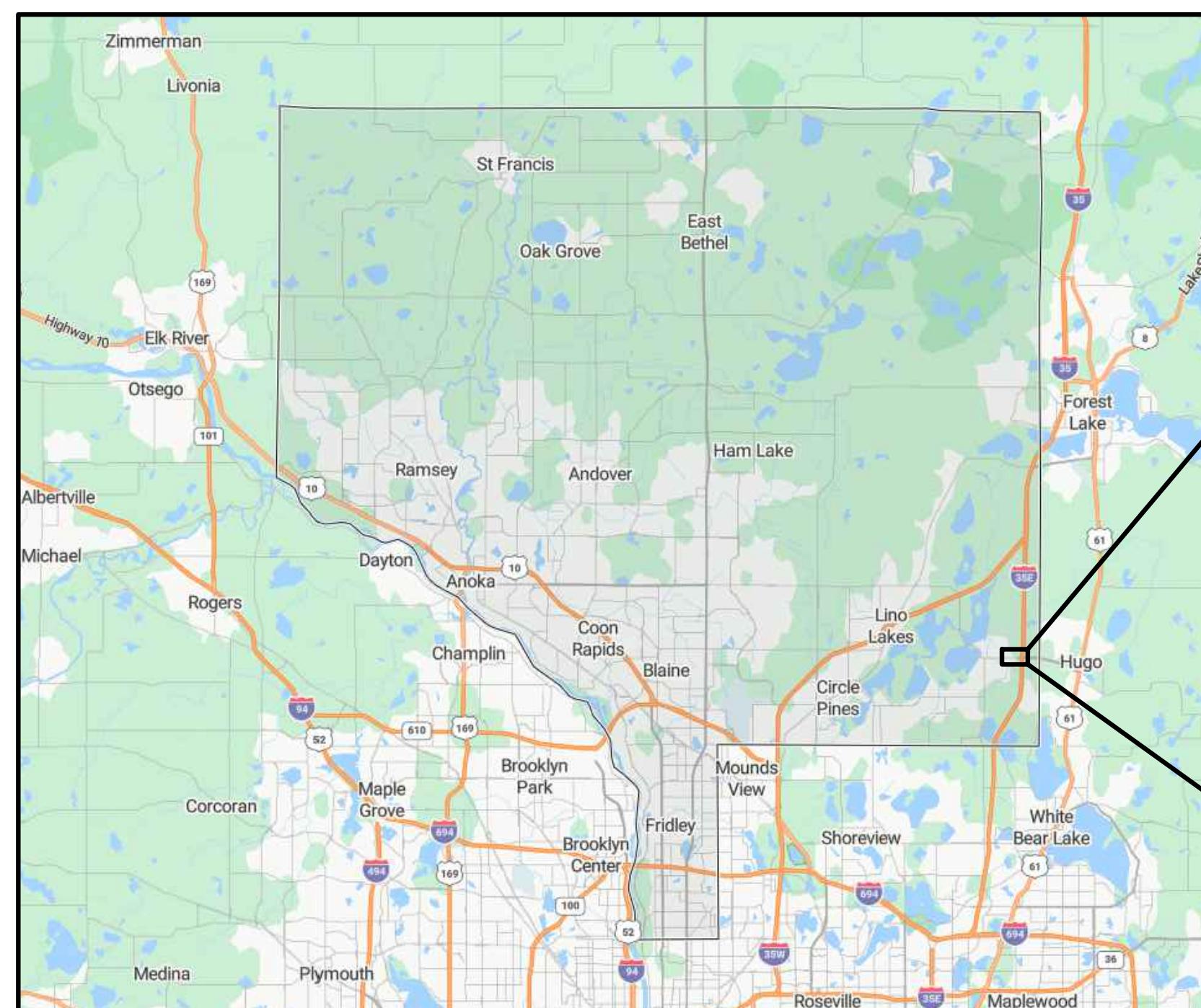


CHIPOTLE RESTAURANT CAPITAL REAL ESTATE

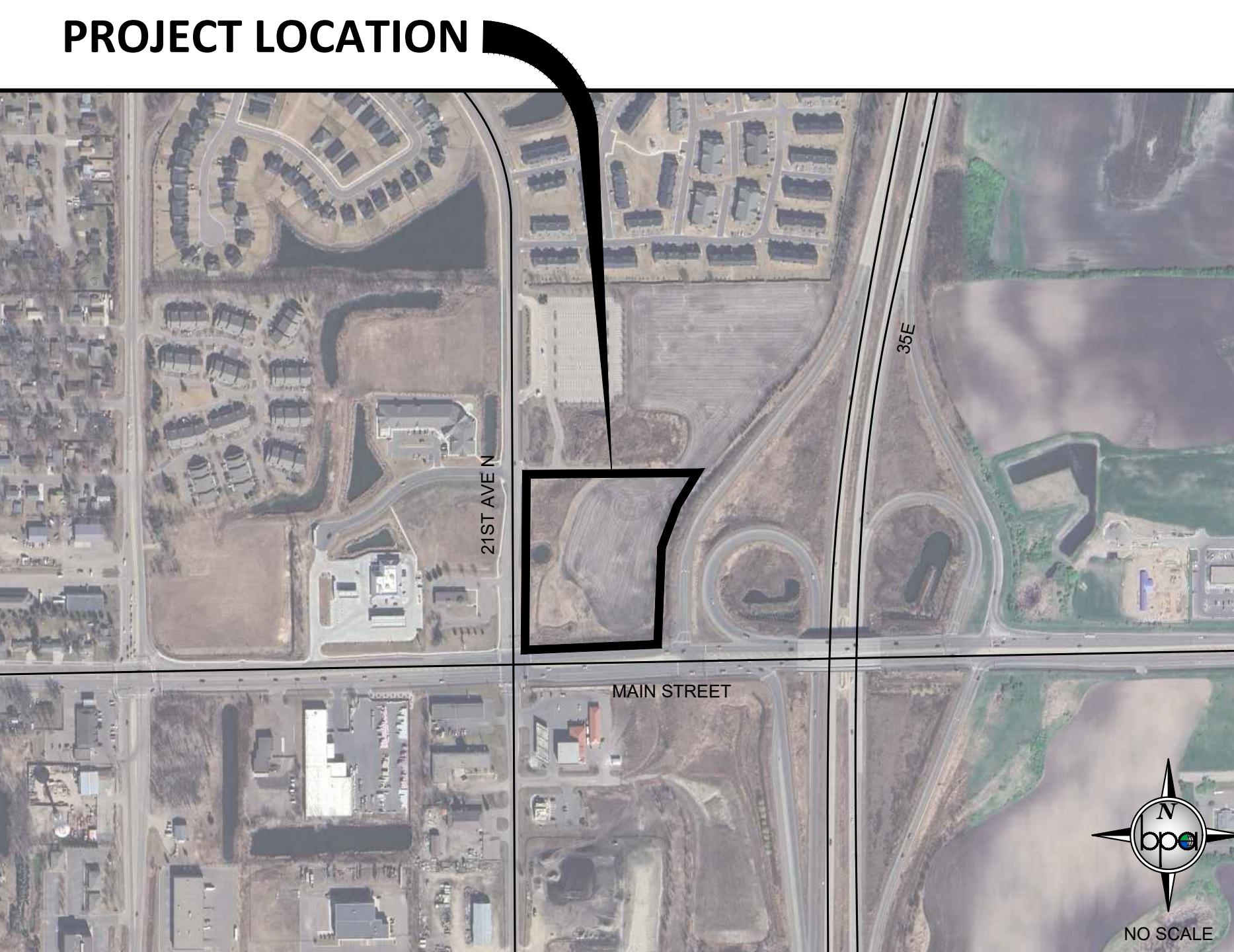
21ST AVE N CITY OF LINO LAKES, ANOKA COUNTY, MN

AUGUST, 2025 PRELIMINARY PLANS

CIVIL & SURVEY PLANS PREPARED BY:



ANOKA COUNTY, MINNESOTA

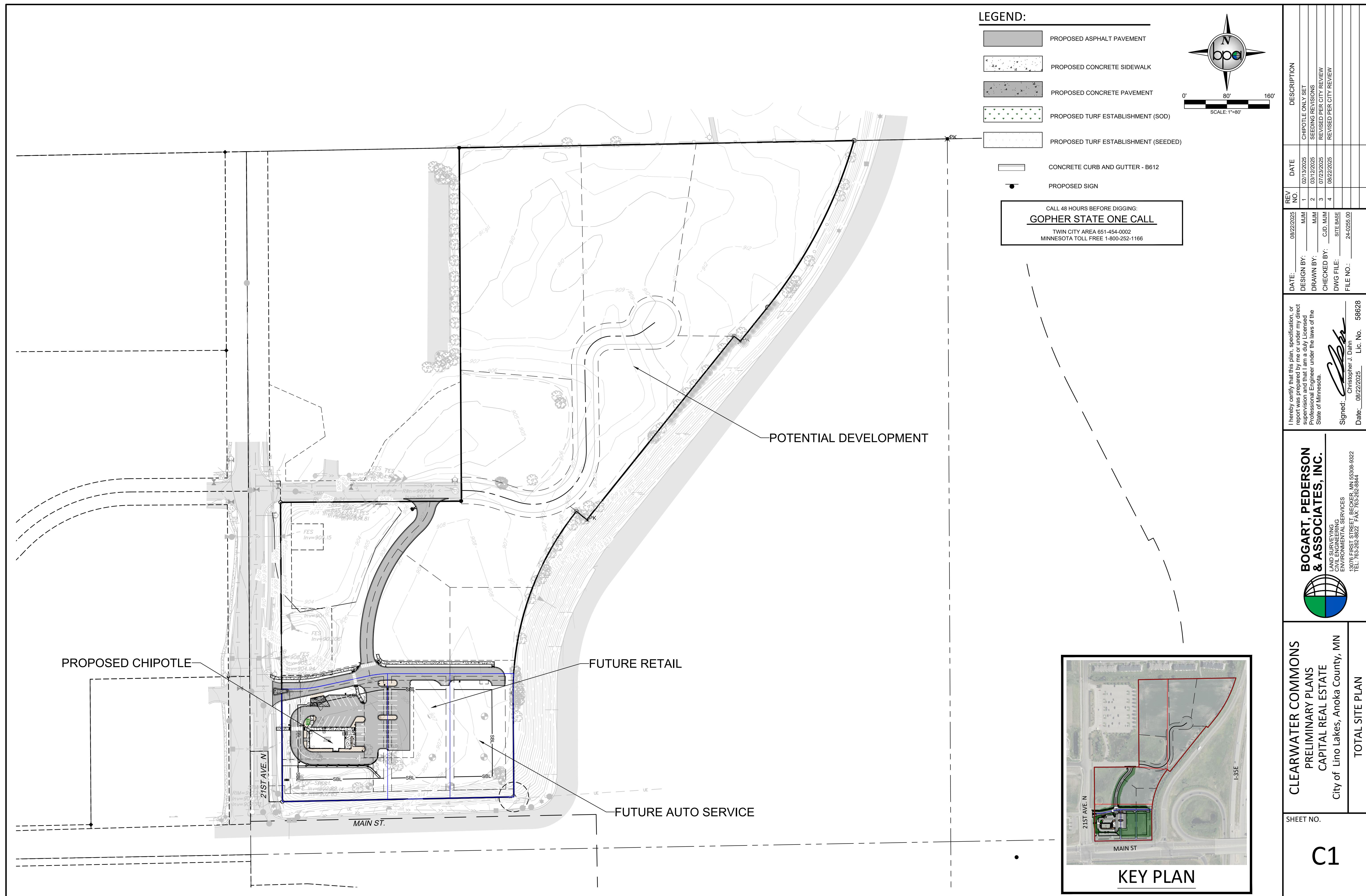


VICINITY MAP

Sheet List Table	
Sheet Number	Sheet Title
--	Cover
C1	Total Site Plan
C2	Phasing Plan
C3	South Site Plan
C4	North Site Plan
C5	South Grading Plan
C6	North Grading Plan
C7	South Utility Plan
C8	North Utility Plan
C9	South Erosion Control Plan
C10	North Erosion Control Plan
C11	SWPPP Narrative
C12	South Landscape Plan
C13	North Landscape Plan
C14	Tree Preservation Plan
C15	Car Stacking
C16	Wetland Mitigation Plan
C17	Details
C18	Details
C19	Details
C20	Details
C21	Details
C22	Details
C23	Details
C24	Details
C25	Traffic Control Plan

REV NO.	DATE	DESCRIPTION
1	02/13/2025	CHIPOTLE ONLY SET
2	03/12/2025	SEEDING REVISIONS
3	07/23/2025	REVISED PER CITY REVIEW
4	08/22/2025	REVISED PER CITY REVIEW

PRIVATE UTILITIES SHOWN ARE QUALITY LEVEL D
QUALITY LEVEL D PROVIDES THE MOST BASIC LEVEL OF INFORMATION. IT INVOLVES
COLLECTING DATA FROM EXISTING UTILITY RECORDS. RECORDS MAY INCLUDE AS-BUILT
DRAWINGS, DISTRIBUTION AND SERVICES MAPS, EXISTING GEOGRAPHIC INFORMATION
SYSTEM DATABASES, CONSTRUCTION PLANS, ETC.



SITE PLAN NOTES:

- PAINTED PAVEMENT MARKING DIMENSIONS ARE SHOWN TO FACE OF CURB. ALL OTHER DIMENSIONS ARE SHOWN TO BACK OF CURB.
- ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING STALLS TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
- SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE CITY.
- LANDSCAPING AND TURF ESTABLISHMENT PER LANDSCAPE PLANS & SPECIFICATIONS.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE AGLIME, SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEDED OR SODDED. REFER TO THE EROSION CONTROL PLAN FOR SOD AND SEED LOCATIONS. ALL OTHER AREAS DISTURBED BY CONSTRUCTION NOT SPECIFICALLY IDENTIFIED TO RECEIVE A CERTAIN SEED MIX SHALL BE MIXED WITH SEED MIX 25-131.
- WHERE NEW SOD MEETS EXISTING SOD, EXISTING SOD EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.

SITE PLAN INFORMATION:

PRINCIPAL STRUCTURE SETBACKS:

- FRONT: 40'
- SIDE: 7.5'
- REAR: 40'

SITE DATA

PROPOSED
DRIVABLE PAVEMENT AREA 64,648 SF
WALKABLE PAVEMENT AREA 4,690 SF
BUILDING AREA 6,405 SF

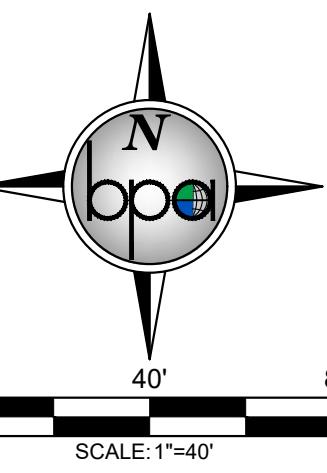
PARKING REQUIREMENTS:

- MINIMUM PARKING STALL DIMENSIONS: 18' X 9' (90° PARKING)
- PARKING STALLS: 66
- TOTAL STALLS PROVIDED: 66
- TOTAL ADA STALLS PROVIDED: 5 (5 VAN ACCESSIBLE)

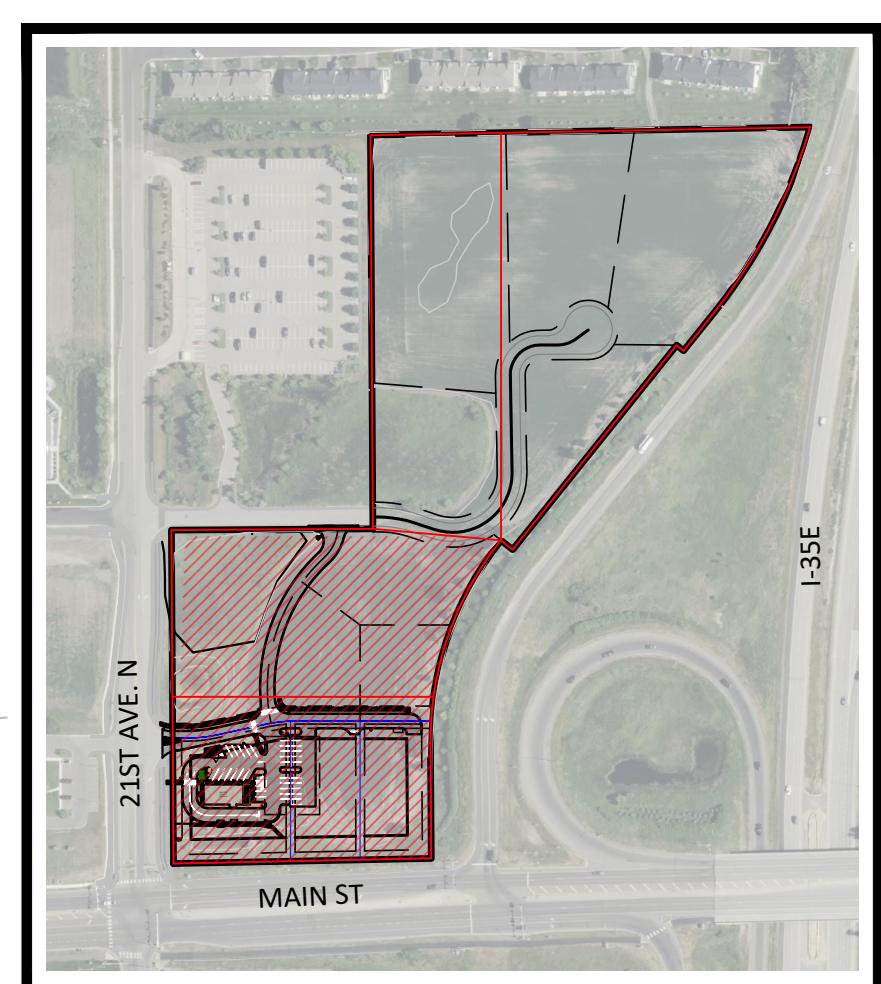
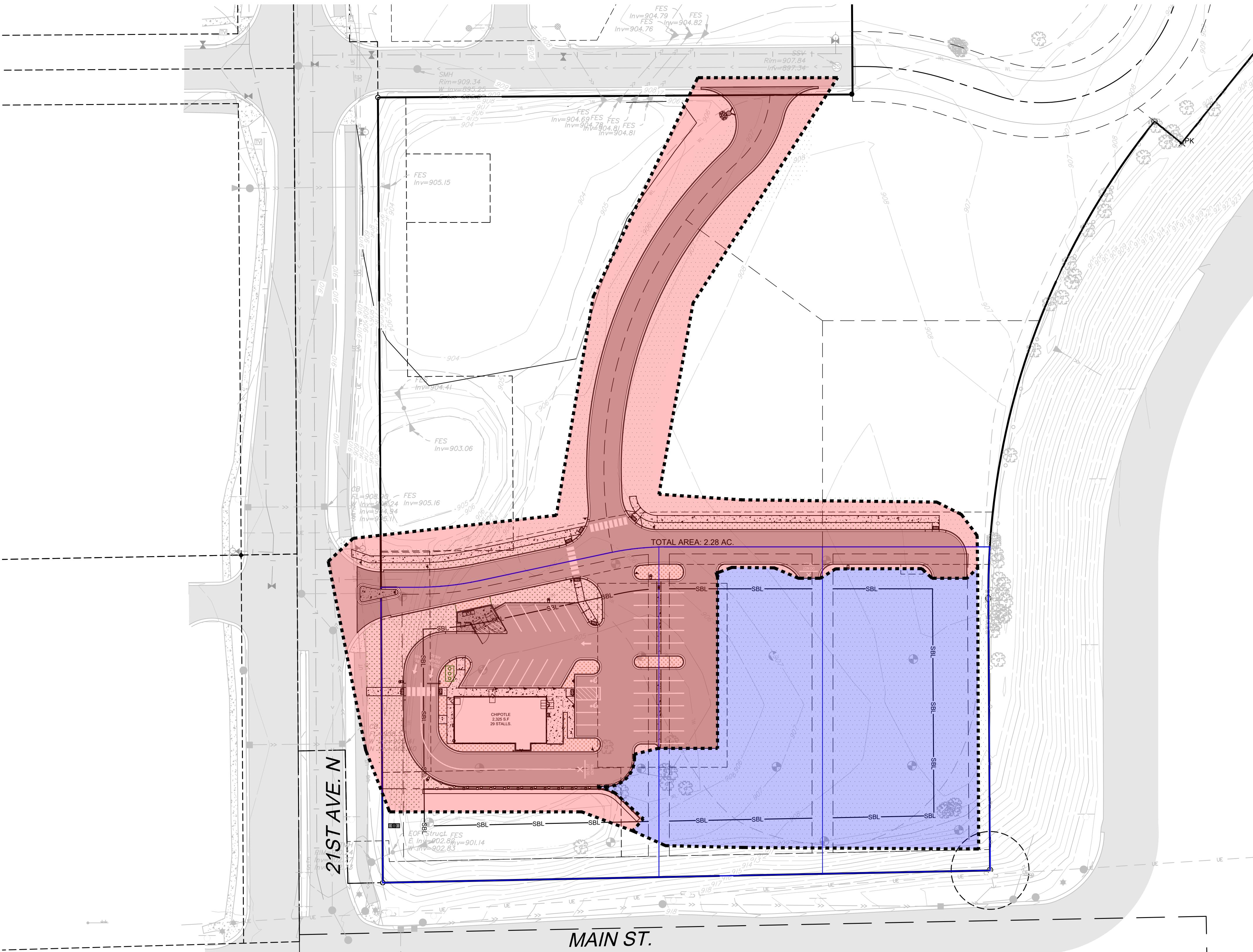
CHIPOTLE PARKING CALCULATIONS (VERIFY)
DINING ROOM AREA=1,500 SF ± (15 STALLS)
MAX. EMPLOYEE=10 (10 STALLS)
25 PARKING STALLS NEEDED

