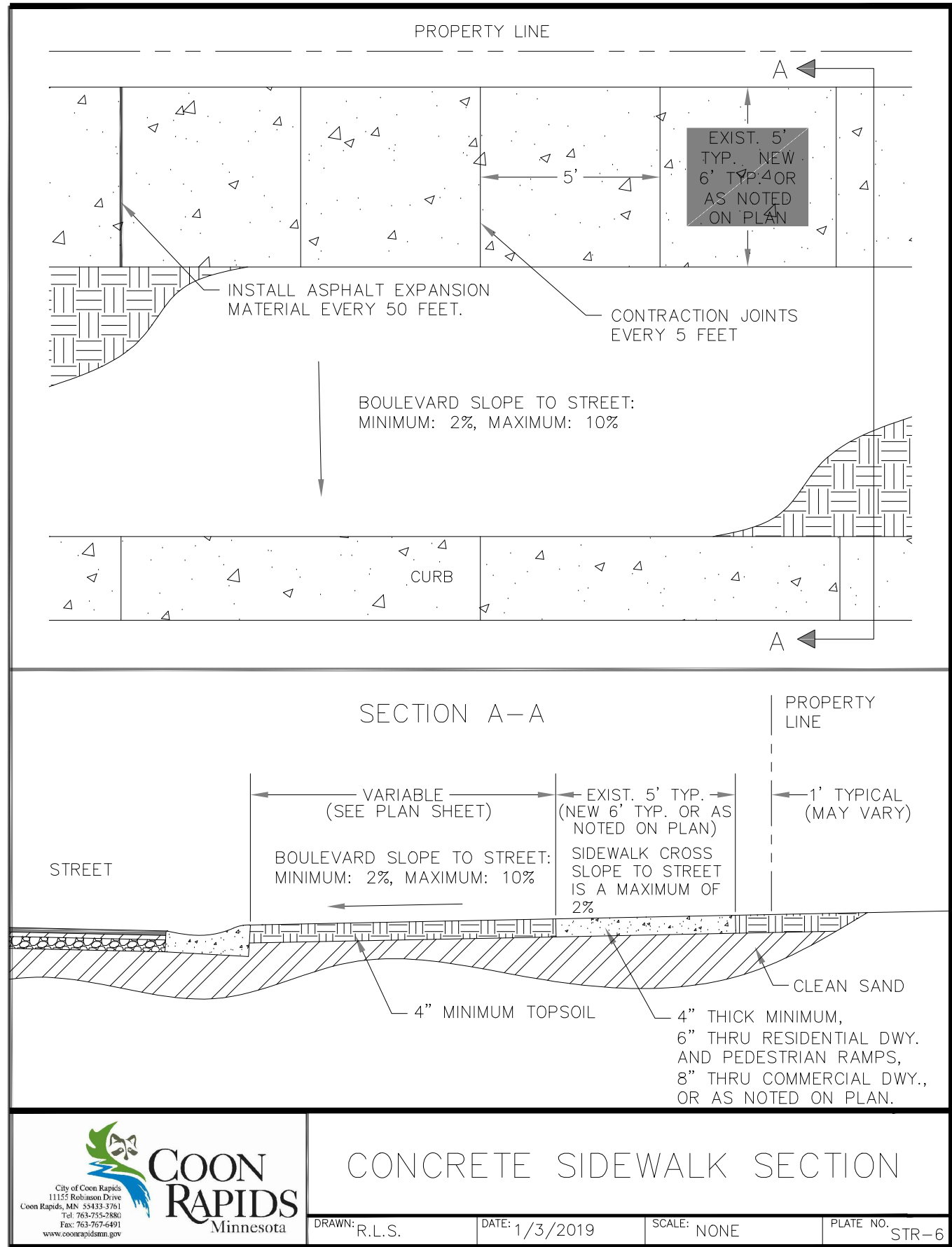
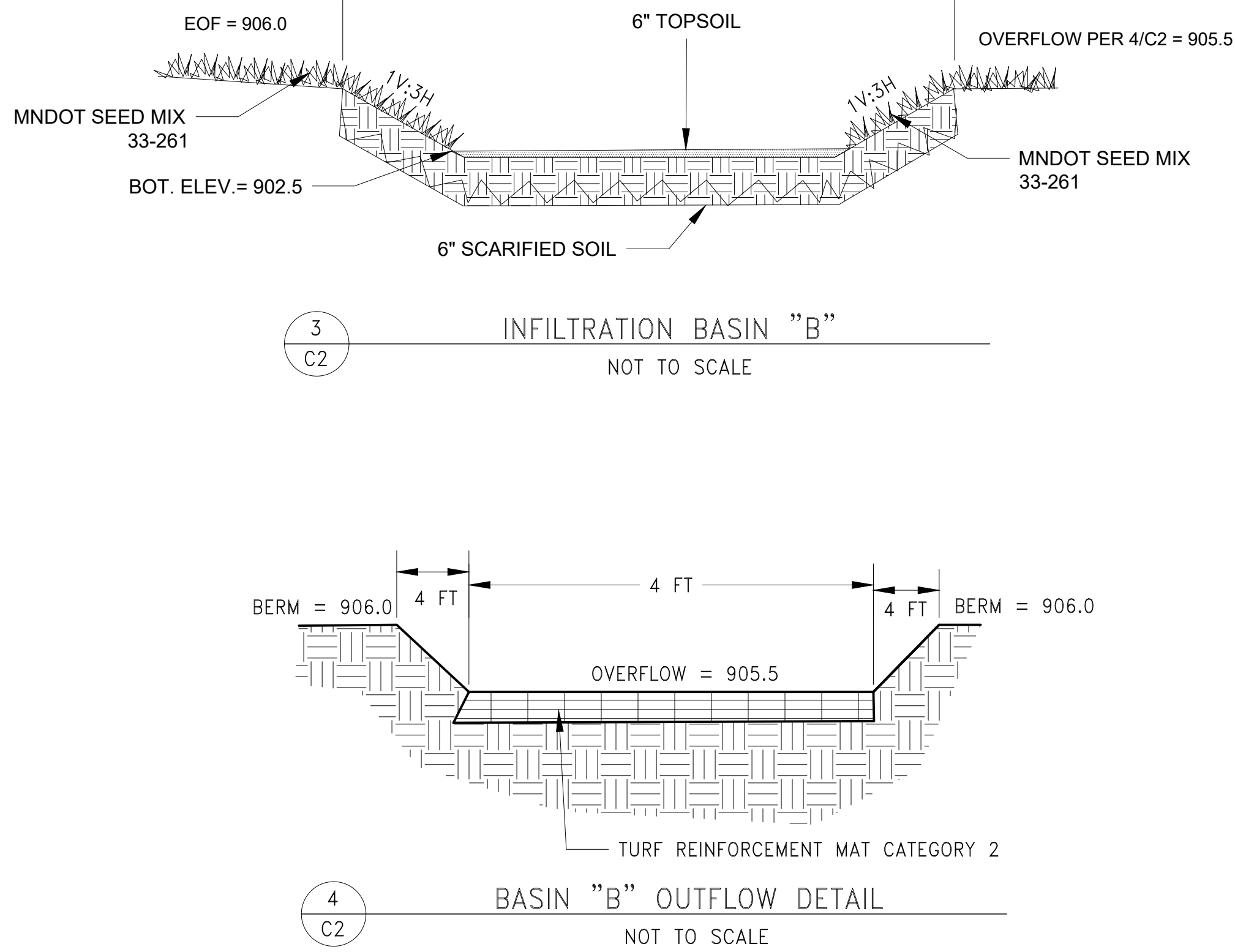
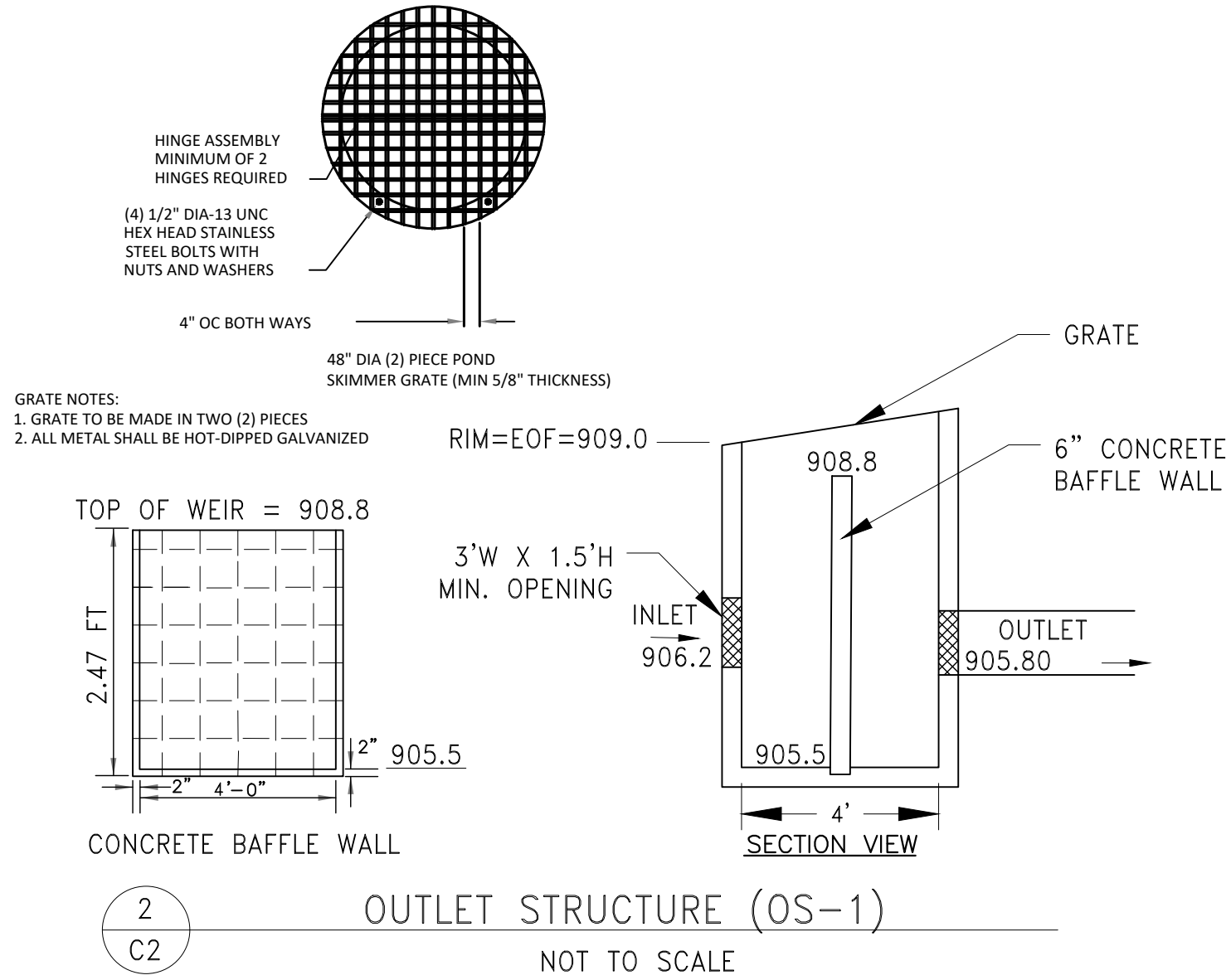
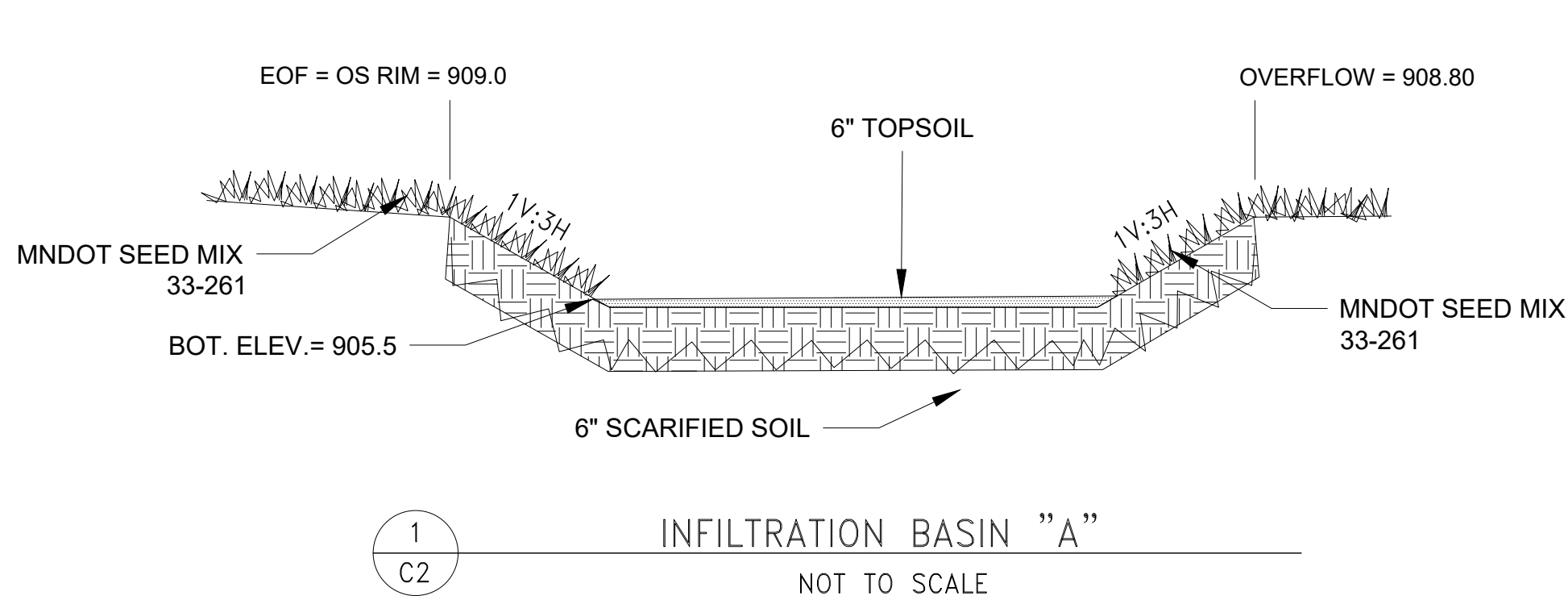
CEDARWOOD
9730 UNIVERSITY AVE. NW
COON RAPIDS, MINNESOTA