LEGEND:

-  PHASE 1 DEVELOPMENT
-  PHASE 2 PLANNED DEVELOPMENT



SCALE: 1"=40'



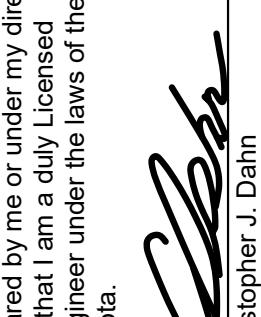
KEY PLAN

CLEARWATER COMMONS
PRELIMINARY PLANS
CAPITAL REAL ESTATE
City of Lino Lakes, Anoka County, MN
PHASING PLAN

SHEET NO.

C2

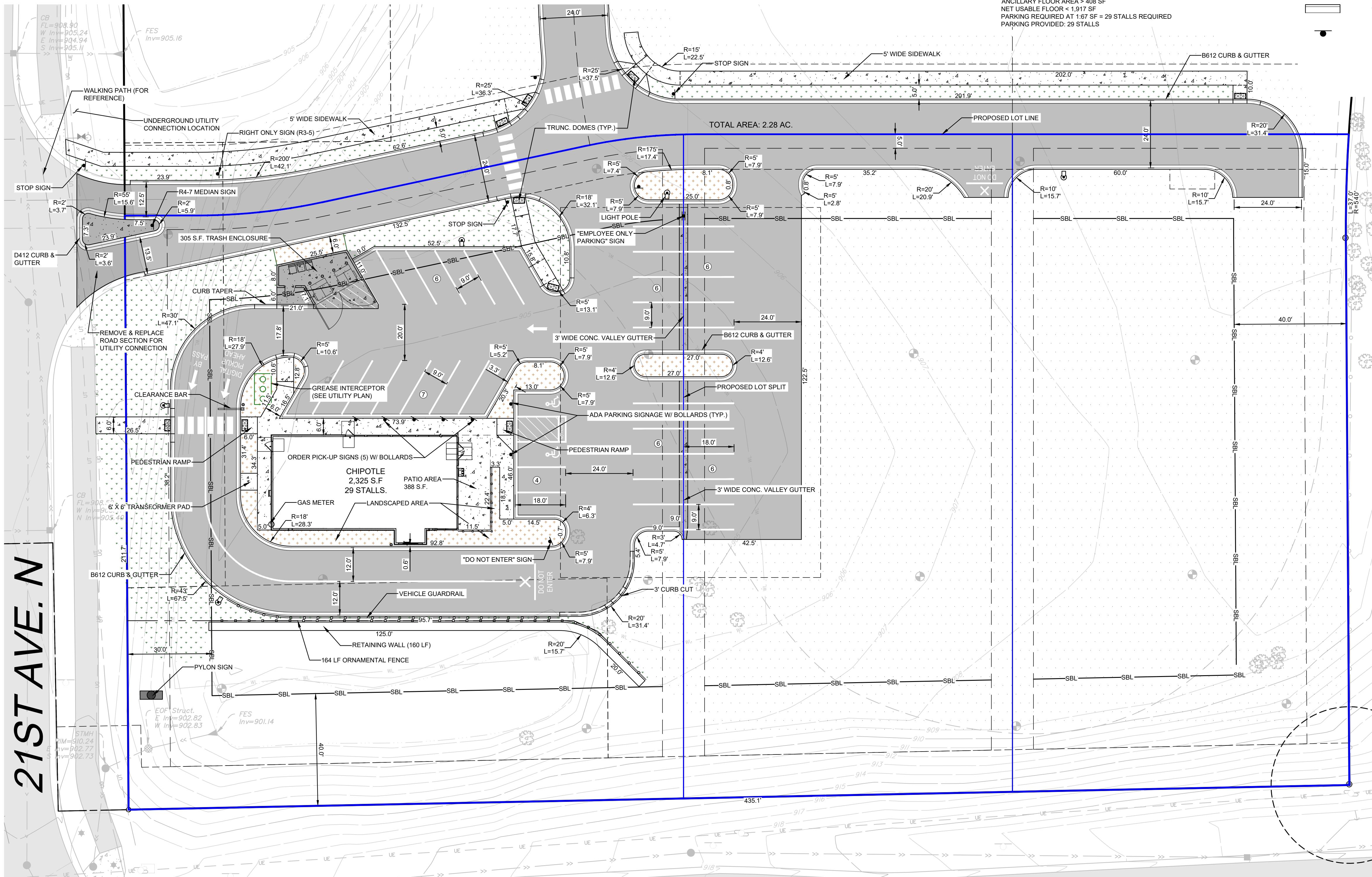
**BOGART, PEDERSON
& ASSOCIATES, INC.**
LAND SURVEYING
CIVIL ENGINEERING
ENVIRONMENTAL SERVICES
13076 THIS STREET BECKER, MN 56308-9322
TEL: 763-262-3622 FAX: 763-262-3644

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Signed: Christopher J. Dahn
Date: 08/22/2025
Lic. No. 56628

DATE:	REV. NO.	DATE	DESCRIPTION
08/22/2025	M.A.M.	02/13/2025	CHIPOTLE ONLY SET
		03/12/2025	SEEDING REVISIONS
	M.A.M.	07/23/2025	REVISED PER CITY REVIEW
	C.J.D. M.A.M.	08/22/2025	REVISED PER CITY REVIEW
24/225.00			

SITE PLAN NOTES:

- PAINTED PAVEMENT MARKING DIMENSIONS ARE SHOWN TO FACE OF CURB. ALL OTHER DIMENSIONS ARE SHOWN TO BACK OF CURB.
- ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING STALLS TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
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- WHERE NEW SOD MEETS EXISTING SOD, EXISTING SOD EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.



SITE PLAN INFORMATION:

PRINCIPAL STRUCTURE SETBACKS:

- FRONT: 40'
- SIDE: 7.5'
- REAR: 40'

SITE DATA:

PROPOSED
DRIVABLE PAVEMENT AREA 43,573 SF
WALKABLE PAVEMENT AREA 4,377 SF
BUILDING AREA 2,325 SF

CHIPOTLE LOT AREA 44,007 SF
IMPERVIOUS AREA 24,915 SF
IMPERVIOUS / PVIOUS % 56.6%

PARKING REQUIREMENTS:

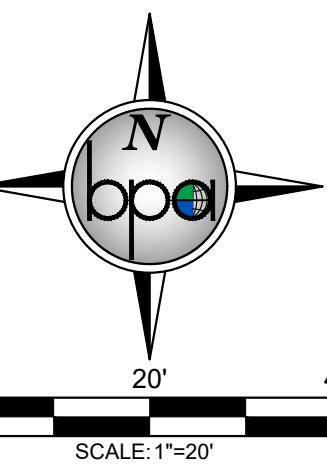
- MINIMUM PARKING STALL DIMENSIONS: 18' x 9' (90' PARKING)
- PARKING PROVIDED: 29
- TOTAL STALLS PROVIDED: 29 (CHIPOTLE) / 411 (TOTAL)
- TOTAL ADA STALLS PROVIDED: 2 (2 VAN ACCESSIBLE)

CHIPOTLE PARKING CALCULATIONS:

TOTAL BUILDING SIZE = 2,325 SF
ANCIILLARY FLOOR AREA = 408 SF
NET USABLE FLOOR < 1,917 SF
PARKING REQUIRED AT 1:67 SF = 29 STALLS REQUIRED
PARKING PROVIDED: 29 STALLS

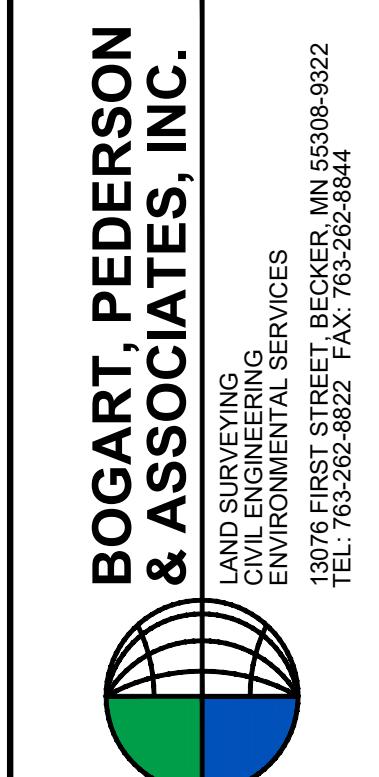
LEGEND:

	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	PROPOSED TURF ESTABLISHMENT (SOD)
	PROPOSED TURF ESTABLISHMENT (SEEDED)



DATE:	08/22/2025
DESIGN BY:	MAM
DRAWN BY:	MAM
CHECKED BY:	CJD, MAM
FILE BASE:	SITE BASE

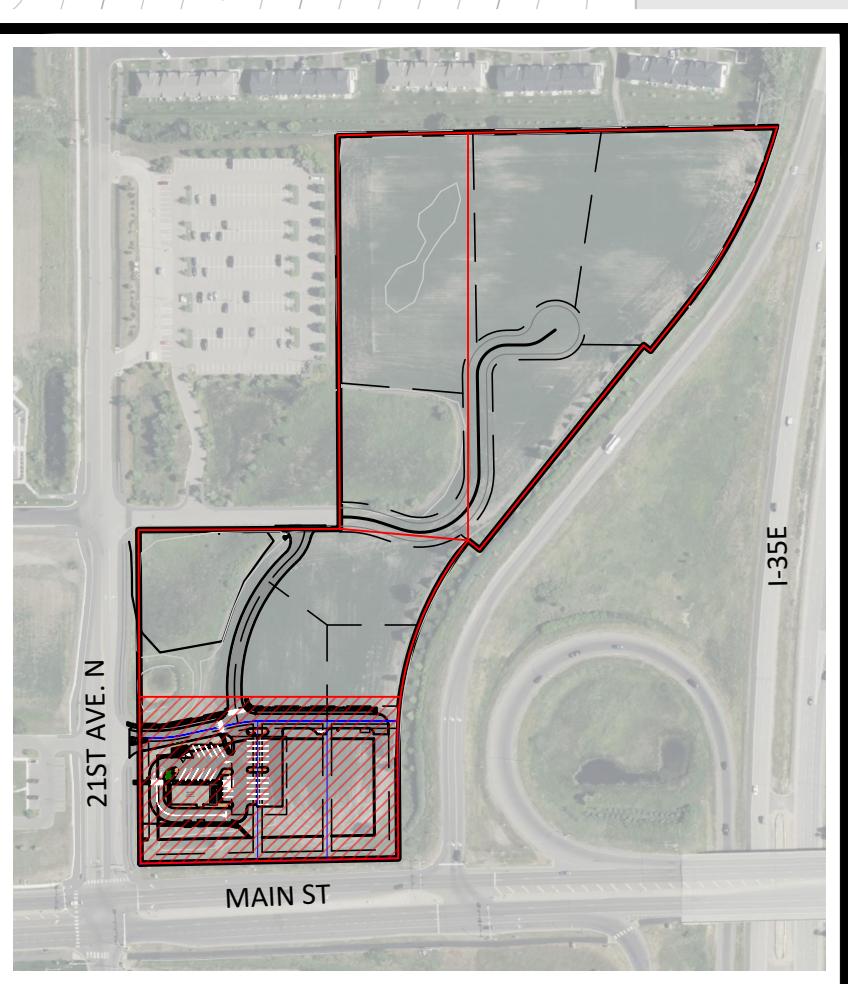
Christopher J. John
Date: 08/22/2025
Lic. No. 58628
Signed:



CLEARWATER COMMONS PRELIMINARY PLANS CAPITAL REAL ESTATE City of Lino Lakes, Anoka County, MN	
SOUTH SITE PLAN	

SHEET NO.

C3



KEY PLAN

SITE PLAN NOTES:

- PAINTED PAVEMENT MARKING DIMENSIONS ARE SHOWN TO FACE OF CURB. ALL OTHER DIMENSIONS ARE SHOWN TO BACK OF CURB.
- ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING STALLS TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
- SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE CITY.
- LANDSCAPING AND TURF ESTABLISHMENT PER LANDSCAPE PLANS & SPECIFICATIONS.
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SITE PLAN INFORMATION:

PRINCIPAL STRUCTURE SETBACKS:

- FRONT: 40'
- SIDE: 7.5'
- REAR: 40'

SITE DATA

PROPOSED
DRIVABLE PAVEMENT AREA 43,573 SF
WALKABLE PAVEMENT AREA 4,377 SF
BUILDING AREA 2,325 SF

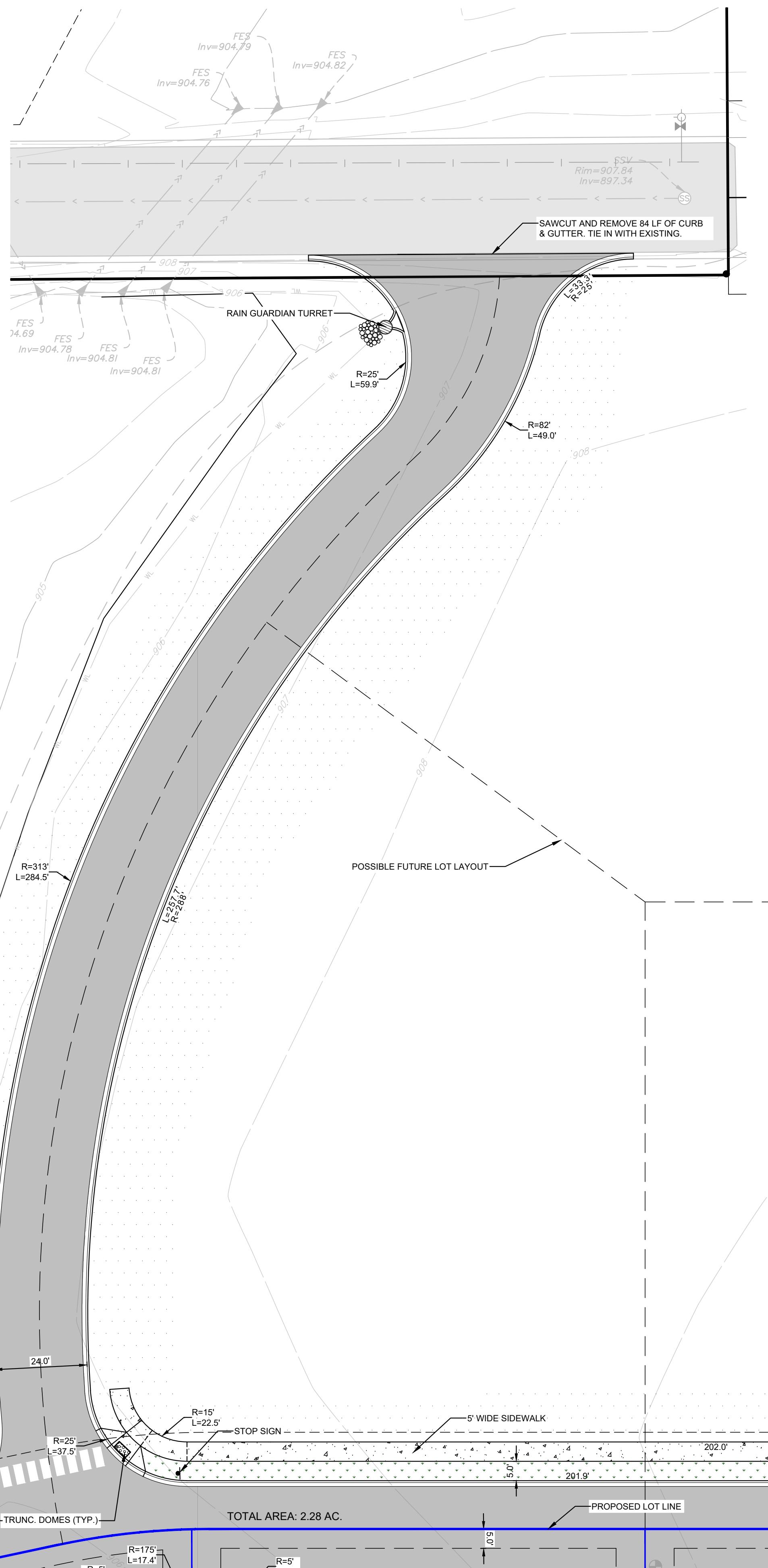
CHIPOTLE LOT AREA 44,007 SF
IMPERVIOUS AREA 24,915 SF
IMPERVIOUS / PERVIOUS % 56.6%

PARKING REQUIREMENTS:

- MINIMUM PARKING STALL DIMENSIONS: 18' X 9' (90° PARKING)
- PARKING STALLS: 29 (CHIPOTLE) / 41 (TOTAL)
- TOTAL STALLS PROVIDED: 2 (2 VAN ACCESSIBLE)

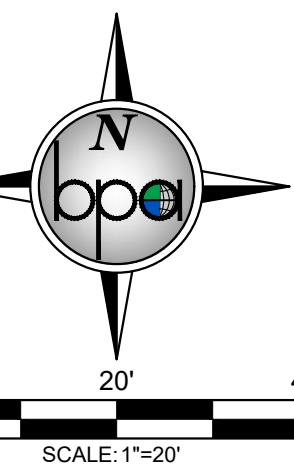
CHIPOTLE PARKING CALCULATIONS

TOTAL BUILDING SIZE = 2,325 SF
ANCILLARY FLOOR AREA > 408 SF
NET USABLE FLOOR > 1,917 SF
PARKING REQUIRED AT 18' SF = 29 STALLS REQUIRED
PARKING PROVIDED: 29 STALLS



LEGEND:

PROPOSED ASPHALT PAVEMENT
PROPOSED CONCRETE SIDEWALK
PROPOSED CONCRETE PAVEMENT
PROPOSED TURF ESTABLISHMENT (SOD)
PROPOSED TURF ESTABLISHMENT (SEEDED)
CONCRETE CURB AND GUTTER - B612
PROPOSED SIGN

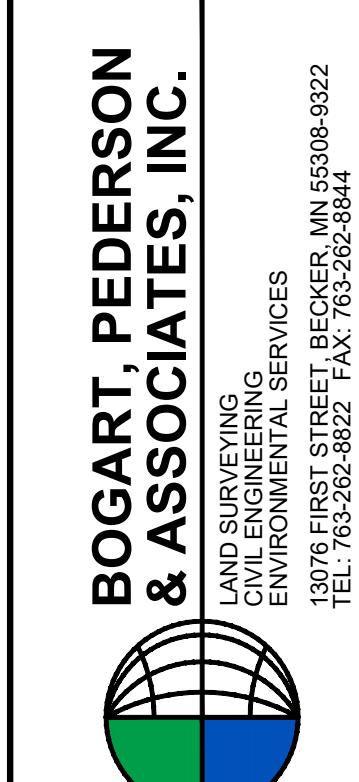


SCALE: 1=20'

CALL 48 HOURS BEFORE DIGGING:
GOPHER STATE ONE CALL
TWIN CITY AREA 651-454-0002
MINNESOTA TOLL FREE 1-800-252-1166

DATE:	REV. NO.	DATE
08/22/2025	M.A.M. 1	02/13/2025
		03/12/2025
		07/23/2025
		08/22/2025
		08/22/2025

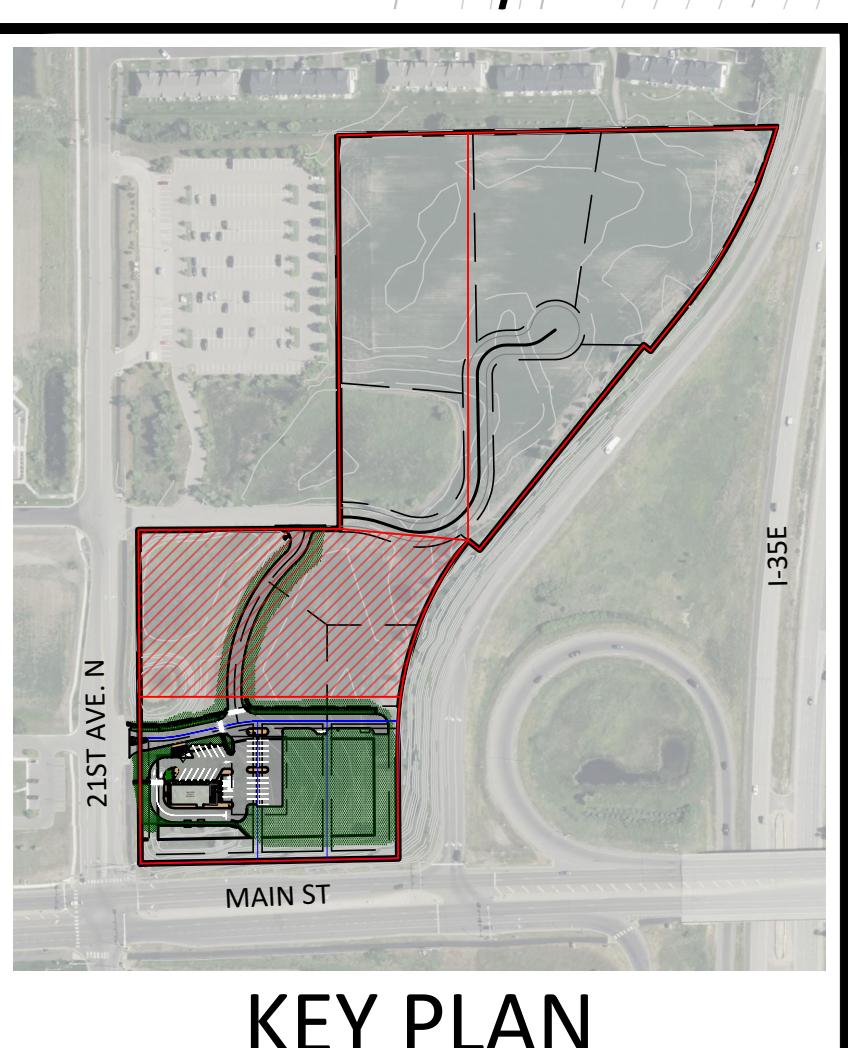
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
Signed: Christopher J. Dahn
Date: 08/22/2025



BOGART, PEDERSON & ASSOCIATES, INC.
LAND SURVEYING
CIVIL ENGINEERING
ENVIRONMENTAL SERVICES
1301 7TH STREET, BROWNSVILLE, MN 55308-3844
TEL: 651-252-3862 FAX: 651-252-3864

SHEET NO.

C4



KEY PLAN

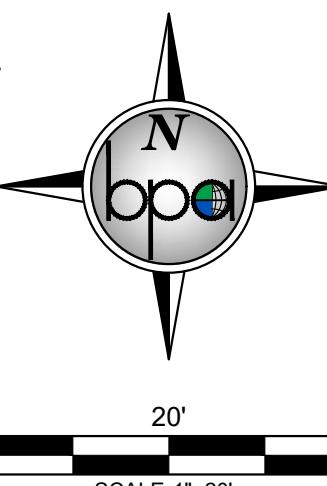
GRADING GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BIDDING THE PROJECT AND BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY THE OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BIDDING THE PROJECT AND COMMENCING WORK.
3. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SILT AND DEBRIS RUN-OFF DURING GRADING OPERATIONS (I.E. SILT FENCE, STRAW BALES, ETC.).
4. CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL PAVEMENTS THAT REMAIN TO THEIR ORIGINAL IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS PRIOR TO BIDDING THE PROJECT.
5. TURF ESTABLISHMENT AREAS SHALL RECEIVE MINIMUM OF 4" DEPTH AS MEASURED IN PLACE OF TOPSOIL. TOPSOIL SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. ALL GRADED SLOPES GREATER THAN OR EQUAL TO 5:1 SHALL BE HYDROSEEDED, EROSION CONTROL BLANKETED, OR MULCHED TO HELP STABILIZE THE SLOPES BY GENERAL CONTRACTOR.
6. PROPOSED SPOT ELEVATIONS ARE TO THE TOP OF CURB UNLESS NOTED OTHERWISE. ELEVATION OF FLOW LINE IS 6" BELOW TOP OF CURB UNLESS OTHERWISE SHOWN.
7. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE / EXCESS / WASTE MATERIAL AS REQUIRED. ALL COSTS ASSOCIATED WITH IMPORTING AND EXPORTING MATERIALS SHALL BE INCIDENTAL TO THE CONTRACT.
8. IT IS INTENDED THAT EARTHWORK (CUT VS. FILL) BALANCE ON SITE. THE CONTRACTOR SHALL SUBMIT THE QUANTITY OF MATERIAL AND AMOUNT OF ANTICIPATED GRADE ADJUSTMENT FOR REVIEW BY THE ENGINEER A MINIMUM OF FOUR WEEKDAYS PRIOR TO MAKING ADJUSTMENTS. ALL GRADE ADJUSTMENTS MUST BE APPROVED BY THE ENGINEER. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR WORK ASSOCIATED WITH GRADING ADJUSTMENTS, INCLUDING, BUT NOT LIMITED TO, EARTHWORK OPERATIONS, STORM SEWER PIPING AND STRUCTURE ADJUSTMENTS, CONSTRUCTION SURVEYING FOR ADJUSTING FEATURE LOCATIONS ACCORDINGLY, SILT FENCE, ETC.
9. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED OR RE-SOD ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
10. ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAINTILE, OR OTHER POTENTIAL SOURCE FOR CONTAMINATION SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR).
11. CONTRACTOR SHALL MAINTAIN DRAINAGE FROM EXISTING BUILDING AT ALL TIMES. PROVIDE TEMPORARY STORM SEWER (INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, PIPING, ETC.) AS REQUIRED. EXISTING STORM SEWER SHALL NOT BE REMOVED UNTIL TEMPORARY OR PERMANENT STORM SEWER IS INSTALLED AND FUNCTIONAL. COORDINATE ALL REMOVALS WITH APPROPRIATE TRADES (SITE UTILITY CONTRACTOR, MECHANICAL CONTRACTOR, ETC.) AS REQUIRED.

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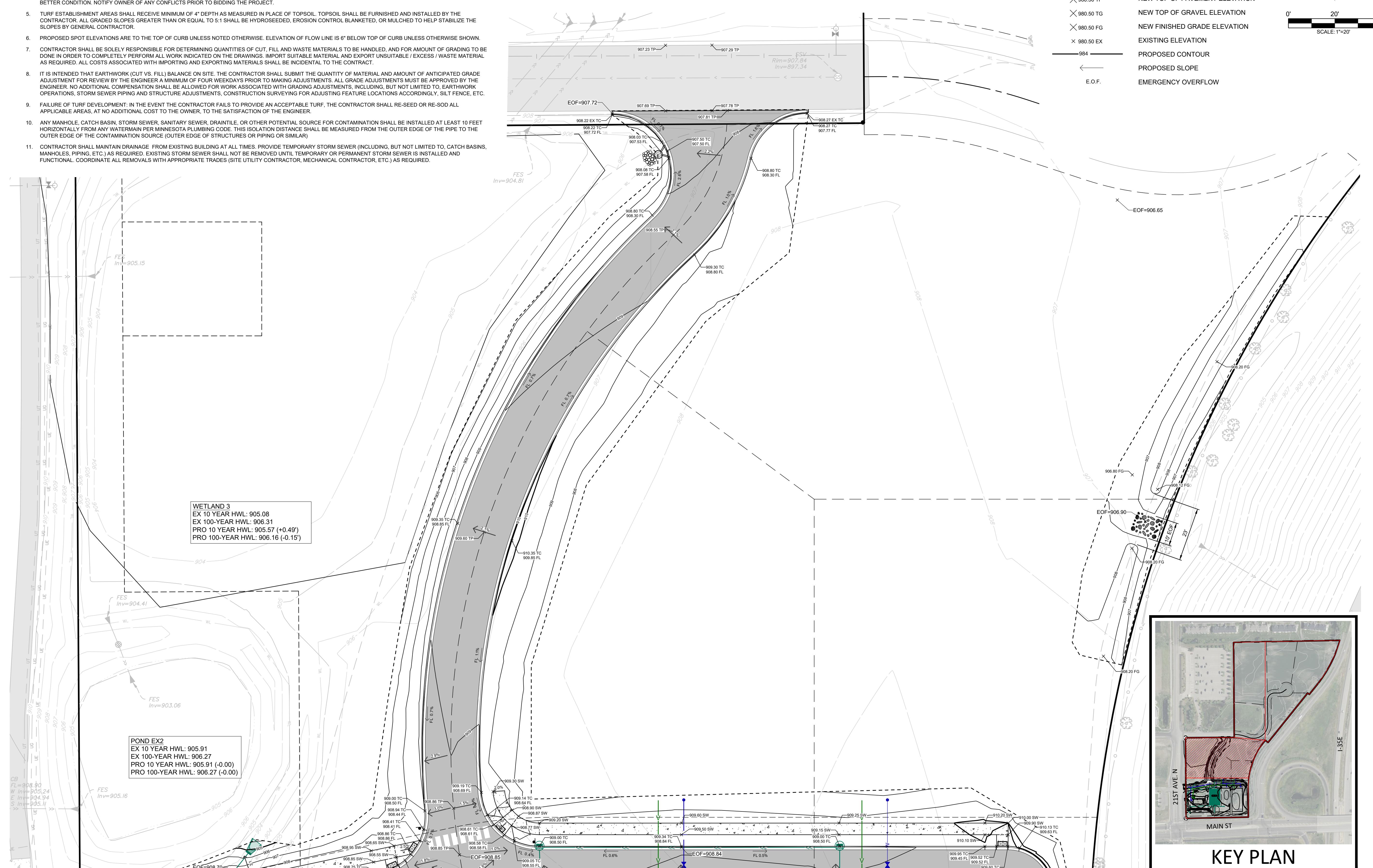
8/22/2025

LEGEND:



PROPOSED RIP RAP
NEW TOP-BACK OF CURB ELEVATION
NEW FLOW LINE OF CURB ELEVATION
NEW SIDEWALK ELEVATION
NEW TOP OF PAVEMENT ELEVATION
NEW TOP OF GRAVEL ELEVATION
NEW FINISHED GRADE ELEVATION
EXISTING ELEVATION
PROPOSED CONTOUR
PROPOSED SLOPE
EMERGENCY OVERFLOW

20'
SCALE 1" : 20'



BOGART, PEDERSON & ASSOCIATES, INC.

**CLEARWATER COMMONS
PRELIMINARY PLANS
CAPITAL REAL ESTATE
City of Lino Lakes, Anoka County, MN**

SHEET NO.

0

KEY PLAN

EROSION CONTROL NOTES:

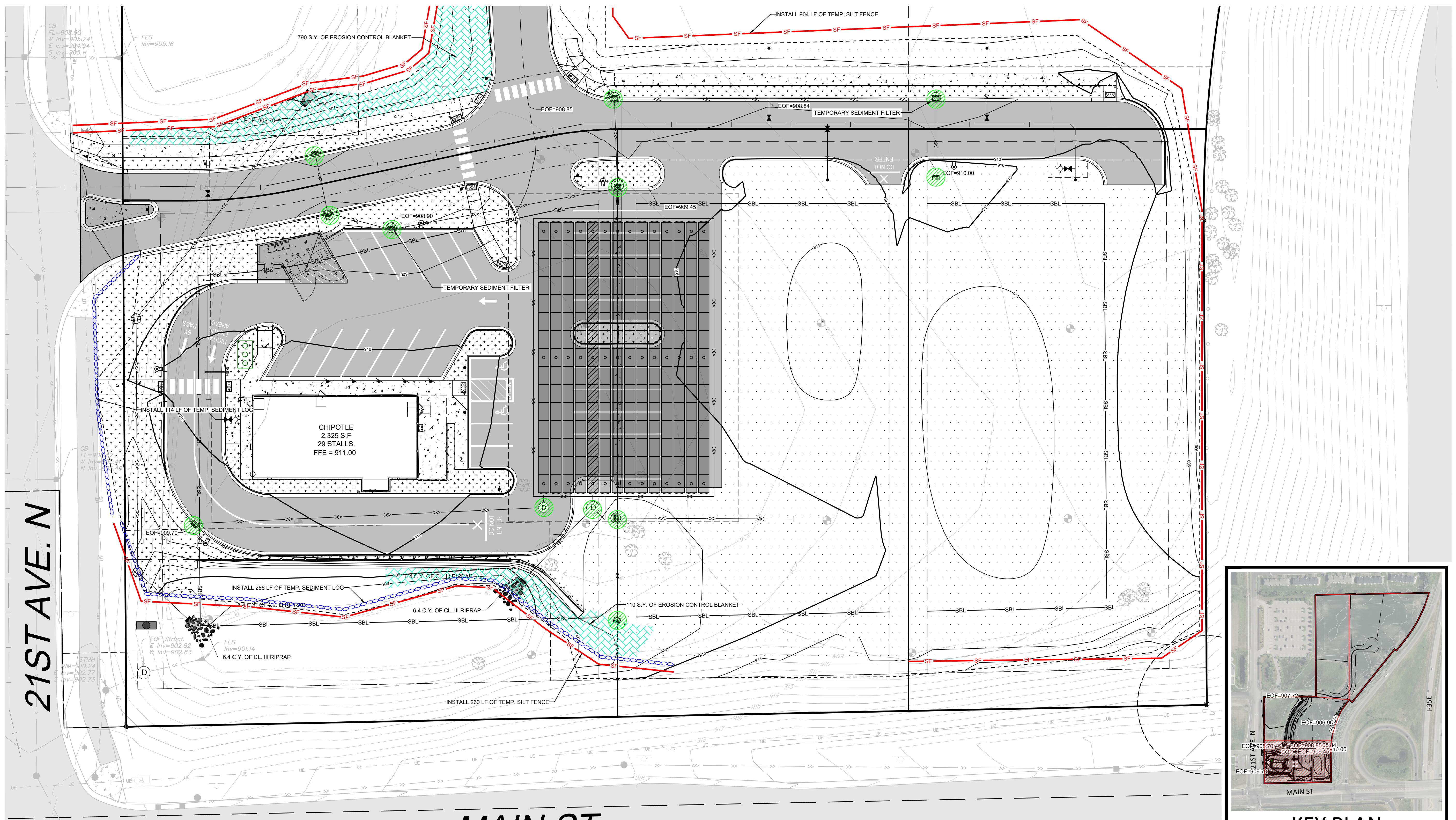
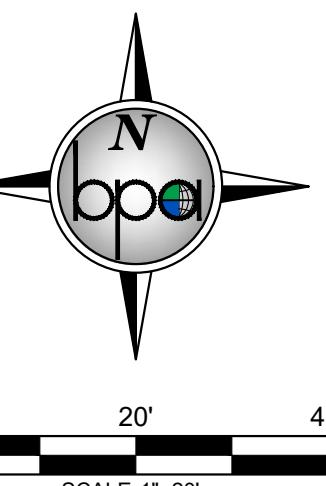
1. CONTRACTOR SHALL CONFINING CONSTRUCTION OPERATIONS TO THE CONSTRUCTION/GRADING LIMITS SHOWN.
2. ALL WORK SHALL CONFORM TO THE MINNESOTA POLLUTION CONTROL AGENCY'S STORM WATER PERMIT REQUIREMENTS. CONTRACTOR SHALL OBTAIN ALL PERMITS AND COMPLY WITH ALL PERMIT REQUIREMENTS.
3. THE SITE SOIL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY DEMOLITION OR GRADING OPERATIONS AND MAINTAINED TO CONFORM WITH THE STANDARDS SPECIFIED BY THE PERMIT.
4. CONTRACTOR SHALL INSPECT TEMPORARY EROSION CONTROL MEASURES ON THE ENTIRE SITE AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF ANY MEASURABLE RAINSTORM. DAMAGED SILT FENCE OR OTHER EROSION CONTROL DEVICES OR PRACTICES SHALL BE REPAIRED IMMEDIATELY. INSPECTION AND MAINTENANCE OF DEVICES SHALL CONTINUE UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO THE MPCA.
5. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION.
6. THE SITE SOIL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED AND MAINTAINED TO CONFORM WITH THE STANDARDS SPECIFIED BY THE CITY OF LINO LAKES AND THE MPCA.
7. SEE FULL EROSION CONTROL NOTES ON NEXT PAGE

APPROXIMATE EROSION CONTROL DEVICES

- SILT FENCE: 2,313 LF
- BIOLOG: 370 LF
- ROCK CONSTRUCTION: 1 EACH
- EROSION CONTROL BLANKET (CAT. 20): 830 S.Y.
- RIP RAP (CLASS 3): 20.8 C.Y.