TITLE SHEET

PROJECT: 90259A

SHEET NO.
C1 OF C8

F:\survey\auditors subdivision - enoka\05\9730 university ave\02 Engineering - 1111\1\01 CAD\05 Sheet Files\02 Details.dwg



DESIGNED BY:	JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
DRAWN BY:	JPF	
CHECKED BY:	GRP	
DATE:	2.28.23	LIC. NO.: 52706

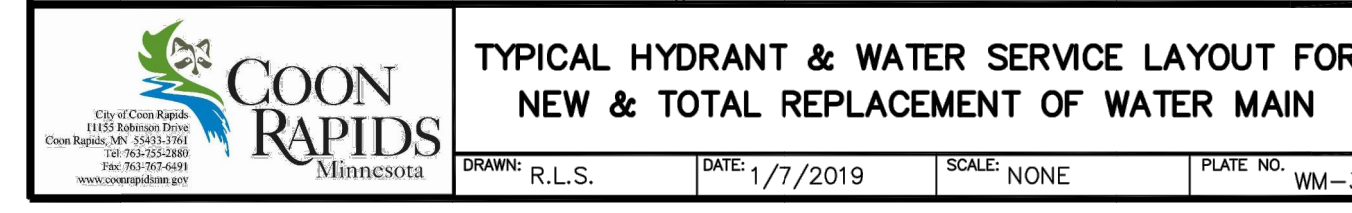
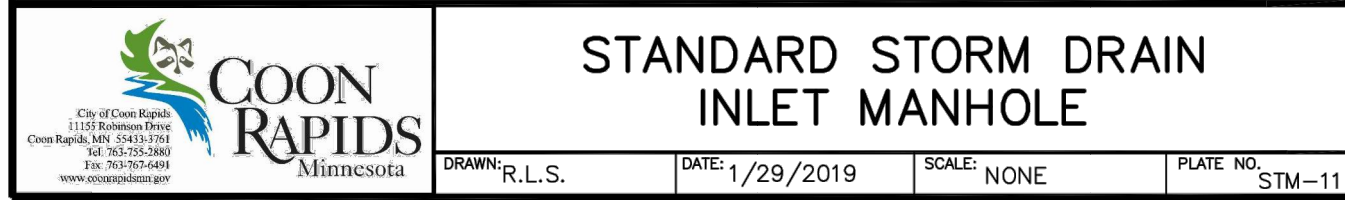
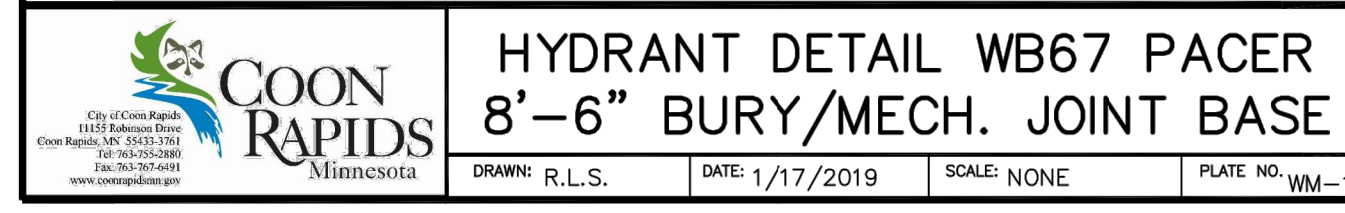
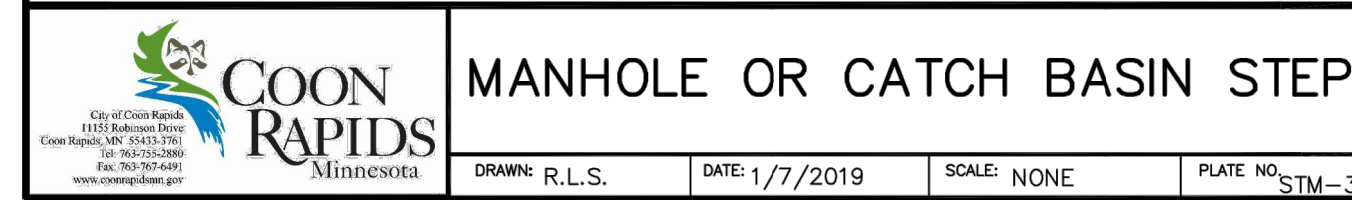
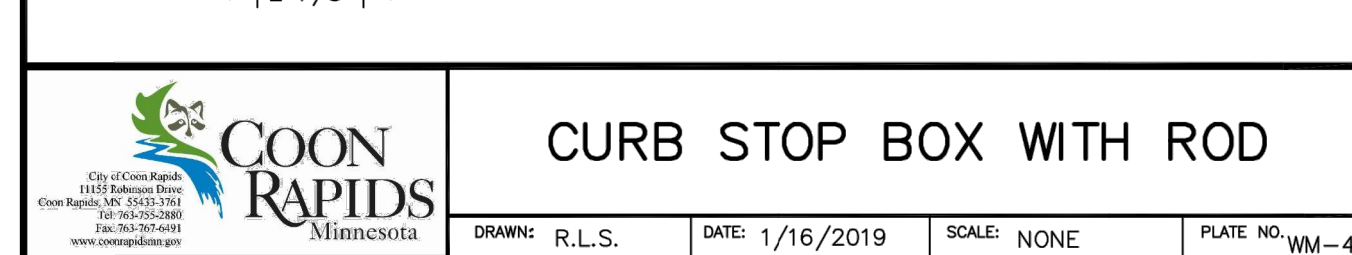
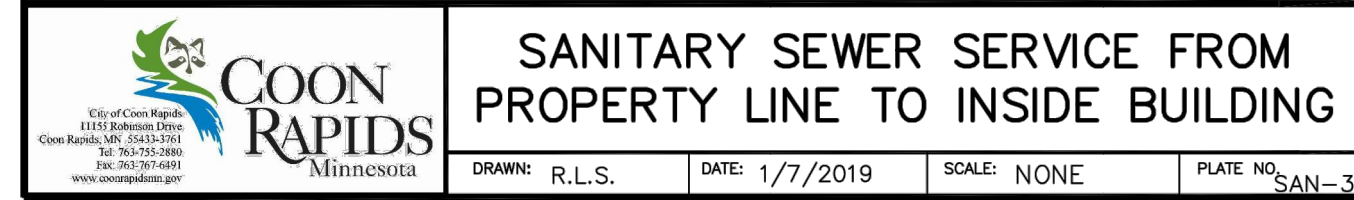
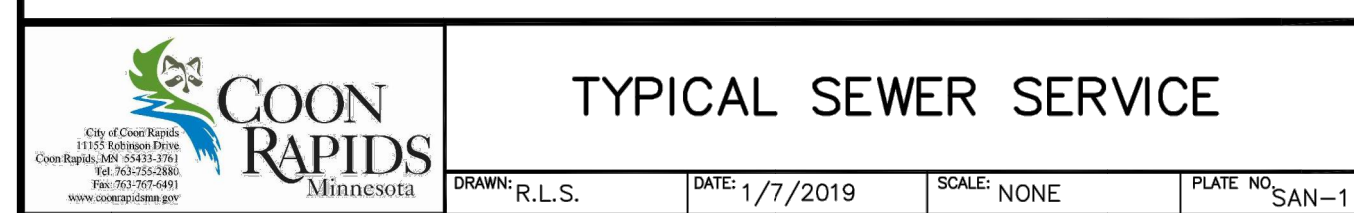
REVISIONS
04.13.23 CLIENT COMMENTS