LEGEND:

- TEMPORARY ROCK CONSTRUCTION ENTRANCE / EXIT
- EROSION CONTROL BLANKET (CAT. 20)
- GRADING LIMITS AND PROPOSED TEMPORARY SILT FENCE
- FIBER-LOG ROLLS
- PROPOSED RIP RAP
- PROPOSED CONTOUR
- EMERGENCY OVERFLOW
- TEMPORARY SEDIMENT FILTER- HIGH FLOW



CLEARWATER COMMONS
PRELIMINARY PLANS
CAPITAL REAL ESTATE
City of Lino Lakes, Anoka County, MN

SHEET NO.

C9

BOGART, PEDERSON & ASSOCIATES, INC.
LAND SURVEYING
CIVIL ENGINEERING
ENVIRONMENTAL SERVICES
1301 7TH STREET BECKER, MN 56330-3844
TEL: 763-262-3822 FAX: 763-262-3844

Signed: _____

Date: _____

Christopher J. John
Lic. No. 58628

Date: 08/22/2025

FILE NO.: 244285.00

DWG FILE: _____

CHECKED BY: _____

CD. MAN: 4

DRAWN BY: _____

MAM: 3

DESIGN BY: _____

MAM: 1

DATE: 08/22/2025

REV. NO.: _____

02/12/2025

03/12/2025

07/22/2025

08/22/2025

REVISED PER CITY REVIEW

REVISED

STORM WATER POLLUTION PREVENTION PLAN NARRATIVE:

GENERAL INFORMATION

THIS STORMWATER POLLUTION PREVENTION PLAN IS PREPARED IN ACCORDANCE TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT NO. MN R100001 FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
 PROJECT NAME: CHIPOTLE, RETAIL, & VALVOLINE
 LOCATION: 21ST AVE N& MAIN ST, LINO LAKES MN
 ANOKA COUNTY
 LAT/LONG: 45.16414, -93.035146

DESCRIPTION OF CONSTRUCTION ACTIVITY:

DEVELOPMENT CONSISTS OF PAVING, GRADING, CONSTRUCTION OF 3 COMMERCIAL BUILDINGS, UTILITY INSTALLATION, ASPHALT AND CONCRETE PAVEMENT PLACING, AND TURF ESTABLISHMENT.

PROJECT CONTACTS

AND THE CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP AND THE INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S BEFORE AND DURING CONSTRUCTION.

SWPPP PREPARATION:
 SWPPP PREPARED: CHRISTOPHER DAHN
 -BOGART, PEDERSON & ASSOCIATES
 TRAINING: ENGINEER AND SWPPP DESIGNER (EXP 2025)
 ADDRESS: 13075 FIRST STREET
 BECKER, MN 53308
 TELEPHONE: 763-362-8822
 EMAIL: CDAHN@BOGART-PEDERSON.COM
 OWNER:
 OWNER CONTACT: MIKE FRASER
 ADDRESS: 60 SOUTH 6TH STREET, MINNEAPOLIS, MN 55402
 TELEPHONE: (612)313-0122
 EMAIL: MFRASER@CAPREI.COM

CONTRACTOR (TO BE FILLED OUT BY THE CONTRACTOR):

BUSINESS NAME
 OWNER NAME
 MAILING ADDRESS
 CITY
 TELEPHONE
 EMAIL
 CONTACT NAME
 MAILING ADDRESS
 CITY
 TELEPHONE
 EMAIL

ESTIMATED DATES OF CONSTRUCTION:

START DATE / / (TO BE FILLED IN BY CONTRACTOR)
 COMPLETION DATE / / (TO BE FILLED IN BY CONTRACTOR)

PERMANENT STORMWATER DESIGN CALCULATIONS:

SEE THE STORM WATER MANAGEMENT REPORT FOR MORE INFORMATION. CONTACT BOGART, PEDERSON & ASSOCIATES FOR PROPOSED FLOW RATE IS LIMITED THROUGH AN UNDERGROUND CHAMBER SYSTEM. FLOWS ARE LIMITED THROUGH AN OVERFLOW CONTROL STRUCTURE DIRECTED INTO THE EXISTING SW POND.
 SOIL GROUP: D

DESCRIPTION OF EROSION CONTROL ACTIVITY:

EROSION CONTROL CONSISTS OF SILT FENCE PERIMETER CONTROL, TURF ESTABLISHMENT THROUGH SEEDING AND EROSION CONTROL BLANKET, AND ROCK CONSTRUCTION ENTRANCE PLACEMENT.

CUMULATIVE IMPERVIOUS SURFACES:

AREA OF DISTURBANCE:	2.75 ACRES
PRE-CONSTRUCTION IMPERVIOUS AREA:	0.00 ACRES
POST CONSTRUCTION IMPERVIOUS AREA:	1.15 ACRES
NEW IMPERVIOUS AREA:	1.15 ACRES

RECEIVING WATERS:

STORM WATER FROM THIS SITE WILL BE DISCHARGED TO THE POND TO THE SOUTHWEST. THIS DISCHARGES INTO THE CITY STORM SEWER DIRECTED INTO A REGIONAL POND.

PLANS AND SPECIFICATIONS

THE PLAN SHEETS OF THIS PLAN SET INDICATE THE FOLLOWING ITEMS:
 • THE PROJECT LOCATION AND CONSTRUCTION LIMITS.
 • LOCATIONS OF IMPERVIOUS SURFACES.
 • LOCATIONS OF AREAS NOT TO BE DISTURBED (E.G., BUFFER ZONES, WETLANDS, ETC.).
 • STEEP SLOPE LOCATIONS.
 • LOCATIONS OF ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMP'S TO BE INSTALLED ON THE PROJECT.
 • THE DETAIL SHEETS INDICATE EROSION AND SEDIMENT CONTROL BMP'S TO BE INSTALLED ON THE PROJECT.
 • IF DEWATERING IS REQUIRED FOR THIS PROJECT, THE PUMP DISCHARGE SHALL BE TREATED PRIOR TO BEING DISCHARGED OFF-SITE OR INTO A SURFACE WATER. THE DISCHARGE SHALL BE VISUALLY CHECKED TO ENSURE THAT IT IS VISIBLY CLEAN WATER.

TEMPORARY SEDIMENT CONTROL PRACTICES

DOWN GRADIENT SILT FENCE AND SEDIMENT LOG INSTALLATIONS ARE TO BE INPLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK OPERATIONS.

TOPSOIL IS TO BE WINDROWED ALONG THE CONSTRUCTION LIMITS AND PLACED AS SLOPE DRESSING IMMEDIATELY FOLLOWING COMPLETION OF THE GRADING OPERATIONS, AS THE GRADING OPERATIONS PROCEED.

TOPSOIL PLACEMENT ALONG THE EMBANKMENT SLOPES THOUGH THE WETLANDS AREA IS TO BE SPREAD BY A LOW IMPACT CRAWLER TRACTOR OPERATING UP AND DOWN THE SLOPES SO AS TO PROVIDE TRACK PRINTS PARALLEL WITH THE CONTOURS.

INSTALLATION OF MN/DOT CATEGORY 3 EROSION CONTROL BLANKET ALONG THE EMBANKMENT SLOPES ADJACENT THE WETLANDS AREA.

ALL TEMPORARY SOILS STOCKPILES WILL REQUIRE AN EFFECTIVE MEANS OF SEDIMENT CONTROL SUCH AS AN EROSION CONTROL BLANKET COVERING OR SILT FENCE INSTALLATION ALONG THE TOE OF SLOPE.

ALL COMPLETED SWALES SLOPES AND BOTTOMS NOT DRAINING TOWARDS WETLAND AREAS ARE TO BE STABILIZED WITHIN 7 DAYS.

TEMPORARY STABILIZATION WILL BE REQUIRED IN AREAS WHERE GRADING OPERATIONS ARE SUSPENDED OR CEASED FOR A PERIOD OF 7 DAYS OR GREATER.

A ROCK CONSTRUCTION ENTRANCE FOR SEDIMENT CONTROL IS TO BE PROVIDED AT THE PROJECT ENTRANCE ON THE FRONTAGE STREET (MICHAUD WY.).

STREET SWEEPING OF THE PAVED SURFACES SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER.

TIMING OF EROSION CONTROL:

SILT FENCE AND SEDIMENT LOGS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.

RIPRAP AND FILTER BLANKET SHALL BE PLACED AT THE OUTLETS WITHIN 24 HOURS OF THE OUTLET PLACEMENT.

THE CONTRACTOR MUST STABILIZE ALL EXPOSED SOIL AREAS IMMEDIATELY FOLLOWING CONSTRUCTION WHEREVER CONSTRUCTION SHALL NOT OCCUR FOR A PERIOD GREATER THAN OR EQUAL TO 7 DAYS.

STABILIZATION WORK MUST BE COMPLETE WITHIN 7 CALENDAR DAYS AFTER THE CONSTRUCTION WORK IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

AREAS THAT ARE WITHIN 200 FT OF A PUBLIC WATER MUST BE STABILIZED WITHIN 24 HOURS OF COMPLETING CONSTRUCTION DURING PERIODS OF "WORK IN WATER RESTRICTIONS" FOR TIME PERIODS DECLARED BY THE DNR.

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE DISTURBED AREA UNTIL VEGETATION IS ESTABLISHED.

ONCE VEGETATION IS ESTABLISHED AND CONSTRUCTION IS COMPLETE, THE SILT FENCE AND ANY OTHER TEMPORARY EROSION CONTROL THAT IS NOT BIODEGRADABLE SHALL BE REMOVED.

STREET SWEEPING TO BE PROVIDED AS DIRECTED BY THE ENGINEER OR OWNER. THE CITY REQUIRES STREET SWEEPING TO OCCUR WITHIN 8 HOURS OF NOTICE FROM THE CITY.

APPLYING MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES IS NOT ACCEPTABLE STABILIZATION IN ANY PART OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE, BLANKETS OR OTHER APPROVED, BY THE ENGINEER, METHOD SHALL BE USED.

INSPECTION AND MAINTENANCE ACTIVITIES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING THE WORK OF ALL OPERATIONS, INCLUDING SUBCONTRACTORS AND UTILITY COMPANIES, SUCH THAT EROSION AND SEDIMENT CONTROL MEASURES ARE FULLY EXECUTED FOR EACH OPERATION AND IN A TIMELY MANNER OVER THE DURATION OF THE PROJECT. OPERATORS HAVE DAILY ACCESS TO THE PROJECT SITE. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SWPPP IMPLEMENTATION UNTIL THE ENTIRE SITE HAS UNDERGONE FINAL STABILIZATION AND N.O.T HAS BEEN SUBMITTED TO THE MPCA.

THE CONTRACTOR IS TO PROVIDE A TRAINED INDIVIDUAL RESPONSIBLE FOR THE IMPLEMENTATION, INSPECTION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL BMP'S ON THE PROJECT. THAT INDIVIDUAL IS TO BE IDENTIFIED AT THE PRE-CONSTRUCTION CONFERENCE AND LISTED IN THE MINUTES THEREOF.

THE APPOINTED INDIVIDUAL IS TO PERFORM A ROUTINE INSPECTION OF THE ENTIRE SITE AT LEAST ONCE EVERY SEVEN DAYS DURING CONSTRUCTION OPERATIONS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.

A INSPECTION FORM SHALL BE PROVIDED BY THE CONTRACTOR. ANY DEFICIENCIES IN THE EROSION AND SEDIMENT CONTROL BMP'S ARE TO BE NOTED ON THE INSPECTION FORM AND CORRECTED BY THE END OF THE NEXT BUSINESS DAY.

PERIMETER CONTROL DEVICES ARE TO BE REPAIRED OR REPLACED WHEN THEY ARE NO LONGER EFFECTIVE OR WHEN THE SEDIMENT REACHES ONE-HALF THE HEIGHT OF THE DEVICE.

TRAINING DOCUMENTATION:
 SWPPP PREPARATION, REVISING, AMENDING, AND INSPECTING (TO BE FILLED IN BY THE CONTRACTOR)

NAME OF INDIVIDUAL OVERSEEING & INSPECTING	
DATE OF TRAINING	
NAME OF INSTRUCTOR	
ENTITY PROVIDING TRAINING	
CONTENT OF TRAINING	
TOTAL HOURS OF TRAINING	

BMP INSTALLATION, MAINTENANCE, AND REPAIR (TO BE FILLED IN BY THE CONTRACTOR)

NAME OF INDIVIDUAL OVERSEEING & INSPECTING	
DATE OF TRAINING	
NAME OF INSTRUCTOR	
ENTITY PROVIDING TRAINING	
CONTENT OF TRAINING	
TOTAL HOURS OF TRAINING	

POLLUTION PREVENTION

FERTILIZERS ARE TO BE APPLIED ONLY IN THE AMOUNTS AS SPECIFIED AND WORKED INTO THE SOIL TO MINIMIZE EXPOSURE TO STORMWATER RUNOFF.

ON SITE FUELING OPERATIONS ARE TO BE CONDUCTED WITH CARE. ANY INADVERTENT SPILLAGE OF FUEL OR CHEMICALS IS TO BE IMMEDIATELY CLEANED UP, REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE TO STATE AND LOCAL REGULATIONS. MAJOR SPILLS ARE TO BE REPORTED TO THE MPCA 24 HOUR NOTIFICATION NETWORK AT 800 422 0798. ALL VEHICLES ON-SITE ARE TO BE MONITORED FOR LEAKS AND SUBJECT TO ROUTINE PREVENTIVE MAINTENANCE EFFORTS TO REDUCE THE LIKELIHOOD OF LEAKAGE AND OR SPILLS.

PORTABLE SANITARY WASTE FACILITIES ARE TO BE PROVIDED ONSITE AND EMPTIED ON A BI-WEEKLY BASIS.

CONCRETE BATCH TRUCKS SHALL NOT BE ALLOWED TO DISCHARGE DRUM AND CHUTE WASHOUT DIRECTLY ON THE GROUND. A PORTABLE WASHOUT RECEPTACLE IS TO BE PROVIDED BY THE CONTRACTOR AT THE LOCATION AS PROVIDED BY THE OWNER.

FINAL STABILIZATION

FINAL STABILIZATION OCCURS WHEN 70 PERCENT OF THE PVIOUS AREA IS COVERED WITH UNIFORM, PERMANENT VEGETATION.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL FEATURES ARE TO BE REMOVED AND THE NPDES NOTICE OF TERMINATION IS TO BE PREPARED AND SUBMITTED TO THE MPCA.

LOCATION OF SWPPP REQUIREMENTS IN PROJECT PLAN

DESCRIPTION	TITLE	LOCATION
EROSION CONTROL DETAILS	CONSTRUCTION DETAILS	C17
EROSION CONTROL LOCATIONS	EROSION CONTROL LOCATIONS	C9-C10

24 HOUR MPCA EMERGENCY NOTIFICATION:

TELEPHONE NUMBERS:

651-649-5451

800-422-0798

SEE MNDOT EROSION CONTROL HANDBOOK, BY OFFICE OF ENVIRONMENTAL SERVICES FOR ADDITIONAL INFORMATION.

ESTIMATED QUANTITIES:

THE FOLLOWING QUANTITIES IS AN ESTIMATED PRELIMINARY AMOUNT REQUIRED FOR SEDIMENT CONTROL BMP'S AT THE START OF THE PROJECT. THIS ESTIMATE IS PROVIDED AS REQUIRED BY THE MINNESOTA POLLUTION CONTROL AGENCY GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY. ANY ADDITIONAL AND/OR REPLACEMENT BMP'S QUANTITIES SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

ESTIMATED PRELIMINARY QUANTITIES AT START OF PROJECT:

ITEM	UNIT	ESTIMATED INITIAL QUANTITY
TEMPORARY CONSTRUCTION ENTRANCE / EXIT	EA	1
TEMPORARY SEDIMENT FILTER	EA	13
TEMPORARY CONCRETE WASHOUT	EA	1
TEMPORARY PUMP SEWAGE CONTROL DEVICE	EA	1
TEMPORARY SEDIMENT LOGS	LF	370
TEMPORARY SILT FENCE	LF	2,140
EROSION CONTROL BLANKET (CAT. 20)	SY	630

TIMING OF EROSION CONTROL:

SILT FENCE AND SEDIMENT LOGS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.

TEMPORARY EROSION AND SEDIMENT CONTROL SPECIFICATIONS

PART 1 GENERAL

1.01 SECTION INCLUDES

A. PREVENTION OF SEDIMENTATION OF WATERWAYS, OPEN DRAINAGE WAYS, AND STORM AND SANITARY SEWERS DUE TO CONSTRUCTION ACTIVITIES.

1.02 REFERENCE STANDARDS

A. GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM. MINNESOTA PERMIT NO: MN R100001.

1.03 PERFORMANCE REQUIREMENTS

A. COMPLY WITH ALL REQUIREMENTS OF THE MINNESOTA POLLUTION CONTROL AGENCY FOR EROSION AND SEDIMENT CONTROL.

B. DO NOT BEGIN CLEARING, GRADING, OR OTHER WORK INVOLVING DISTURBANCE OF GROUND SURFACE COVER UNTIL APPLICABLE PERMITS HAVE BEEN OBTAINED; FURNISH ALL DOCUMENTATION REQUIRED TO OBTAIN APPLICABLE PERMITS.

C. OBTAIN AND PAY FOR PERMITS REQUIRED BY AUTHORITY HAVING JURISDICTION.

D. TIMING: PUT PREVENTIVE MEASURES IN PLACE PRIOR TO DISTURBANCE OF SURFACE COVER AND BEFORE PRECIPITATION OCCURS.

E. SEDIMENTATION OFF SITE: PREVENT EROSION OF SOIL AND DEPOSITION OF SEDIMENT ON OTHER PROPERTIES CAUSED BY WATER LEAVING THE PROJECT SITE DUE TO CONSTRUCTION ACTIVITIES FOR THIS PROJECT.