DEMARC
LAND SURVEYING & ENGINEERING
7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.3093 FAX: 763.560.3522
www.DemarcInc.com

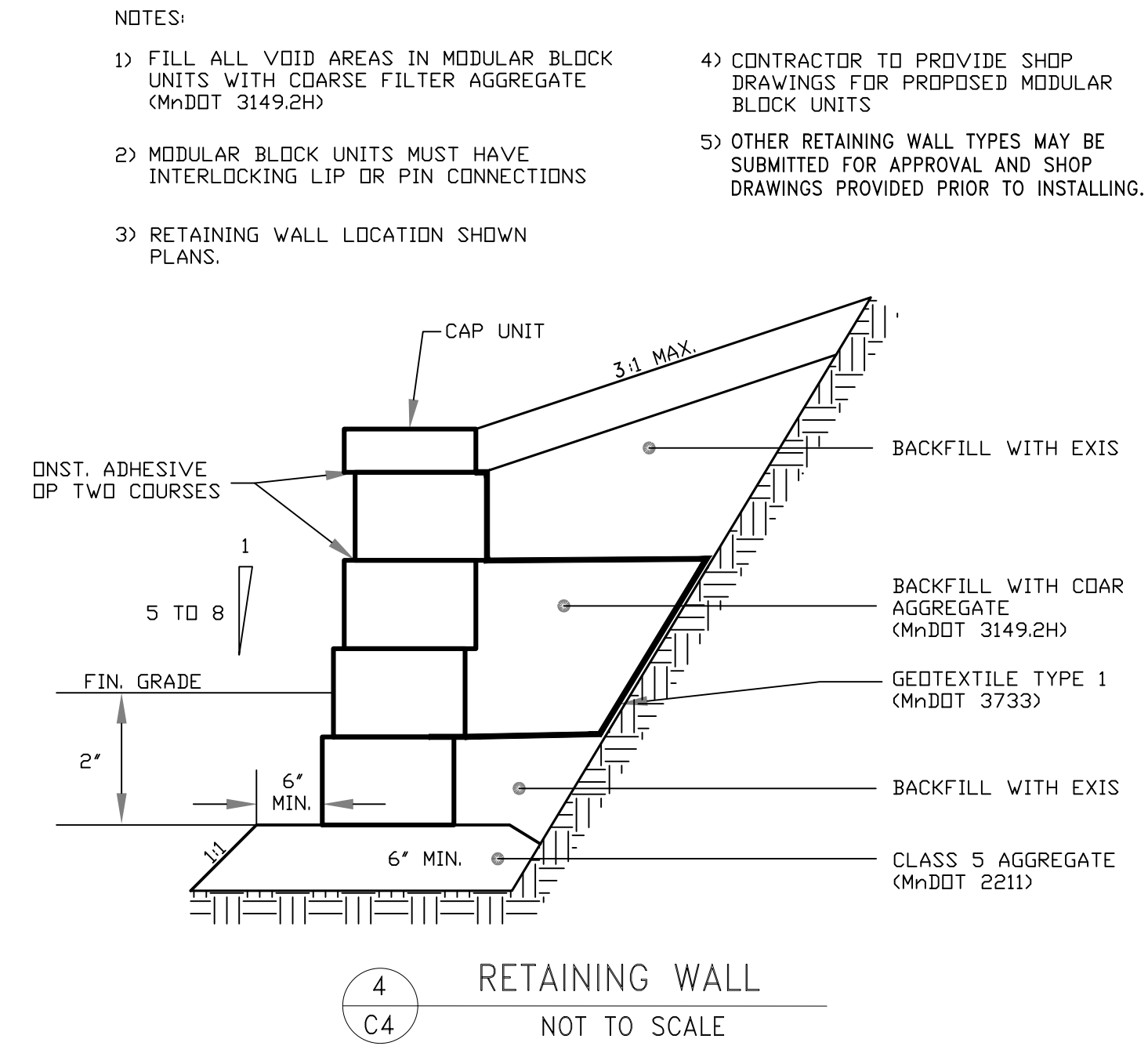
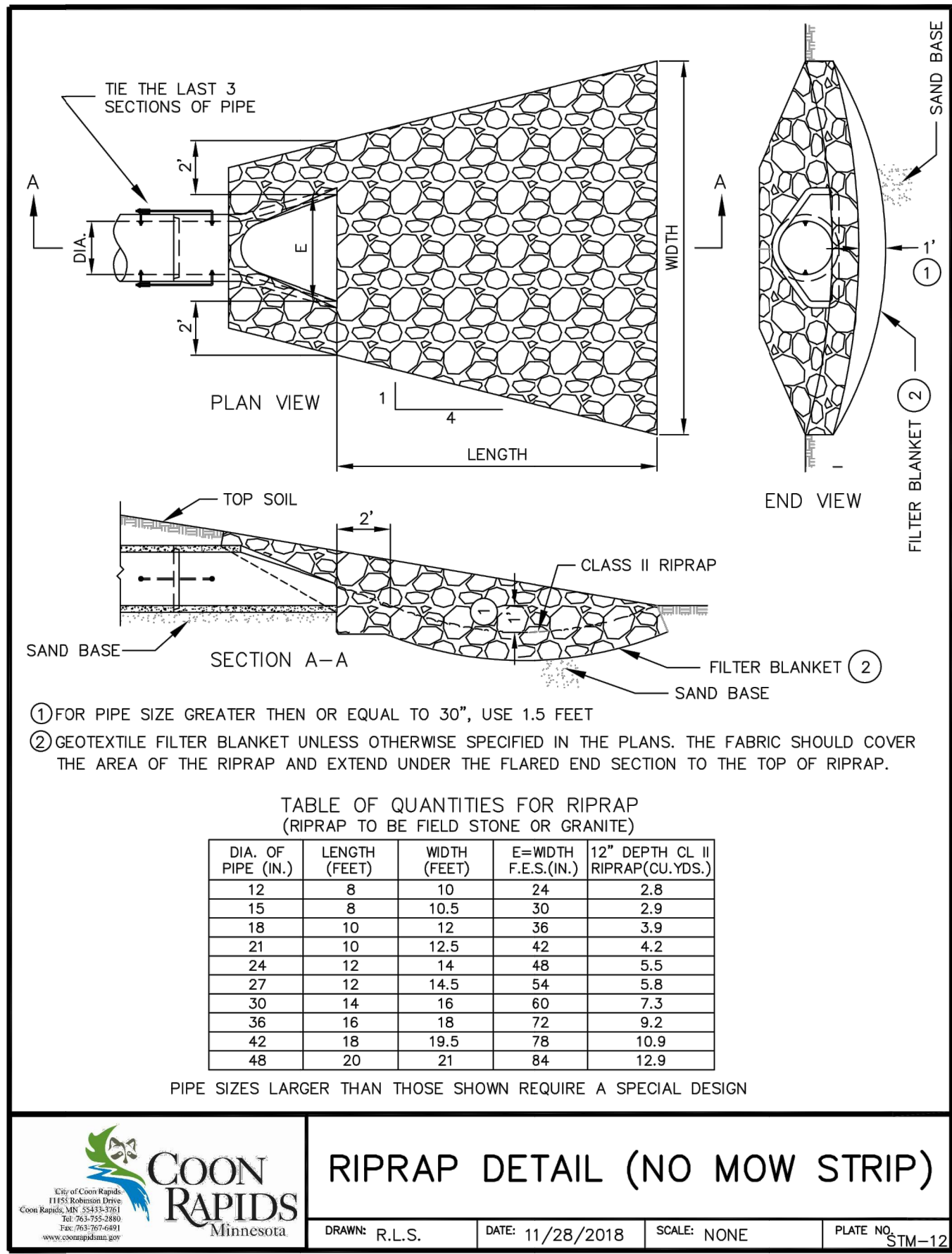
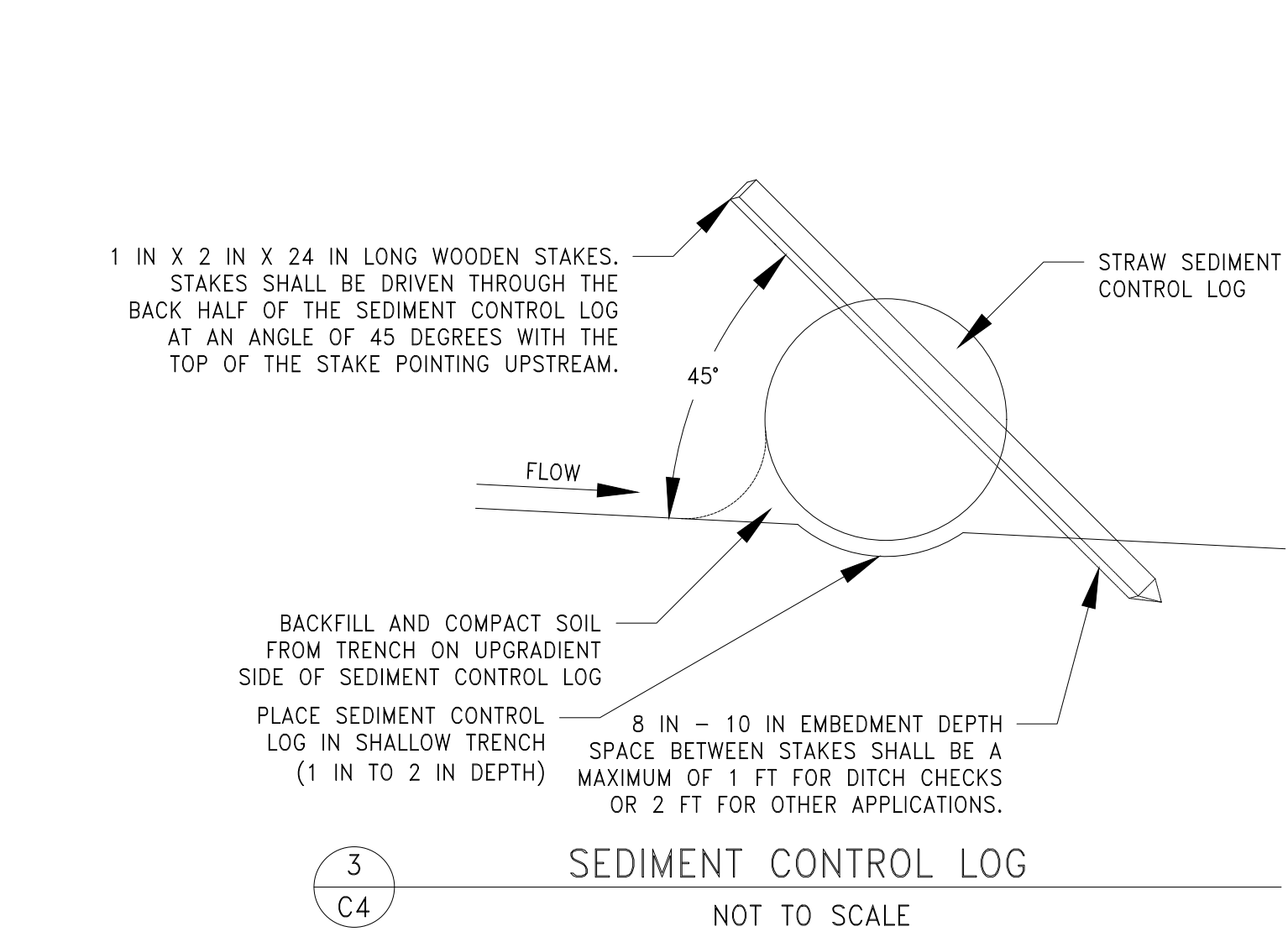
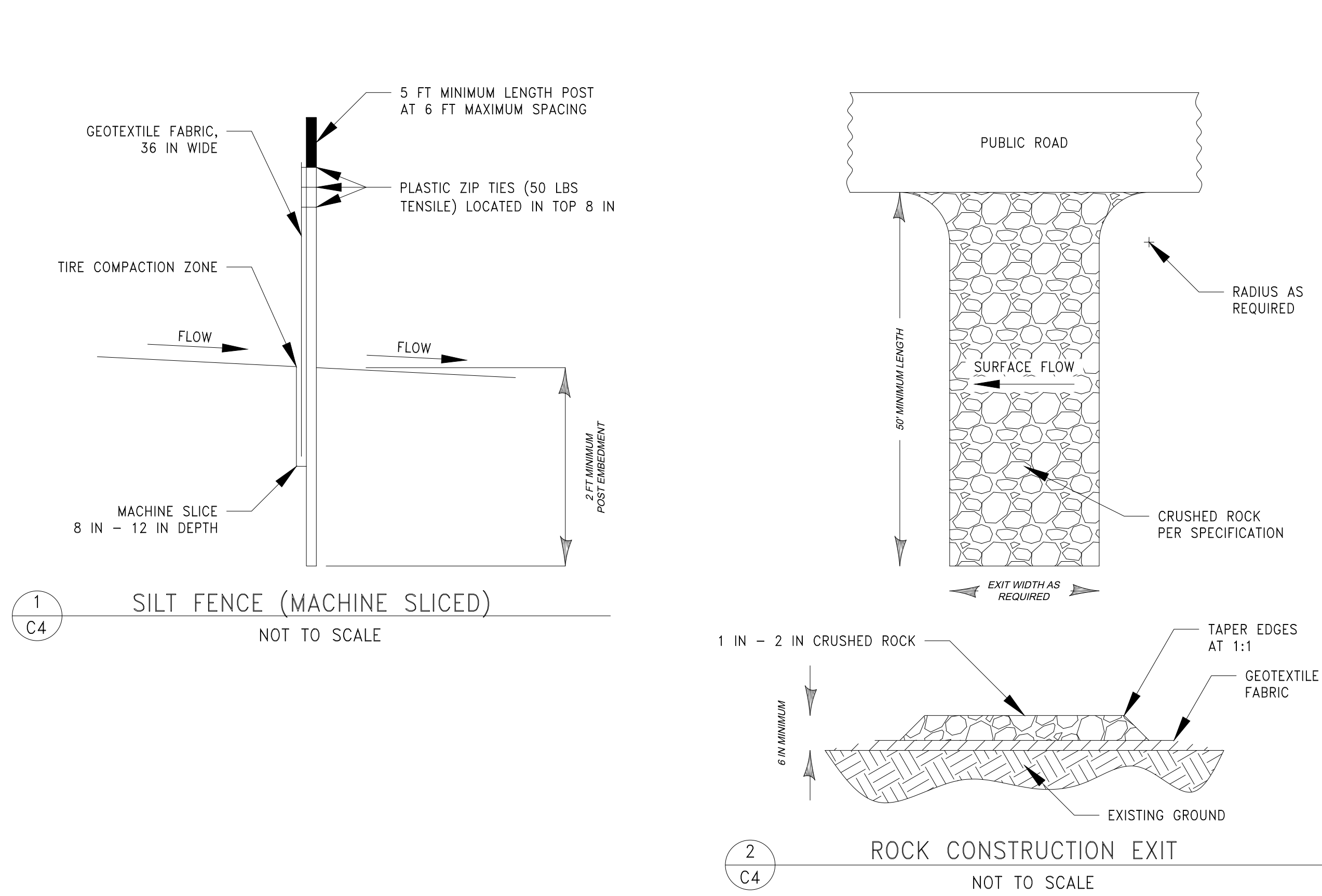
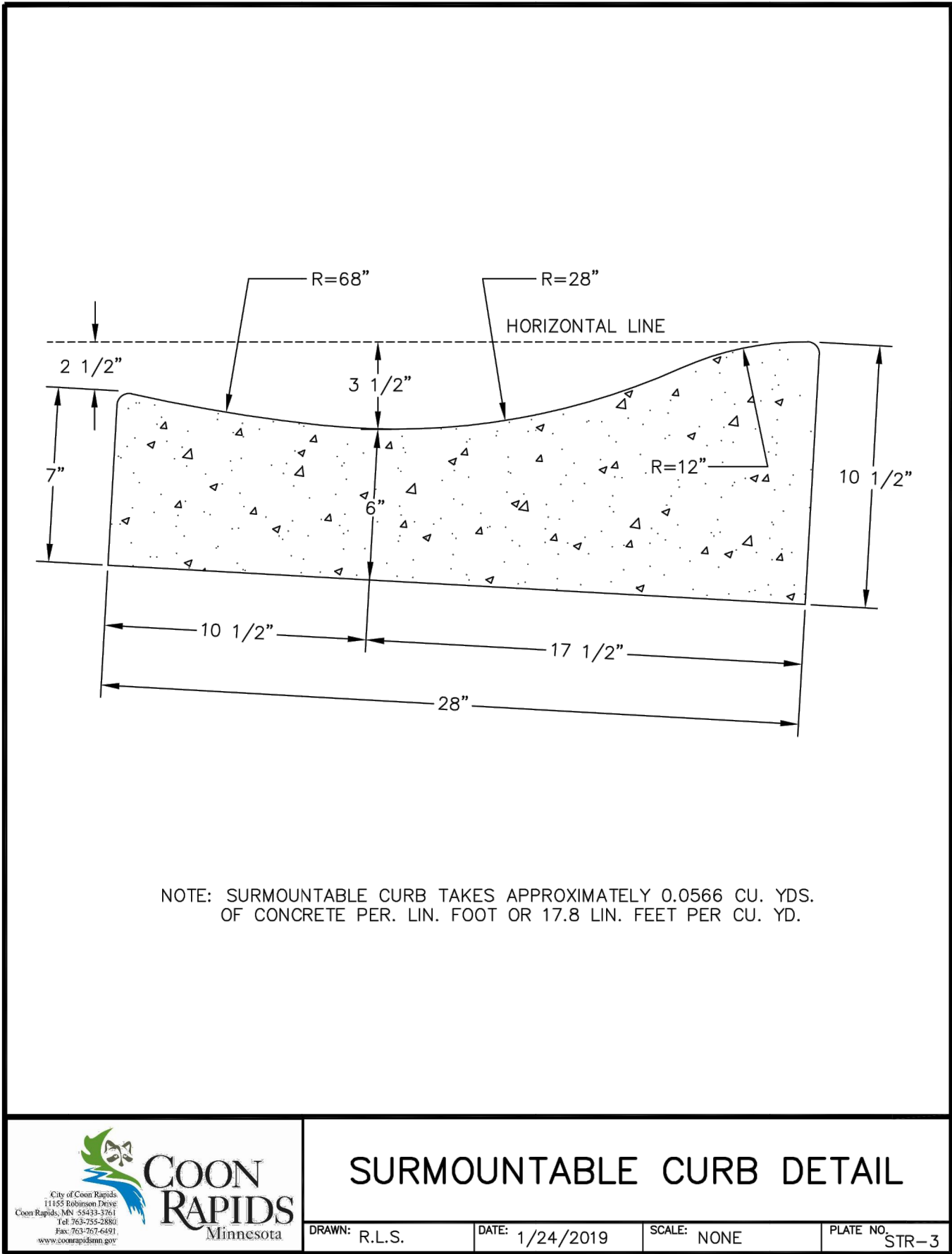
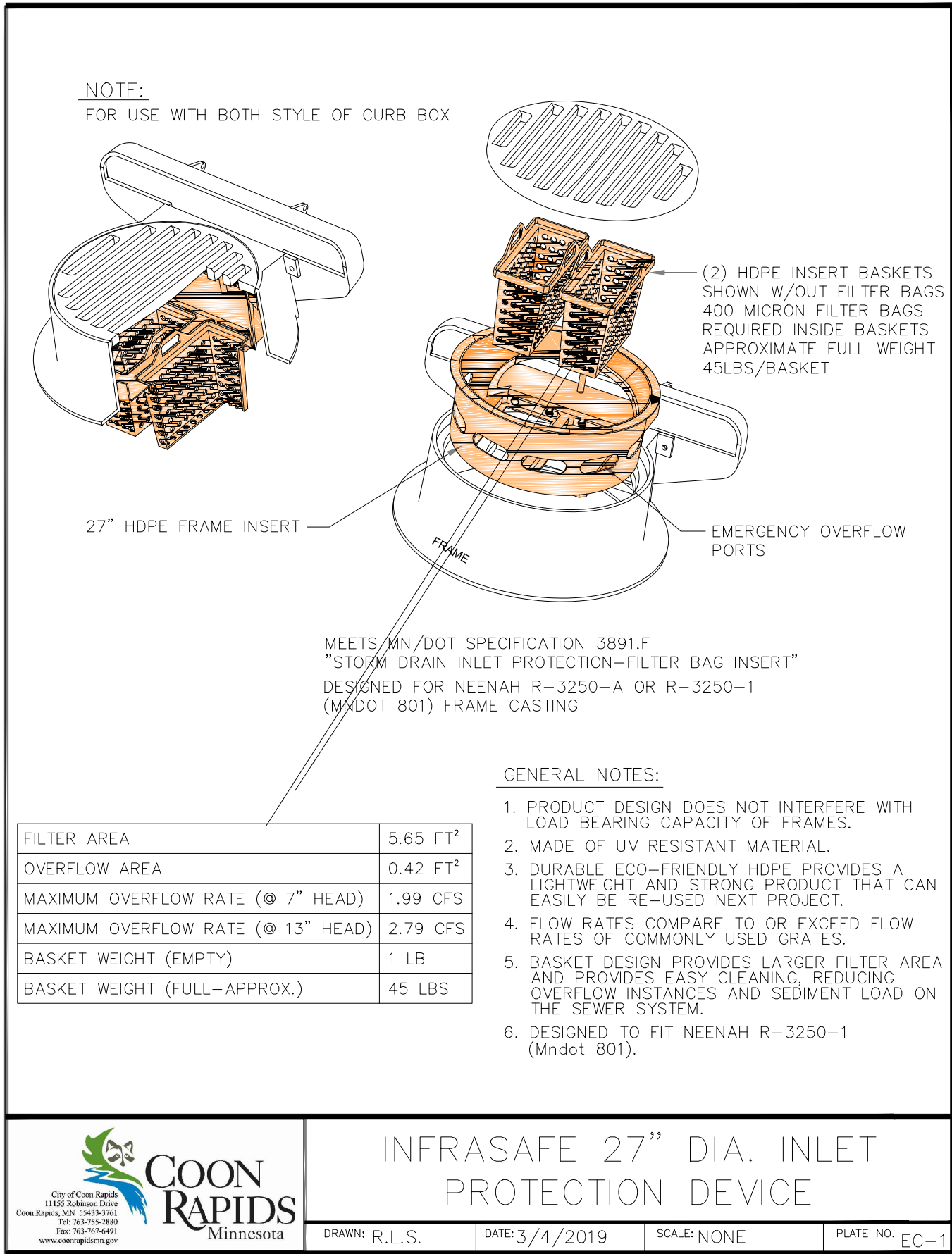
VALUE HOMES
12301 CENTRAL AVE. NE, SUITE 101
BLAINE, MINNESOTA 55434