1. PREVENT TRACKING OF MUD ON PUBLIC ROADS OUTSIDE SITE.

2. PREVENT MUD AND SEDIMENT FROM FLOWING ONTO PAVEMENTS.

E. SEDIMENTATION OF WATERWAYS OFF SITE: PREVENT SEDIMENTATION OF WATERWAYS OFF THE PROJECT SITE, INCLUDING RIVERS, STREAMS, LAKES, PONDS, OPEN DRAINAGE WAYS, STORM SEWERS, AND SANITARY SEWERS.

1. IF SEDIMENTATION OCCURS, INSTALL OR CORRECT PREVENTIVE MEASURES IMMEDIATELY AT NO COST TO OWNER; REMOVE DEPOSITED SEDIMENTS; COMPLY WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

F. MAINTENANCE: MAINTAIN TEMPORARY PREVENTIVE MEASURES UNTIL PERMANENT MEASURES HAVE BEEN ESTABLISHED.

PART 2 PRODUCTS

2.01 MATERIALS

A. TEMPORARY SILT FENCE: WOVEN POLYPROPYLENE GEOTEXTILE RESISTANT TO COMMON SOIL CHEMICALS, MILDEW, AND INSECTS; NON-BIODEGRADABLE; IN LONGEST LENGTHS POSSIBLE; FABRIC INCLUDING SEAMS WITH THE FOLLOWING MINIMUM AVERAGE ROLL LENGTHS:

1. AVERAGE OPENING SIZE: 20 U.S. SIEVE, MAXIMUM, WHEN TESTED IN ACCORDANCE WITH ASTM D4751.

2. PERMITTIVITY: 0.05 SEC-1, MINIMUM, WHEN TESTED IN ACCORDANCE WITH ASTM D4491.

3. ULTRAVIOLET RESISTANCE: RETAINING AT LEAST 70 PERCENT OF TENSILE STRENGTH, WHEN TESTED IN ACCORDANCE WITH ASTM D4355/D4356 AFTER 500 HOURS EXPOSURE.

4. TENSILE STRENGTH: 100 LB/F, MINIMUM, IN CROSS-MACHINE DIRECTION; 124 LB/F, MINIMUM, IN MACHINE DIRECTION; WHEN TESTED IN ACCORDANCE WITH ASTM D4632.

5. ELONGATION: 15 TO 30 PERCENT, WHEN TESTED IN ACCORDANCE WITH ASTM D4632.

6. TEAR STRENGTH: 55 LB/F, MINIMUM, WHEN TESTED IN ACCORDANCE WITH ASTM D4533.

7.

LANDSCAPE NOTES:

- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AND VEGETATED AS SOON AS POSSIBLE. ANY FINISHED AREAS SHALL BE SEADED AND MULCHED WITHIN 7 DAYS AFTER FINISHED GRADING IS COMPLETED IN ACCORDANCE TO MN/DOT 2575.
- PLANTING SOIL SHALL CONSIST 1:1:1 CONSISTING OF 33% SELECT LOAMY TOPSOIL, 33% PEAT MOSS, 33% PIT RUN SAND.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITH MN/DOT SEED MIX, MULCHED, & DISK ANCHORED, PER THE FOLLOWING SCHEDULE:

SEED MIX 25-131: 220 LB/AC.
MULCH TYPE 3: 2 TONS/AC.

- ALL LOTS SHALL BE IRRIGATED THROUGH A TAP OFF OF THE RESPECTIVE BUILDING. WATER CONSERVATION SHALL BE CONSIDERED BY REDUCING AREAS NEEDED FOR REQUIRED MAINTENANCE AND WATERING AS POSSIBLE.
- NO PLANTINGS OR PRIVATE SIGNS WILL BE PERMITTED WITHIN THE COUNTY RIGHT OF WAY AND CARE MUST BE EXERCISED WHEN LOCATING PRIVATE SIGNS, BUILDING, STRUCTURES, PLANTINGS, BERMS, ETC. OUTSIDE OF THE COUNTY RIGHT OF WAY, SO AS TO NOT CREATE ANY NEW SIGHT OBSTRUCTIONS FOR THIS SECTION OF CSAH 14.

Affected Tree Inventory
Only list of trees affected by construction.

Tree	Type	Diameter	Condition	Status
1	Deciduous-Willow	8"	Good	Keep
2	Deciduous-Poplar	6"	Good	Remove
3	Deciduous-Poplar	8"	Good	Remove
4	Deciduous-Poplar	8"	Good	Remove
5	Deciduous-Poplar	6"	Good	Remove
6	Deciduous-Poplar	6"	Good	Remove
7	Deciduous-Poplar	6"	Good	Remove
8	Deciduous-Poplar	8"	Good	Remove
9	Deciduous-Poplar	8"	Good	Remove
10	Deciduous-Poplar	12"	Good	Remove

LANDSCAPE REQUIREMENTS:

PER CITY OF LINO LAKES ZONING ORDINANCE:
ALL LANDSCAPING INCORPORATED IN SAID PLAN SHALL CONFORM TO THE FOLLOWING STANDARDS AND CRITERIA:

A. ALL PLANTS MUST AT LEAST EQUAL THE FOLLOWING MINIMUM SIZE:

POTTED/BARE ROOT
OR BALLED & BURLAPPED

LARGE TREES 2-INCH DIAMETER

MEDIUM & SMALL TREES 1.5-INCH DIAMETER

EVERGREEN 6 FEET HIGH

LARGE SHRUBS 3 GALLON CONTAINER

MEDIUM & SMALL SHRUBS 1 GALLON CONTAINER

GRASSES & PERENNIALS 4" POT

B. LANDSCAPE GUARANTEE: ALL NEW PLANTS SHALL BE GUARANTEED FOR TWO (2) FULL YEARS FROM THE TIME PLANTING HAS BEEN COMPLETED. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD OR BE REPLACED.

1. CANOPY COVER

- REQUIRED MIN. CANOPY COVERAGE FOR ALL USES IS 40%
- VEHICULAR Hardscape (S.F.) X CANOPY COVER % = REQUIRED MIN. CANOPY COVER (S.F.)

2. FOUNDATION LANDSCAPE

- 2 LARGE TREES AND 6 LARGE SHRUBS ARE REQUIRED PER 100 LF OF BUILDING EXTERIOR AROUND THE FOUNDATION LANDSCAPE.

3. OPEN AREAS LANDSCAPE

- THERE IS NO SIGNIFICANT OPEN SPACE IS PRESENT OUTSIDE OF 15' OFF THE PROPOSED DRIVE AISLES.

4. BUFFER AND SCREEN

- PARKING LOT AND RIGHT OF WAY: 30" HIGH

5. EXISTING TREES

- EXISTING TREES ARE NOT PROPOSED TO BE UTILIZED IN THE TOTAL LANDSCAPING SUMMATION.
- TREES TO BE REMOVED ARE WITHIN THE BASIC USE AREA OF THE SITE. IF POSSIBLE, EXISTING TREES ARE PROPOSED TO BE SAVED.
- TREES WITHIN THE NATURAL RESOURCE ENHANCEMENT AREA (6 TOTAL) SHALL BE REPLACED WITH 1 TREE PER 4 REMOVED (2 PROPOSED)

6. DEFINITIONS (SEE LINO LAKES, MN CODE OF ORDINANCES 1007.049)

- SMALL SHRUB: SMALL SHRUBS HAVE A MATURE HEIGHT OF LESS THAN THREE FEET. SMALL SHRUBS ARE INTERCHANGEABLE WITH PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS TO FULFILL LANDSCAPE STANDARDS.
- SMALL TREE: UNDERSTORY DECIDUOUS TREES WITH A MATURE HEIGHT OF 18 FEET AND UNDER.
- MEDIUM SHRUB: MEDIUM SHRUBS HAVE A MATURE HEIGHT OF THREE TO SIX FEET.
- MEDIUM TREE: DECIDUOUS TREES WITH A MATURE HEIGHT OVER 18 FEET AND UP TO 39 FEET.
- LARGE SHRUB: LARGE SHRUBS HAVE A MATURE HEIGHT OVER SIX FEET.
- LARGE TREE: OVER STORY DECIDUOUS TREES WITH A MATURE HEIGHT OF AT LEAST 40 FEET.

(SEE CITY ORDINANCE FOR FULL REQUIREMENTS)

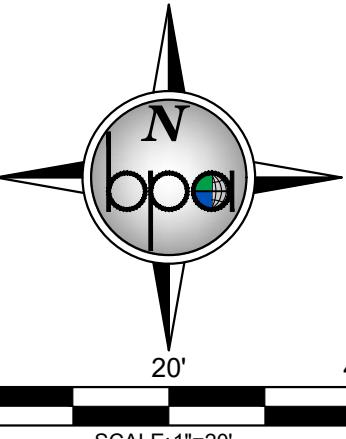
POND EX2
EX 10 YEAR HWL: 905.91
EX 100-YEAR HWL: 906.27
PRO 10 YEAR HWL: 905.91 (-0.00)
PRO 100-YEAR HWL: 906.27 (-0.00)

CB FL=908.90
W Inv=905.24
E Inv=904.94
S Inv=905.11

FES Inv=905.06

FES Inv=905.16

LEGEND:



PROPOSED ASPHALT PAVEMENT
PROPOSED CONCRETE SIDEWALK
PROPOSED CONCRETE PAVEMENT
PROPOSED TURF ESTABLISHMENT (SOD)
PROPOSED TURF ESTABLISHMENT (SEEDED)
PROPOSED DOUBLE SHREDDED BROWN MULCH



DATE:	REV. NO.	DATE	DESCRIPTION
08/22/2025	MAM	02/12/2025	CHIPOTLE ONLY SET
		03/12/2025	SEEDED REVISIONS
		07/22/2025	REVISED PER CITY REVIEW
		08/22/2025	REVISED PER CITY REVIEW

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Signed: Christopher J. Dahn
Date: 08/22/2025



LAND SURVEYING
CIVIL ENGINEERING
ENVIRONMENTAL SERVICES

1301 1/2 STREET BECKER, MN 56328-3844

TEL: 705-262-3842 FAX: 705-262-3844

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BOGART, PEDERSON
& ASSOCIATES, INC.

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1301 1/2 STREET BECKER, MN 56328-3844