CEDARWOOD
9730 UNIVERSITY AVE. NW
COON RAPIDS, MINNESOTA

PROJECT: 90259A
SHEET NO. C2 of C8



F:\survey\auditors subdivision - enoka\05\9730 university ave\02 Engineering - 1111\1\01 CAD\05 Sheet Files\02 Details.dwg



DESIGNED BY:	JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	04.13.23	CLIENT COMMENTS
DRAWN BY:	JPF			
CHECKED BY:	GRP	JEFFREY A. PRASCH, P.E.		
		DATE: 2.28.23	LIC. NO.: 52706	

	REVISIONS
04.13.23	CLIENT COMMENTS

DEMARC
LAND SURVEYING & ENGINEERING
7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.3093 FAX: 763.560.3522
www.DemarcInc.com

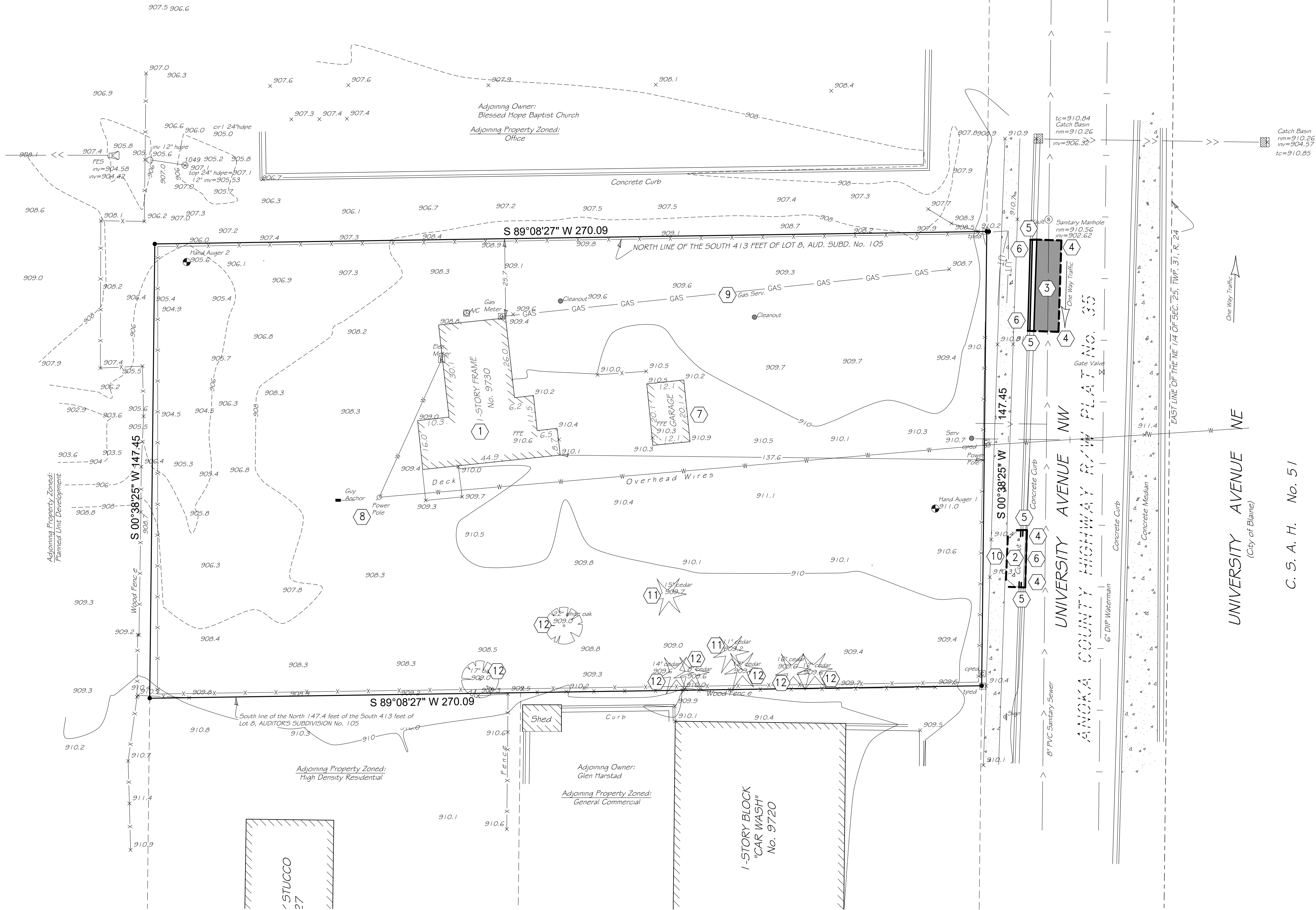
VALUE HOMES
12301 CENTRAL AVE. NE, SUITE 101
BLAINE, MINNESOTA 55434