TEL: 705-262-3842 FAX: 705-262-3844

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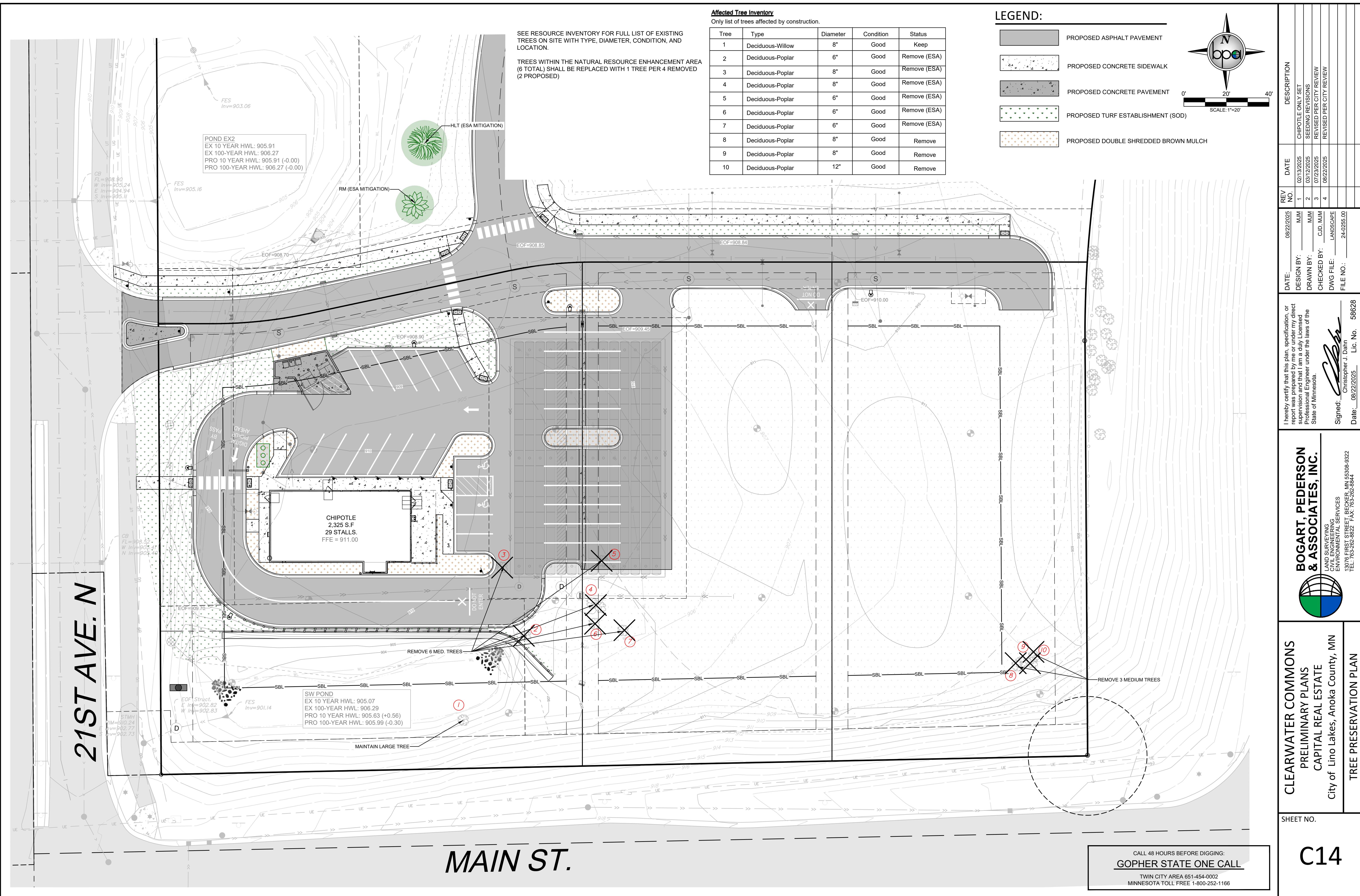
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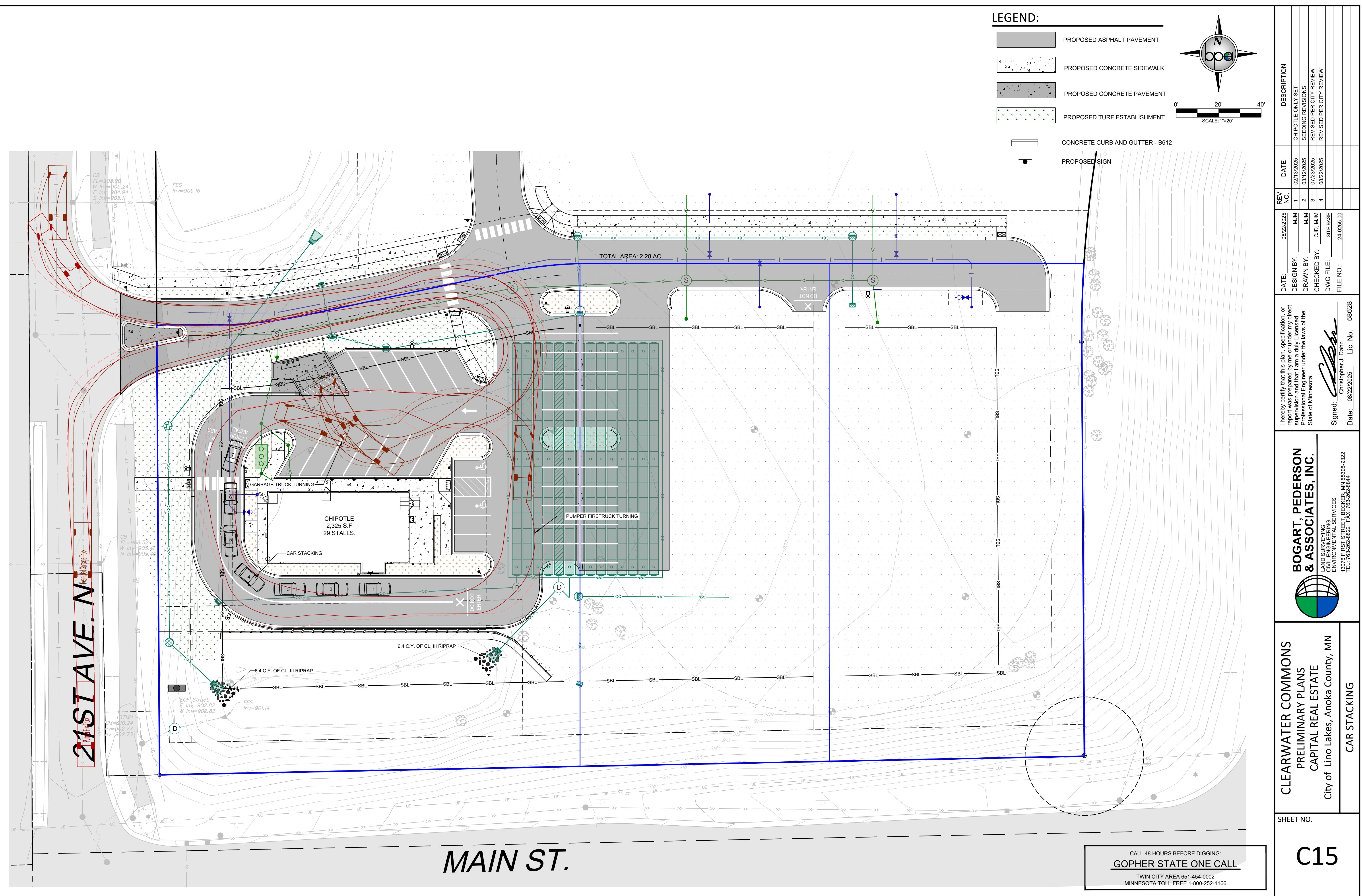
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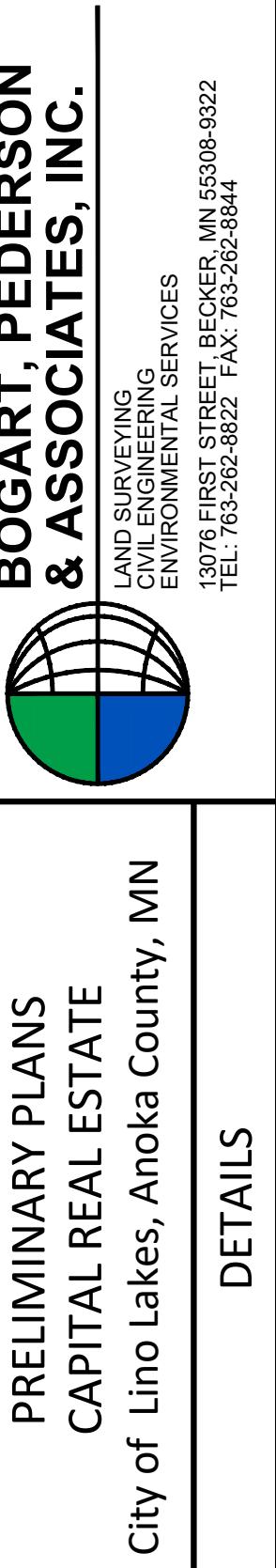
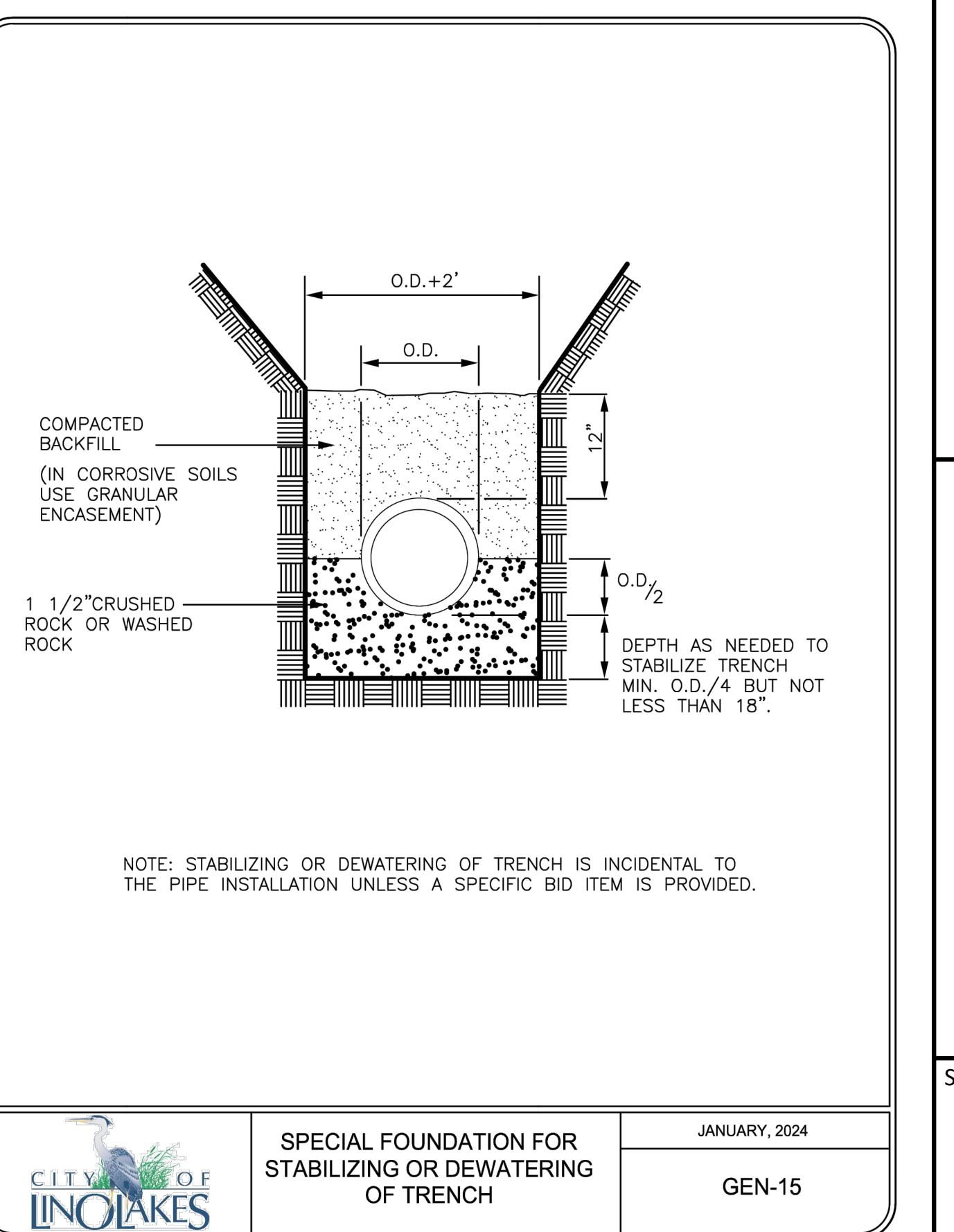
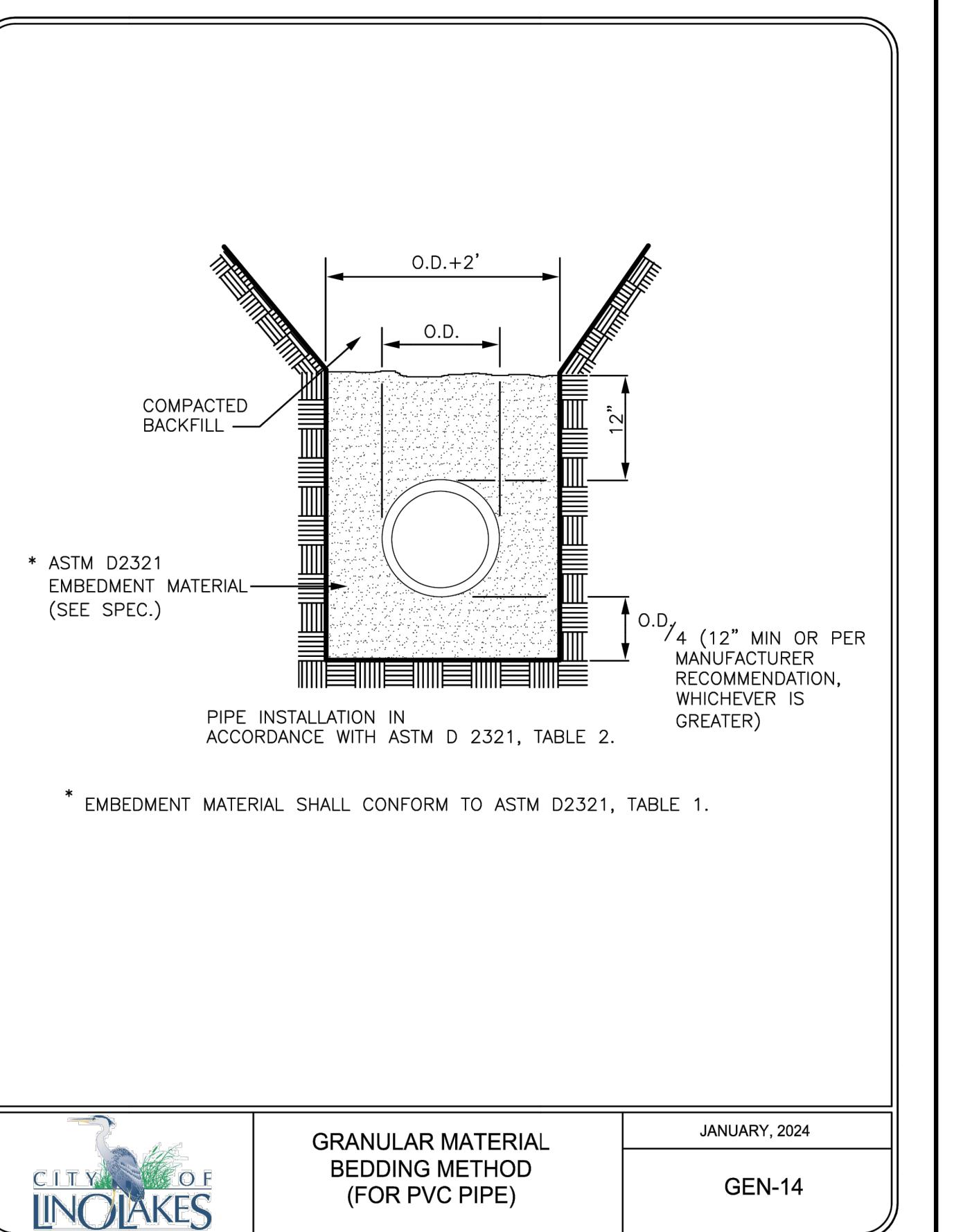
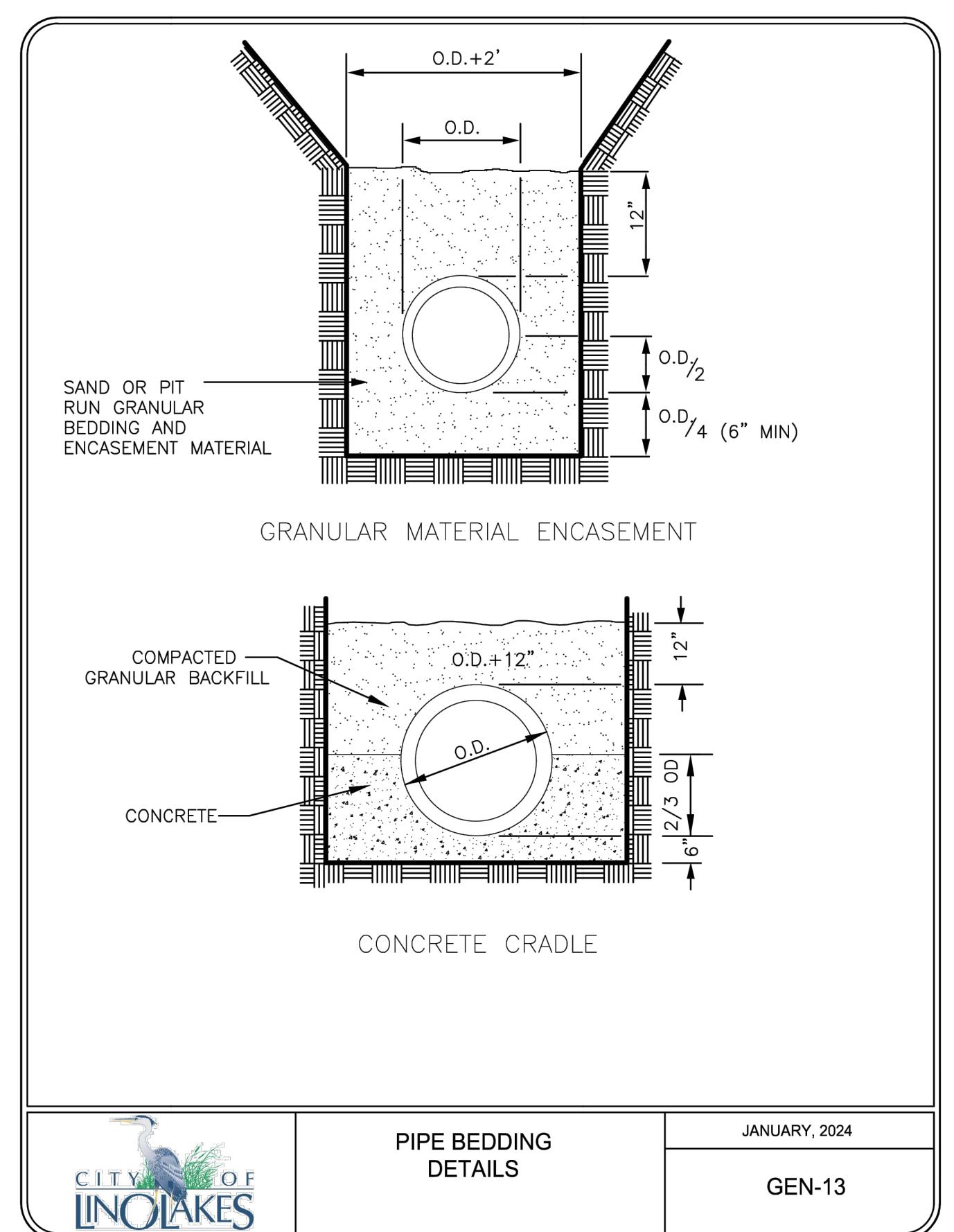
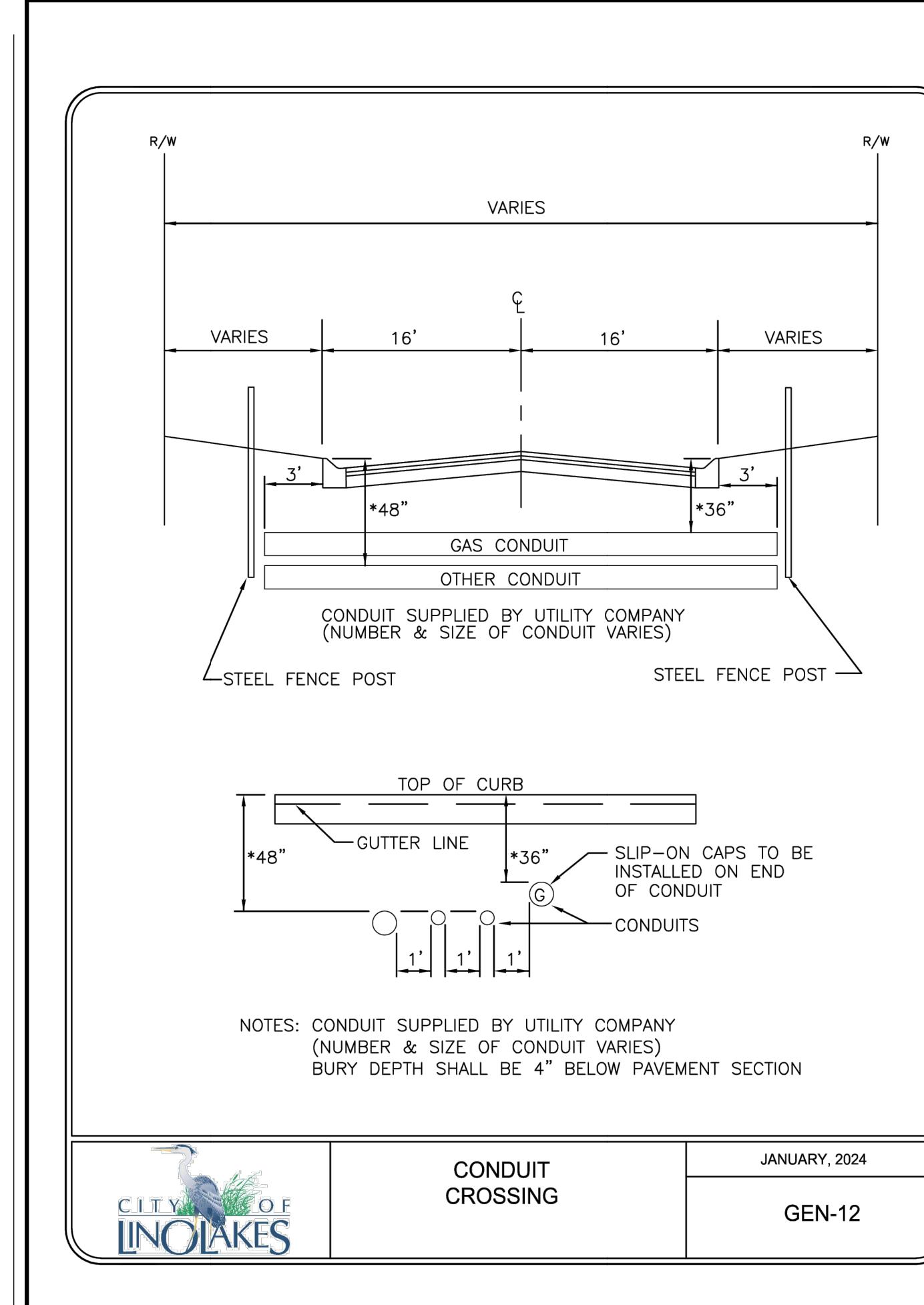
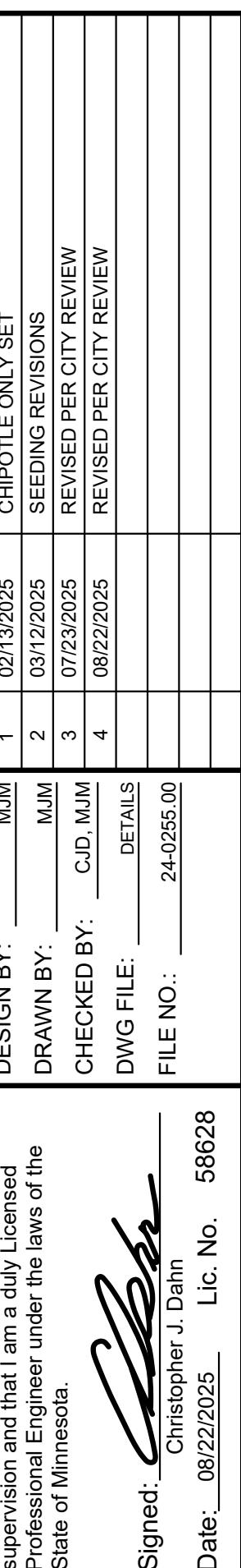
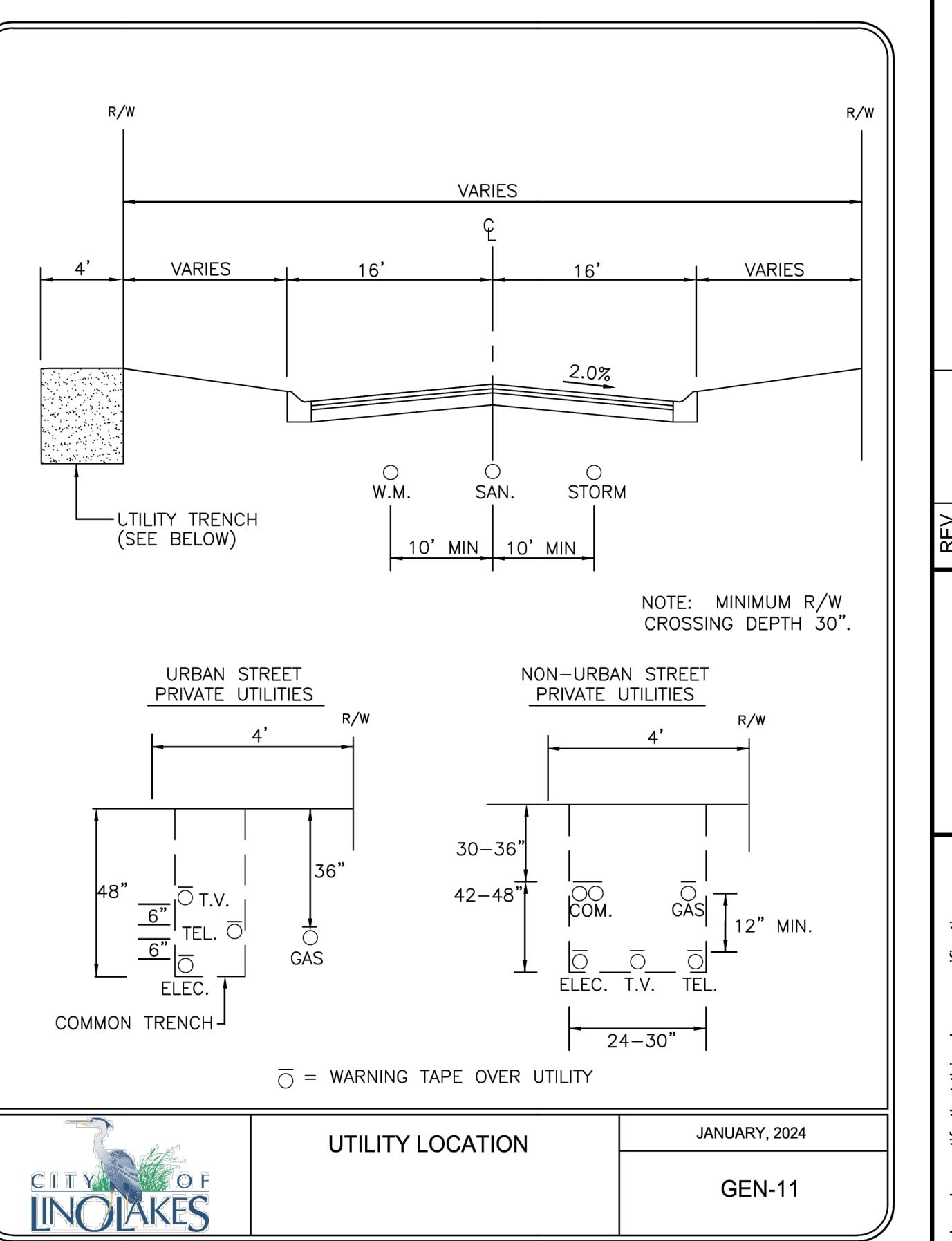
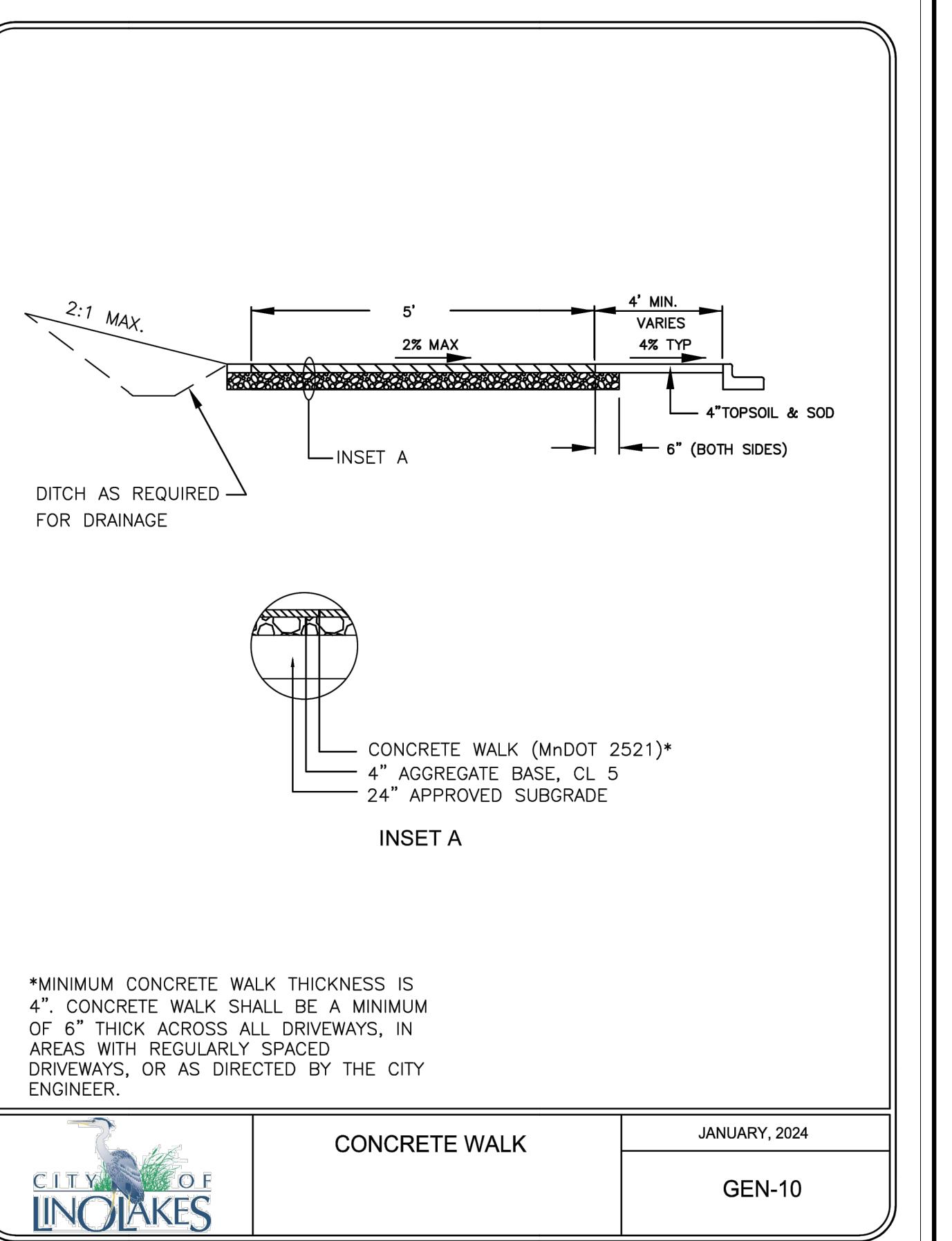
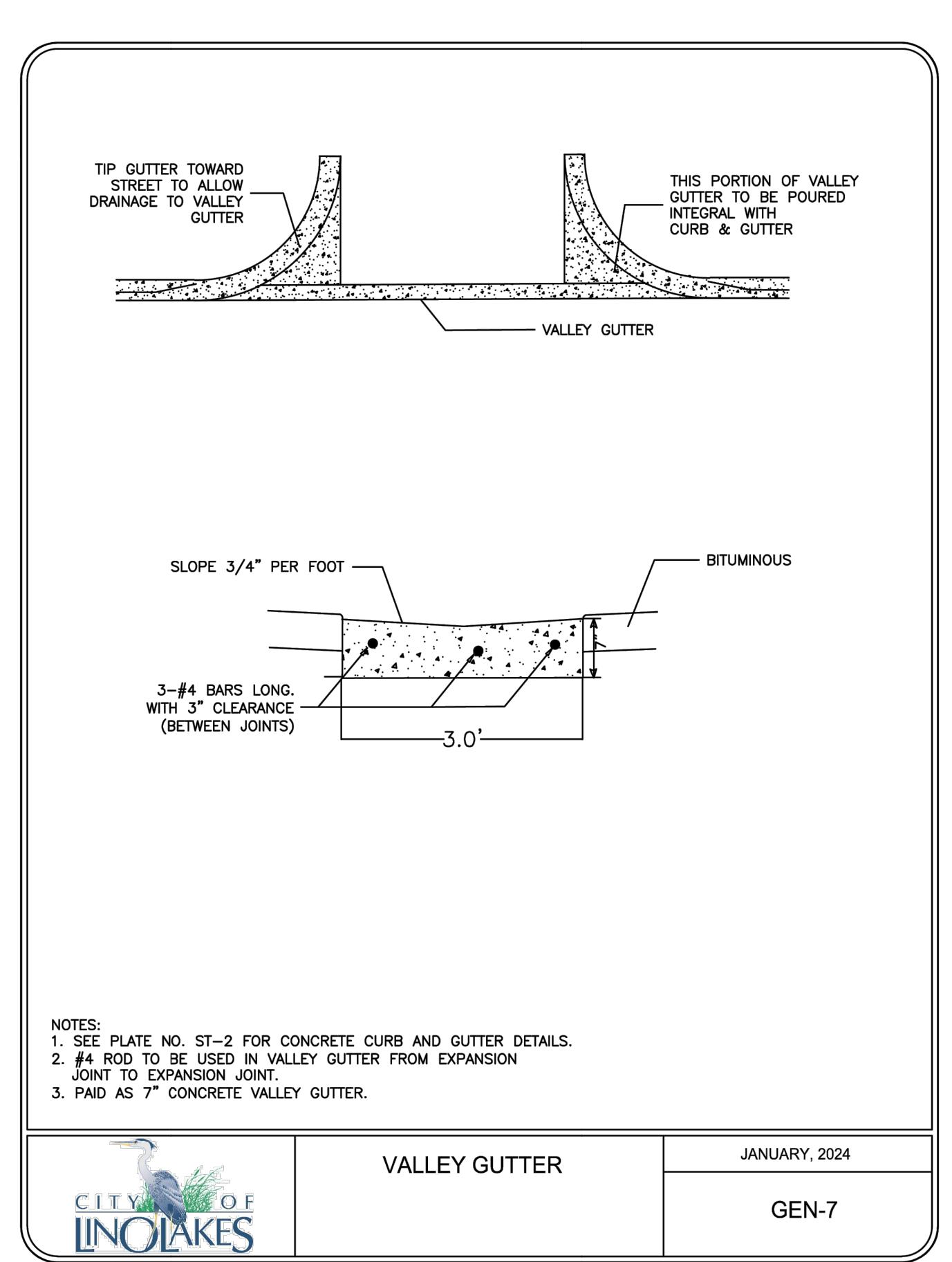
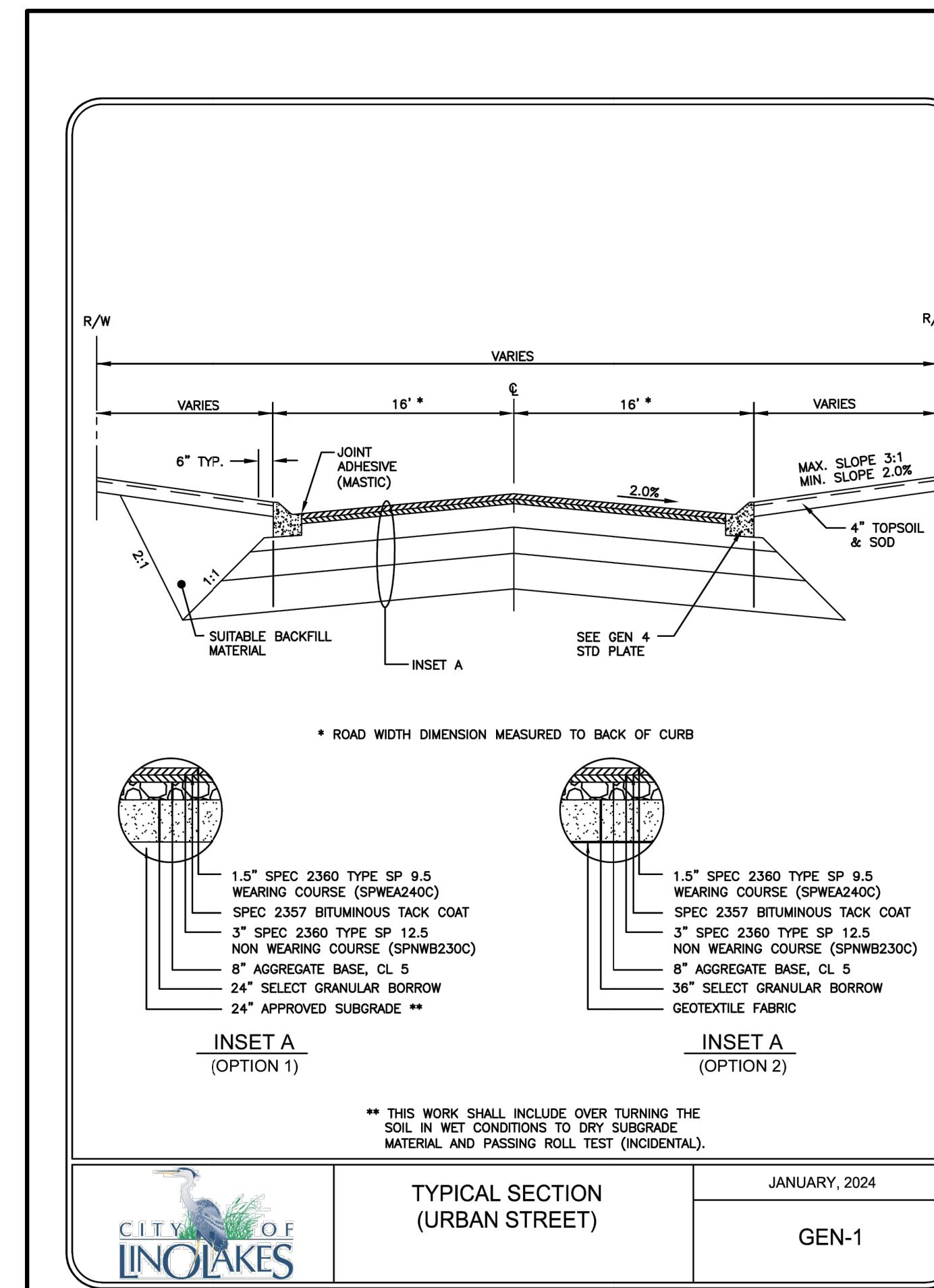