CEDARWOOD
9730 UNIVERSITY AVE. NW
COON RAPIDS, MINNESOTA

DETAILS

PROJECT: 90259A
SHEET NO. C4 of C8

F:\survey\auditors subdivision - anoka\05\9730 university ave\02 Engineering - 1111\1\01 CAD\05 Sheet Files\03 Existing Conditions & Removals Planning.dwg

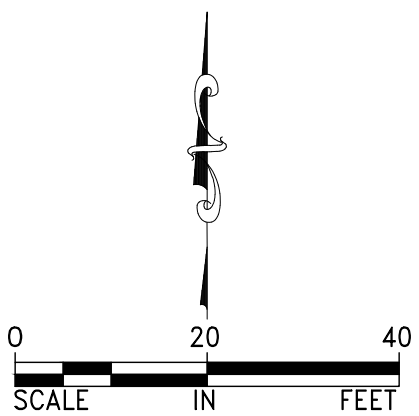


REFERENCE NOTES:

- 1 REMOVE BUILDING
- 2 REMOVE CONCRETE PAVEMENT (FULL DEPTH)
- 3 REMOVE AND PATCH BITUMINOUS PAVEMENT (MATCH EXISTING PAVEMENT SECTION)
- 4 SAWCUT BITUMINOUS PAVEMENT (FULL DEPTH)
- 5 SAWCUT CONCRETE CURB & GUTTER (FULL DEPTH)
- 6 REMOVE CONCRETE CURB & GUTTER
- 7 REMOVE GARAGE
- 8 RELOCATE POWER POLE AND OVERHEAD WIRES (COORDINATE WITH UTILITY COMPANY)
- 9 RELOCATE GAS LINE (COORDINATE WITH UTILITY COMPANY)
- 10 PROTECT SIDEWALK
- 11 REMOVE TREE
- 12 PROTECT TREE

LEGEND

- EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING BUILDING
- REMOVE CURB & GUTTER
- EXISTING STORM SEWER
- EXISTING CONCRETE
- EXISTING WATERMAIN
- REMOVE BITUMINOUS PAVEMENT
- EXISTING HYDRANT
- EXISTING SANITARY MANHOLE
- SAWCUT PAVEMENT



DESIGNED BY:	JAP
DRAWN BY:	JPF
CHECKED BY:	GRP
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	
PRELIMINARY	
JEFFREY A. PRASCH, P.E.	
DATE: 2.28.23	LIC. NO.: 52706

REVISIONS	
04.13.23	CLIENT COMMENTS
05.15.23	COUNTY COMMENTS

DEMARC
LAND SURVEYING & ENGINEERING
7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.3093 FAX: 763.560.3522
www.DemarcInc.com

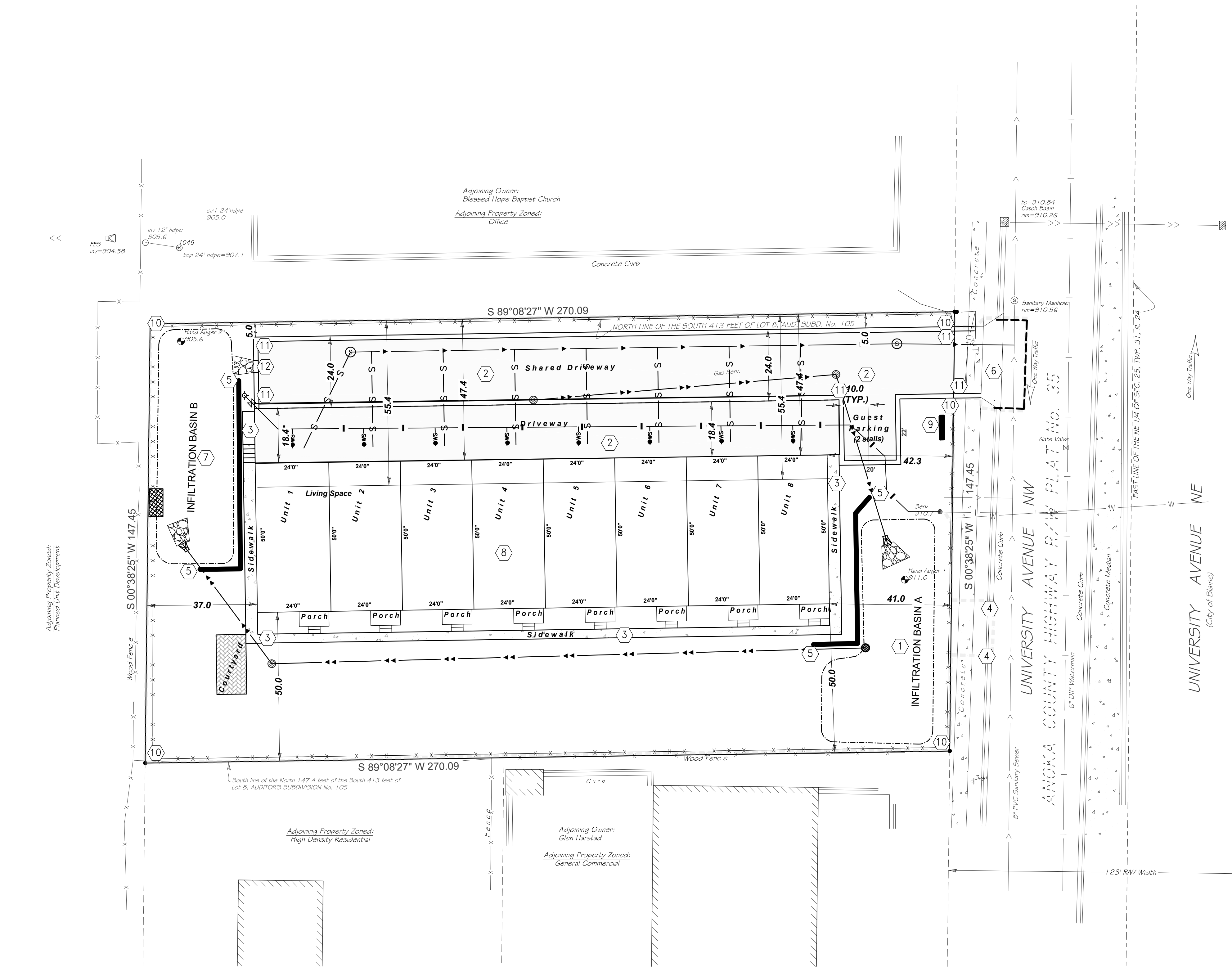
VALUE HOMES
12301 CENTRAL AVE. NE, SUITE 101
BLAINE, MINNESOTA 55434
612.481.7841

CEDARWOOD
9730 UNIVERSITY AVE. NW
COON RAPIDS, MINNESOTA

EXISTING CONDITIONS &
REMOVALS PLAN

PROJECT: 90259A
SHEET NO.
C5 OF C8

F:\survey\auditors subdivision - anoka\05\9730 university ave\02 Engineering - 1111\1\01 CAD\05 Sheet Files\04 Site Plan.dwg

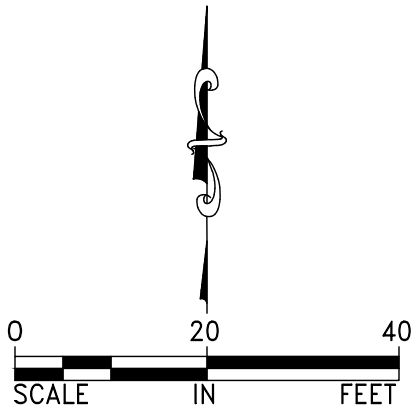


- REFERENCE NOTES:
- INFILTRATION BASIN "A" PER 1/C2 AND 2/C2
 - BITUMINOUS PAVEMENT PER 5/C2
 - CONCRETE SIDEWALK PER 6/C2
 - B618 CURB & GUTTER PER STR-2 ON C3 (MATCH EXISTING)
 - MAXIMUM 4 FT HIGH WALL PER 4/C4 (BLOCK OR APPROVED EQUAL)
 - DRIVEWAY ENTRY PER STR-10 ON C2
 - INFILTRATION BASIN "B" PER 3/C2 AND 4/C2
 - PROPOSED BUILDING (SEE ARCHITECTURAL PLANS)
 - MONUMENT SIGN (SEE ARCHITECTURAL PLANS)
 - 6' FENCE
 - SURMOUNTABLE CURB PER STR-3 ON C4
 - 4' WIDE CURB CUT WITH RANDOM RIPRAP CL III

SITE DATA:

LOT AREA = 0.91 ACRES
DISTURBED AREA = 0.93 ACRES
EXISTING IMPERVIOUS AREA = 0.04 ACRES
EXISTING PERVIOUS AREA = 0.87 ACRES
PROPOSED IMPERVIOUS AREA = 0.48 ACRES
PROPOSED PERVIOUS AREA = 0.43 ACRES
BUILDING COVERAGE = 0.22 ACRES = 24.11%

- LEGEND**
- EXISTING BUILDING
 - EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING CONCRETE
 - PROPOSED CONCRETE
 - PROPOSED BITUMINOUS PAVEMENT
 - EXISTING FENCE
 - EXISTING SIGN
 - PROPOSED PARKING STRIPE



DESIGNED BY: JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. PRELIMINARY JEFFREY A. PRASCH, P.E. DATE: 2.28.23 LIC. NO.: 52706	REVISIONS	
DRAWN BY: JPF		04.13.23	CLIENT COMMENTS
CHECKED BY:		05.15.23	COUNTY COMMENTS
GRP			

DEMARC
LAND SURVEYING & ENGINEERING
7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.3093 FAX: 763.560.3522
www.DemarcInc.com

VALUE HOMES
12301 CENTRAL AVE. NE, SUITE 101
BLAINE, MINNESOTA 55434
612.481.7841

CEDARWOOD
9730 UNIVERSITY AVE. NW
COON RAPIDS, MINNESOTA

SITE PLAN

PROJECT: 90259A
SHEET NO.
C6 OF C8

F:\survey\auditors subdivision - enoka\05\9730 university ave\02 Engineering - 1111\1\01 CAD\05 Sheet Files\05 Grading & Drainage Plan.dwg

DESIGNED BY:	JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. PRELIMINARY JEFFREY A. PRASCH, P.E. DATE: 2.28.23 LIC. NO.: 52706
DRAWN BY:	JPF	
CHECKED BY:	GRP	

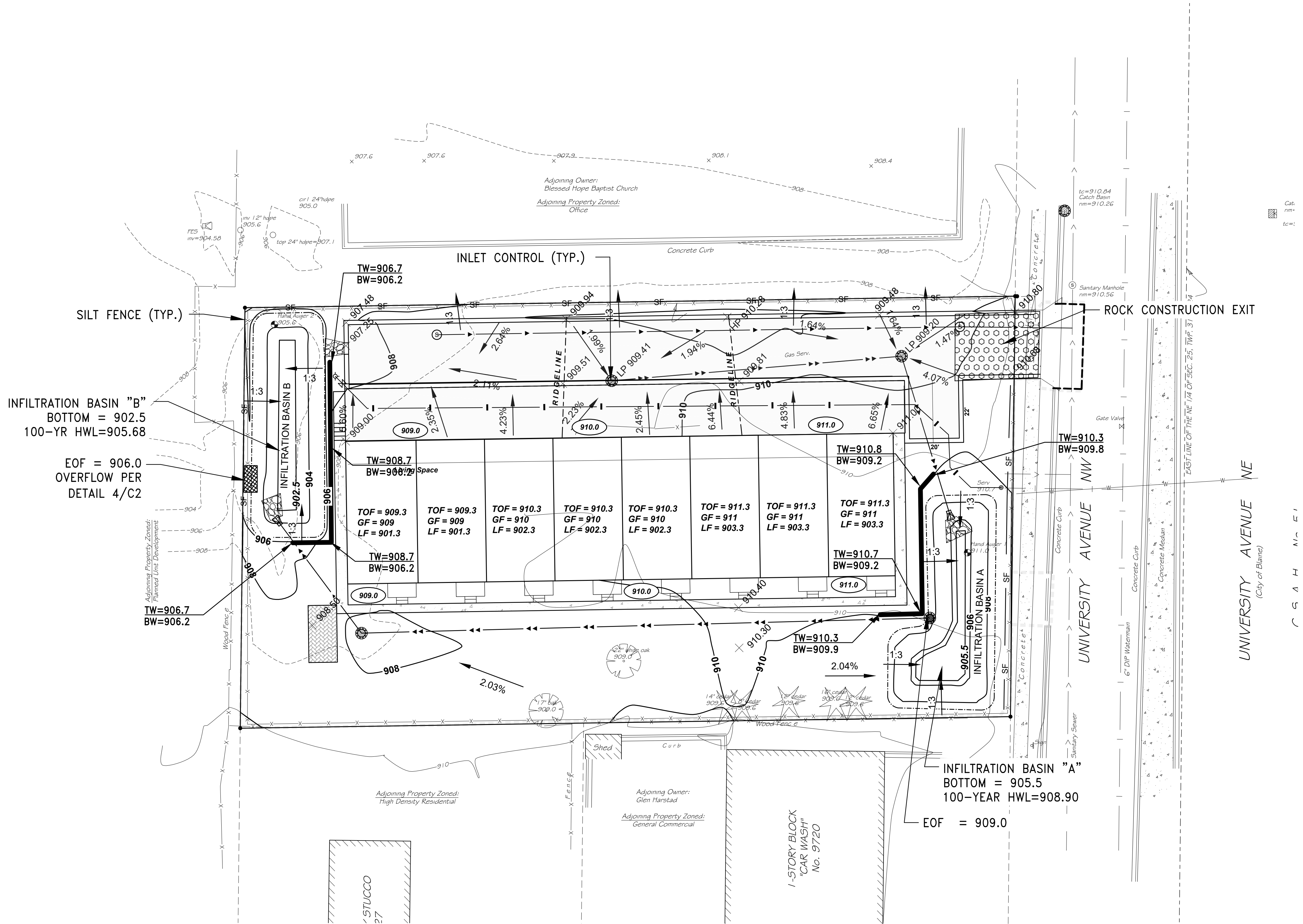
REVISIONS	
04.13.23	CLIENT COMMENTS

DEMARC
LAND SURVEYING & ENGINEERING
7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.3093 FAX: 763.560.3522
www.DemarcInc.com

VALUE HOMES
12301 CENTRAL AVE. NE, SUITE 101
BLAINE, MINNESOTA 55434
612.481.7841

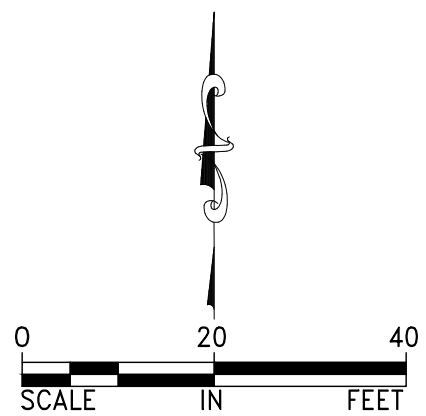
CEDARWOOD
9730 UNIVERSITY AVE. NW
COON RAPIDS, MINNESOTA

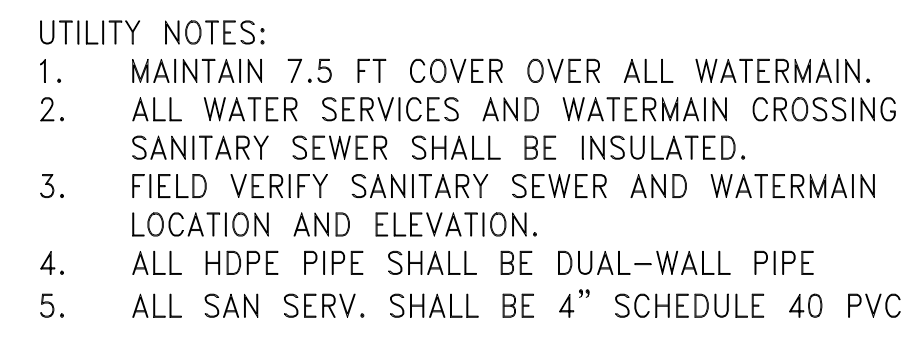
GRADING & EROSION CONTROL PLAN	
PROJECT: 90259A	SHEET NO. C7 OF C8



- GENERAL CONSTRUCTION AND SOILS NOTES:
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES, LAWS AND ORDINANCES.
 - THE CITY OF COON RAPID'S STANDARD SPECIFICATIONS FOR STREET AND UTILITY CONSTRUCTION SHALL GOVERN FOR ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.
 - THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL APPLY.
 - THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR FOLLOWING ALL APPLICABLE OSHA STANDARDS.
 - IF UTILITY RELOCATION IS NECESSARY, THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES.
 - MATERIAL UNSUITABLE FOR CONSTRUCTION (E.G. TOPSOIL, SILTS, ORGANIC MATERIALS, PEATS, DEBRIS, ETC.) ENCOUNTERED DURING EXCAVATION WITHIN THE PARKING LOT AND BUILDING PAD AREAS SHALL BE REMOVED AND PROPERLY DISCARDED.
 - GRADING SHALL BE CONSTRUCTED WITH SUITABLE MATERIAL AND IN LOOSE LIFTS NO THICKER THAN TWELVE (12) INCHES. COMPACTION WITHIN THE DRIVEWAY AND BUILDING PAD SHALL BE COMPACTED TO 100% OF THE MAXIMUM STANDARD PROCTOR DENSITY.
 - TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS TOPSOIL IN GREEN SPACES DISTURBED DUE TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF BITUMINOUS AND CONCRETE MATERIALS DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH MNDOT SPEC 2104.3.
 - ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE IN A MANNER ACCEPTABLE TO THE OWNER AND ALL GOVERNING REGULATIONS.
 - CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND CALL GOPHER STATE ONE CALL 48 HOURS PRIOR TO CONSTRUCTION WORK. EXISTING UTILITIES SHOWN ON THESE PLANS ARE ONLY APPROXIMATE AND MAY NOT BE RELIED UPON AS EXACT OR COMPLETE.

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING BUILDING
 - PROPOSED CONSTRUCTION/GRADING LIMITS
 - EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING WATERMAIN
 - PROPOSED WATERMAIN
 - EXISTING BITUMINOUS PAVEMENT
 - PROPOSED BITUMINOUS PAVEMENT
 - EXISTING HYDRANT
 - PROPOSED HYDRANT
 - PROPOSED GATE VALVE
 - EXISTING SANITARY MANHOLE
 - PROPOSED SLOPE
 - PROPOSED HIGH POINT
 - PROPOSED MATCH POINT
 - PROPOSED LOW POINT
 - PROPOSED GUTTER LINE OR FINISHED GROUND ELEVATION
 - PROPOSED RIDGELINE
 - PROPOSED INLET PROTECTION
 - PROPOSED SILT FENCE
 - PROPOSED ROCK CONSTRUCTION EXIT

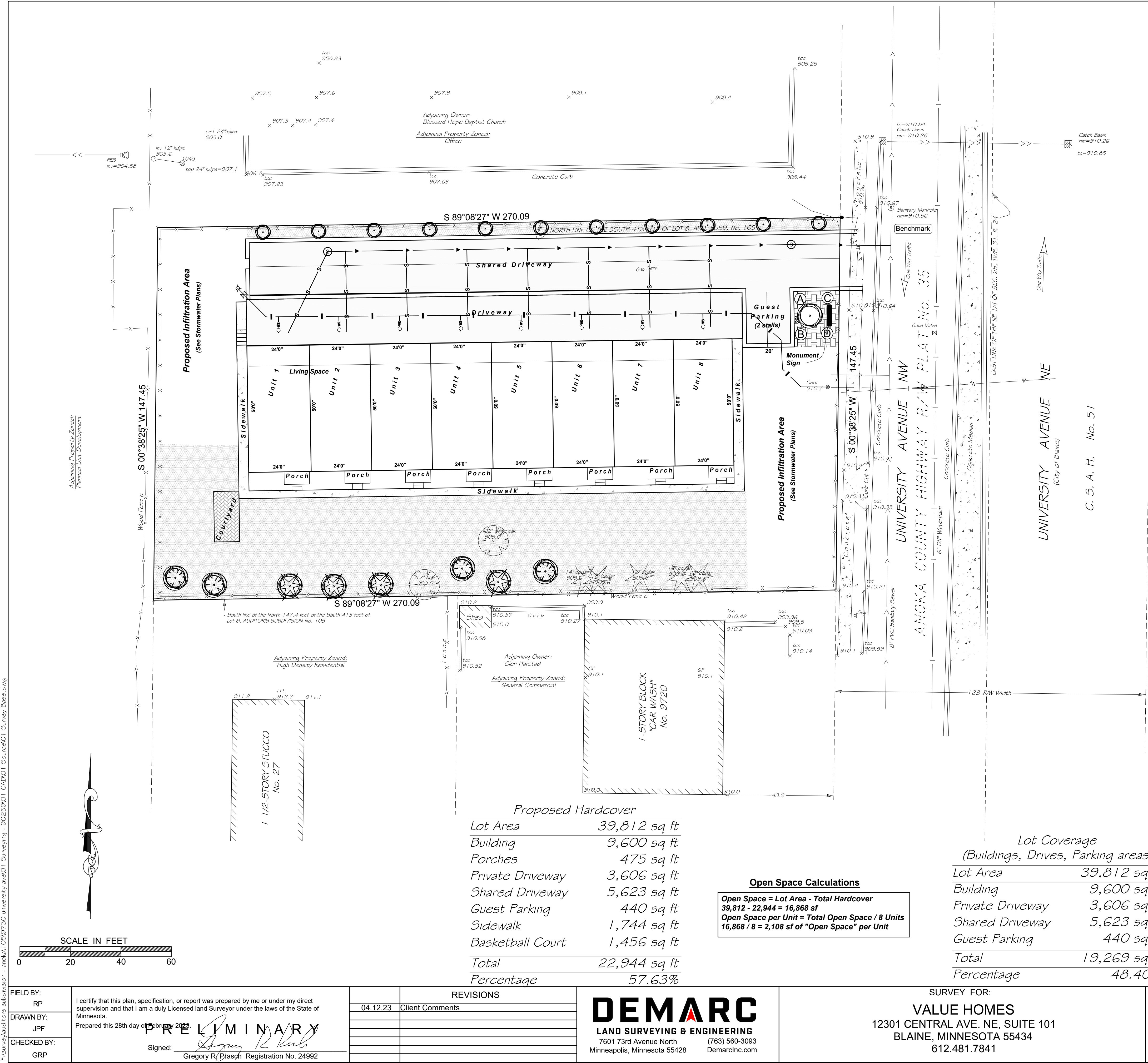




A horizontal graphic scale bar with three segments. The first segment is white, the second is black, and the third is white. Below the bar are the labels "0", "20", and "40". Below "0" is the word "SCALE". Below "20" is the word "IN". Below "40" is the word "FEET".

PROJECT: 90259A
SHEET NO. C8 OF C8

Fl:\survey\auditions subdivision - anoka\05\9730 university ave\01 Surveying - 90259\01 CAD\01 Source\01 Survey Base.dwg



Legend

● Denotes Found Iron Monument

○ Denotes Iron Monument Set

⊙ Power Pole

⊗ Catch Basin

⊕ Water Valve

Proposed Blackhill Spruce (5)

Proposed Sod with Sprinkler System

GAS Gas Main

UT Underground Communications

UE Underground Electric

< Sanitary Sewer

<< Storm Sewer

I Watermain

W Overhead Wires

⊞ Communication Pedestal Riser

⊞ Telephone Pedestal Riser

⊞ Gas Meter

⊞ Flared End Section

⊞ Denotes Existing Elevation

Proposed Japanese Lylac (11)

Existing Coniferous Tree to Remain

Existing Deciduous Tree to Remain

Proposed Maple (4)

Zoning Information

Property Currently Zoned: (LDR 1) Low Density Residential District (single family housing)

Zoning Ordinance Requirements:

Building Setbacks - principal structure

Front - 40 feet

Side Yard - 15 feet (10 feet for garage)

Rear Yard - 50 feet

See City code for specifics regarding balconies, decks & porches.

Maximum Building Height - 35 feet

Minimum Finished Floor Area - 1,200 sq.ft

Maximum lot area to be covered by impervious surface - 20%

Minimum number of parking stalls per unit - 3

Refer to City code for additional requirements, exceptions and modifications.

Miscellaneous Notes

① Property Address: 9730 University Ave. NW, Coon Rapids, MN 5548
PID No.: 25-31-24-14-0005

② Area of Parcel = 39,812 sq. ft.

③ By graphic interpretation only, this property is in Flood Zone "X" (area of minimal flooding) per FEMA panel map number 27003C0319E, effective on 12/16/2015

④ Title insurance commitment showing property description and any legal encumbrances of record not provided, survey subject to change.
The only easements shown are from plats of record or information provided by client.

⑤ Property located in Section 25, Township 32, Range 24, Anoka County, Minnesota.

⑥ Benchmark: Invert of manhole on University Ave. at the NE corner of property as shown. Information per maps from City of Coon Rapids
Elevation = 902.62 feet

⑦ Heavy snow cover on site at time of survey, some improvements may not have been visible.

Landscape Detail (no scale)

Typical Unit

A Dogwood x 9 (1 Per Unit + Sign Area)

B Hydrangea x 9 (1 Per Unit + Sign Area)

C Barberry x 9 (1 Per Unit + Sign Area)

D Spirea x 9 (1 Per Unit + Sign Area)

Decorative Mulch With Irrigation for Plants

Legal Description

The North 147.40 feet of the South 413 feet of Lot 8, Auditor's Subdivision No. 105, Anoka County, Minnesota.
Subject to road.

FIELD BY: RP	I certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. Prepared this 28th day of February, 2025.	REVISIONS		DEMARC LAND SURVEYING & ENGINEERING 7601 73rd Avenue North (763) 560-3093 Minneapolis, Minnesota 55428 DemarcInc.com	SURVEY FOR: VALUE HOMES 12301 CENTRAL AVE. NE, SUITE 101 BLAINE, MINNESOTA 55434 612.481.7841	CEDARWOOD 9730 UNIVERSITY AVE. NW COON RAPIDS, MINNESOTA	LANDSCAPE PLAN	PROJECT: 90259A
DRAWN BY: JPF		04.12.23	Client Comments					FB No: 1128-54
CHECKED BY: GRP								SHEET NO.

SCALE IN FEET

0 20 40 60

FIELD BY: RP

DRAWN BY: JPF

CHECKED BY: GRP

Signed: Gregory R. Prasch

Registration No. 24992

PRELIMINARY

L1 OF L1