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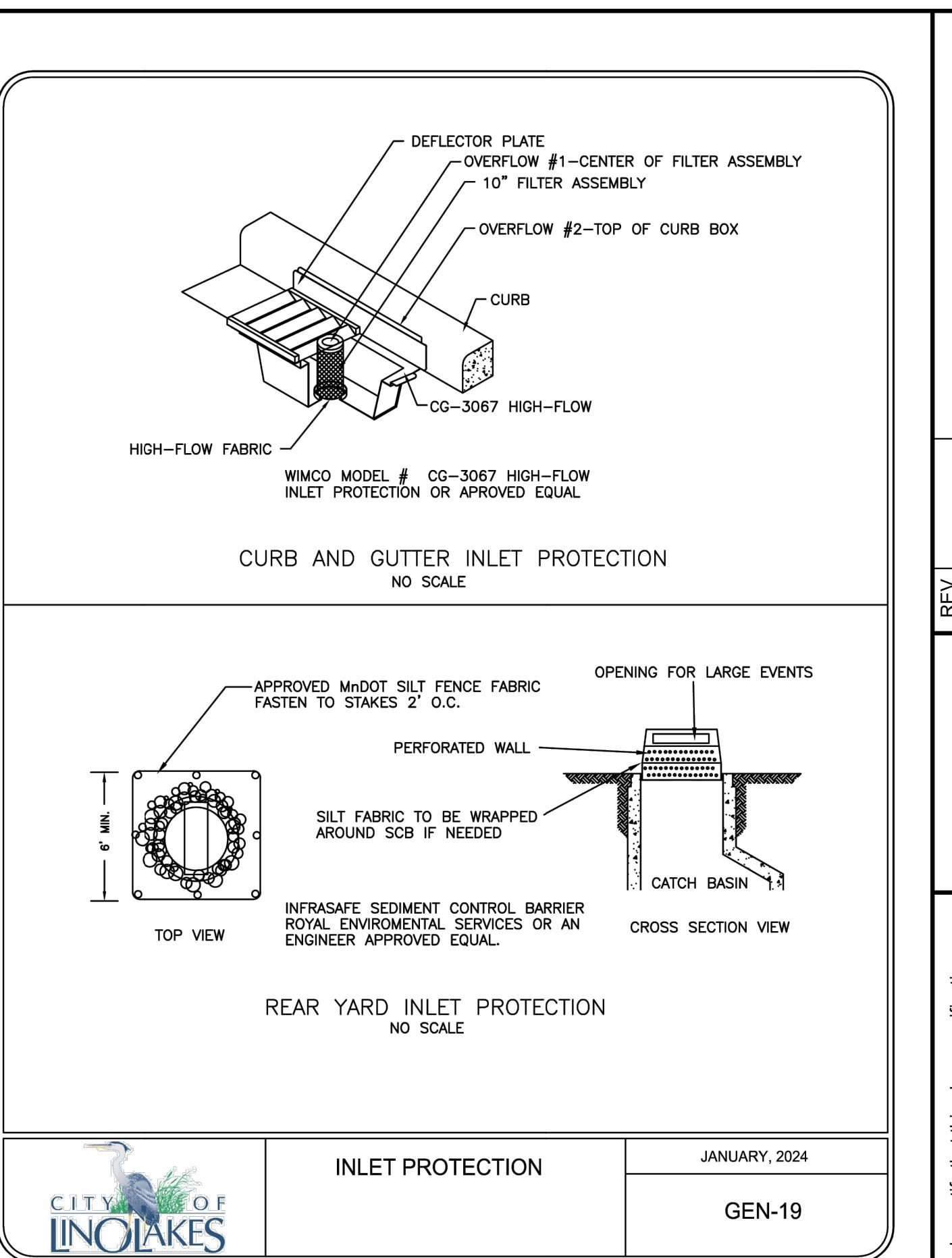
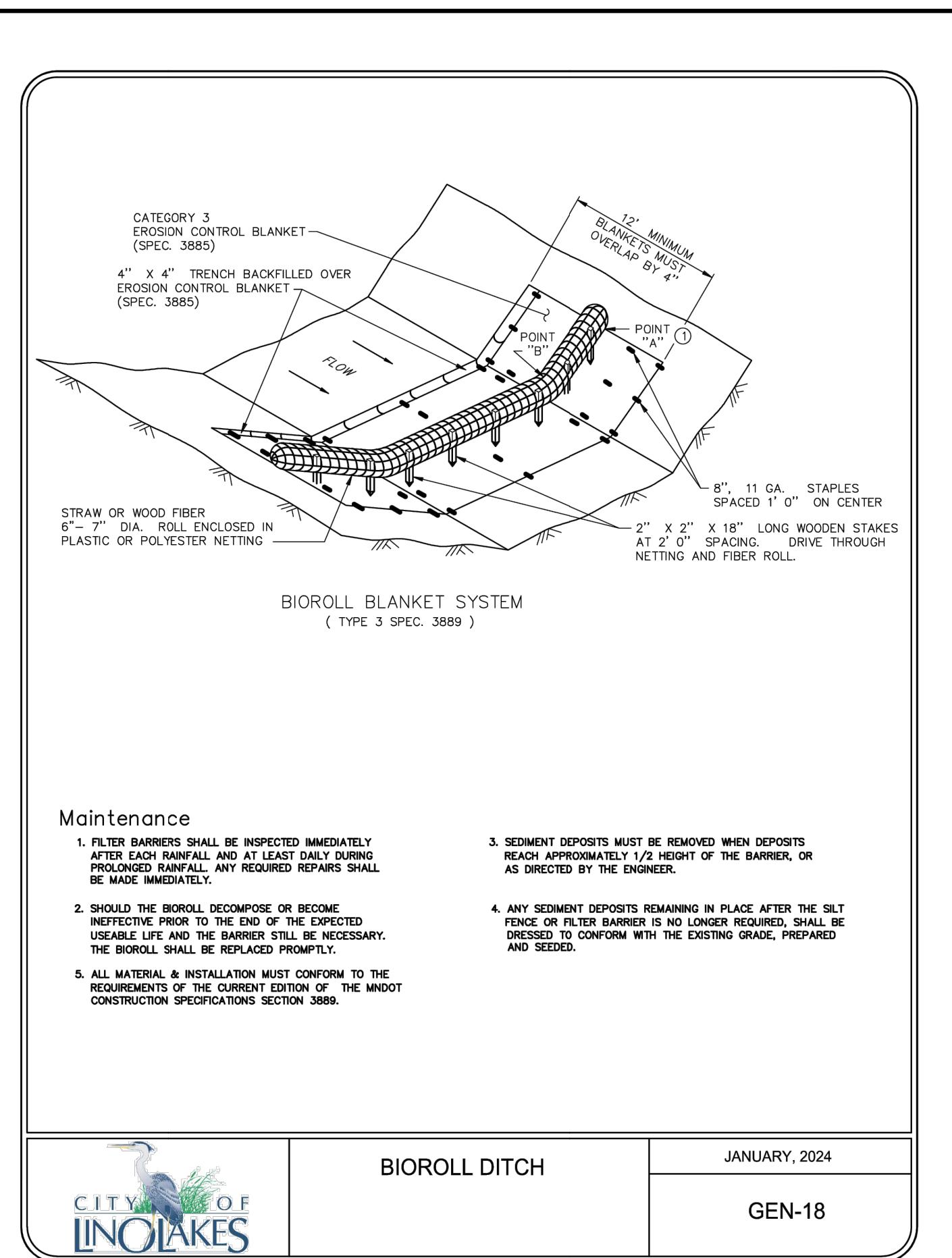
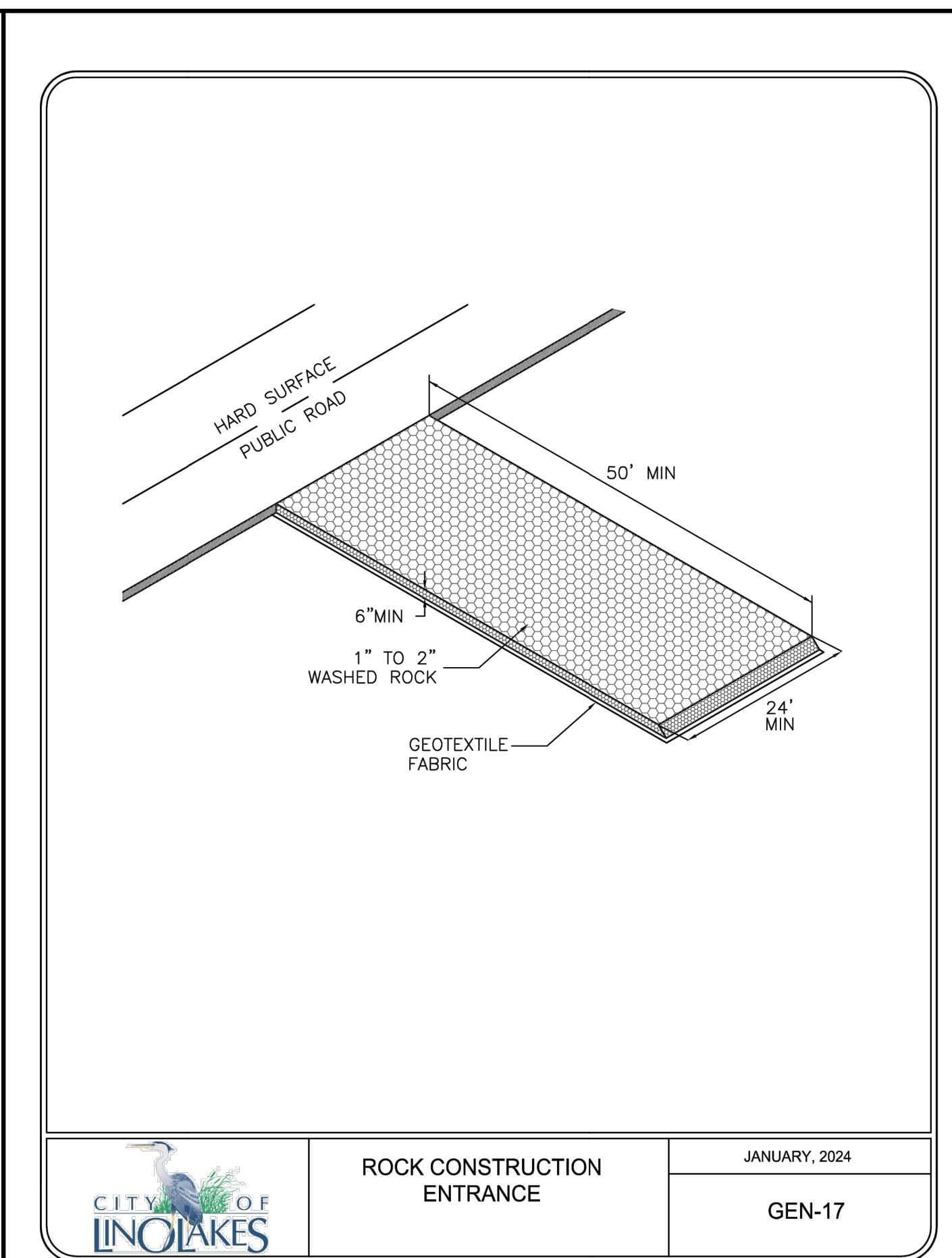
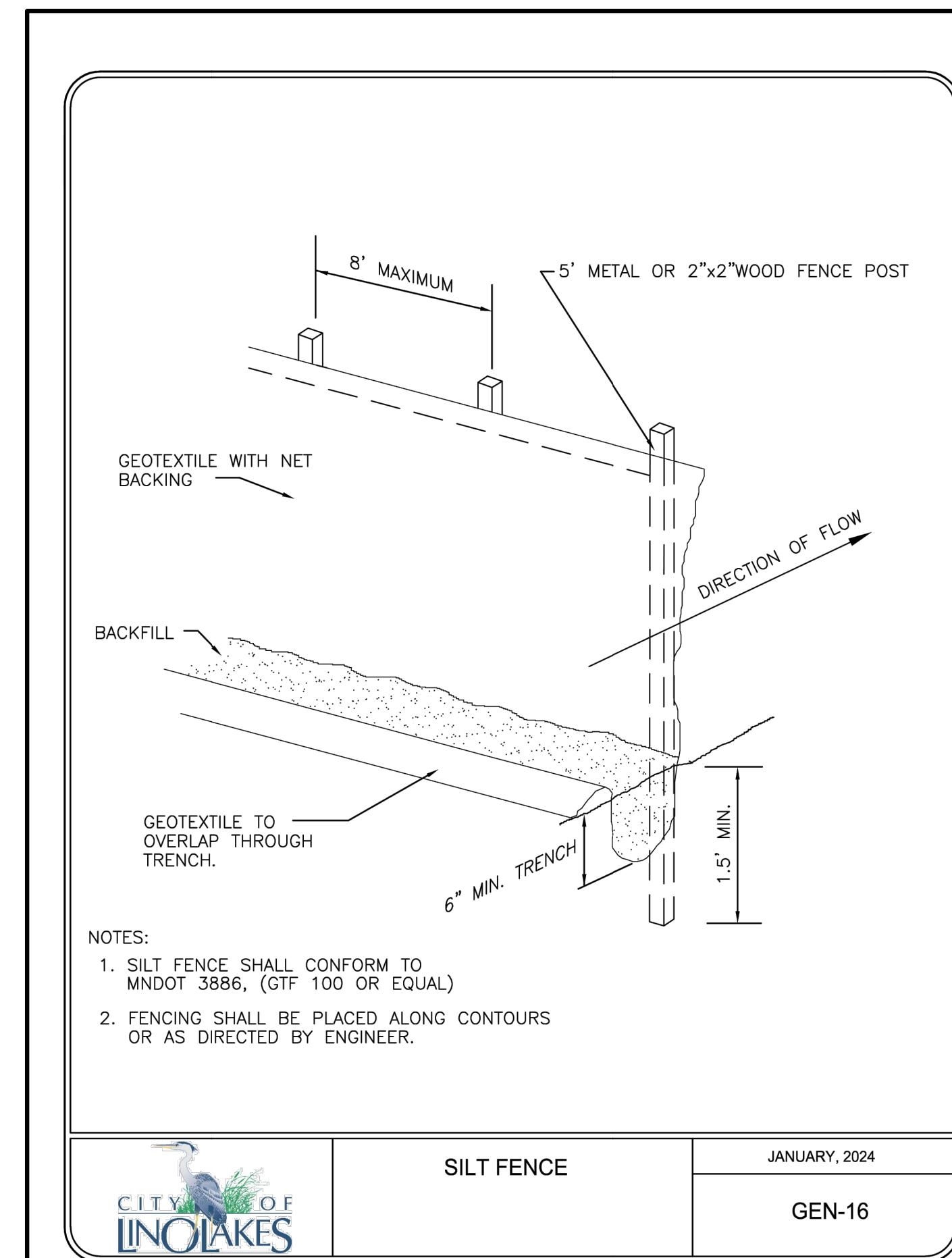
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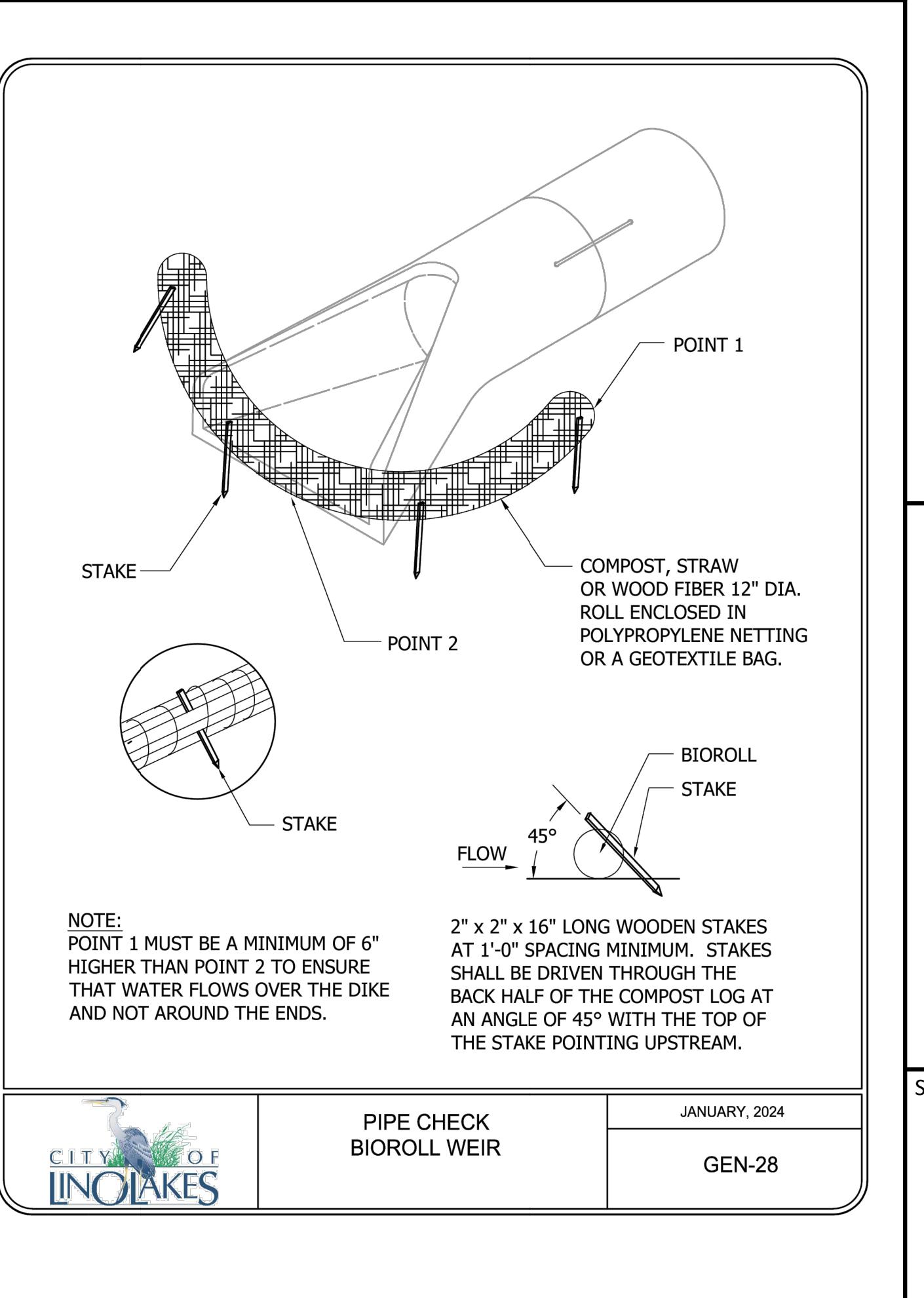
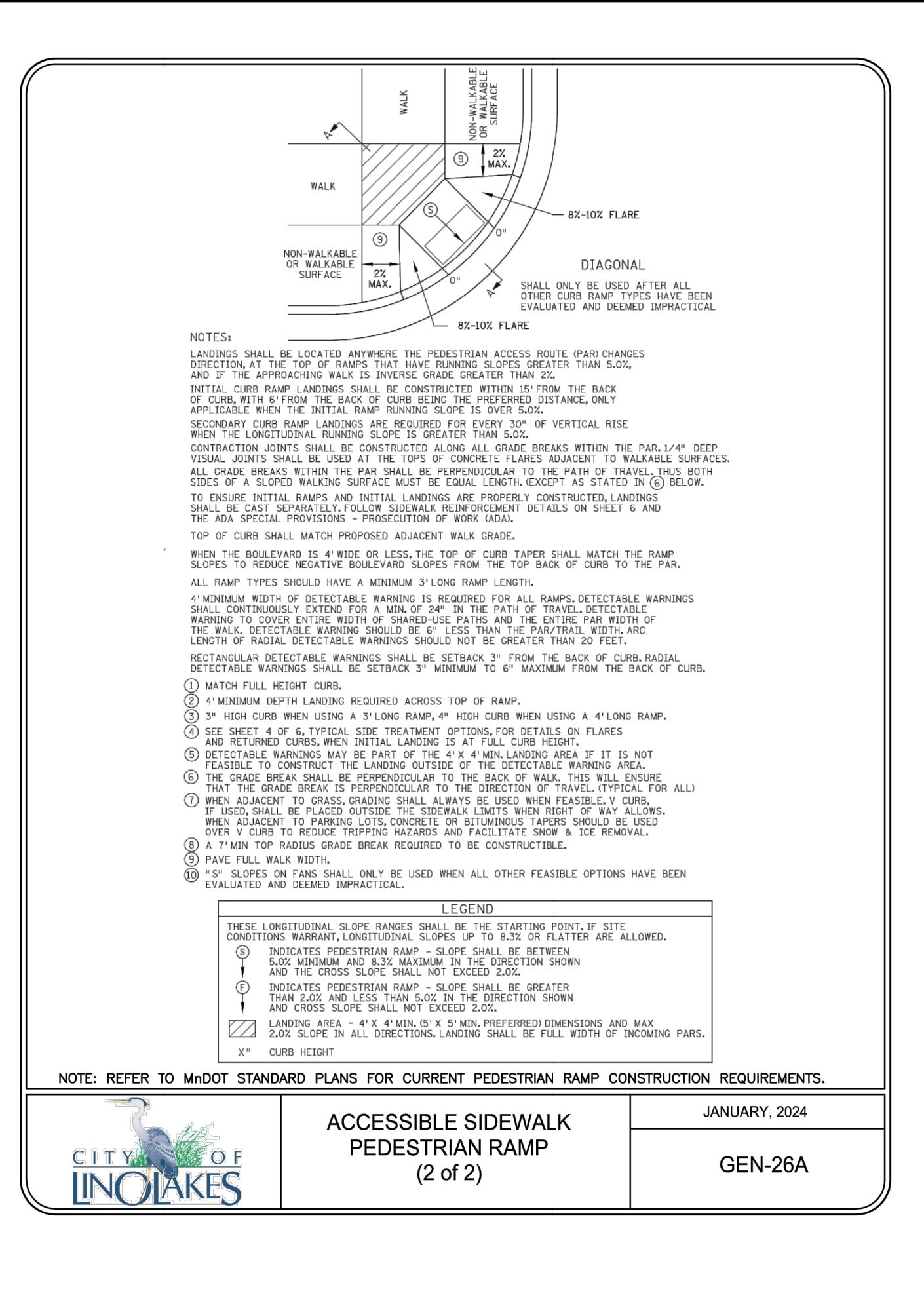
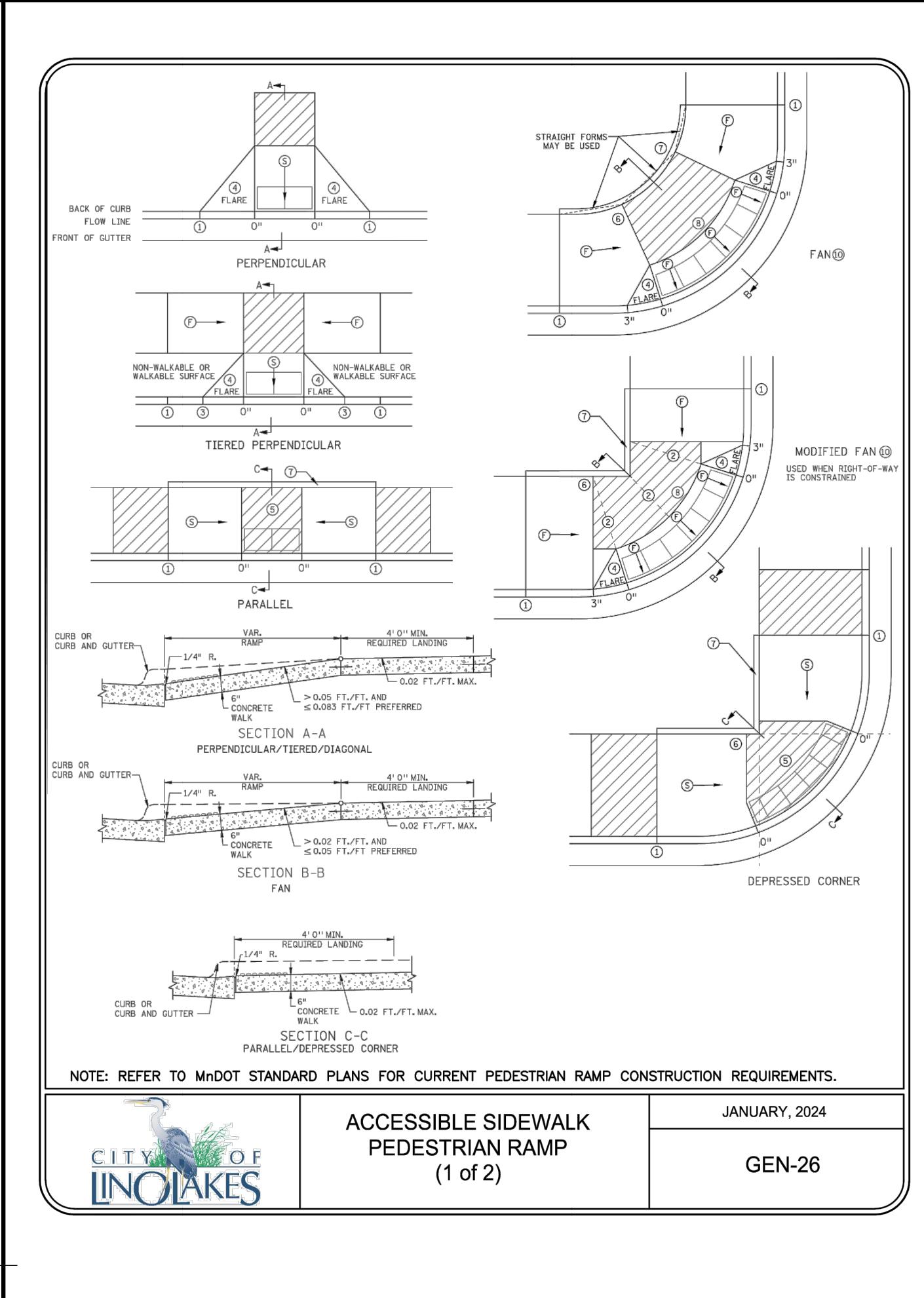
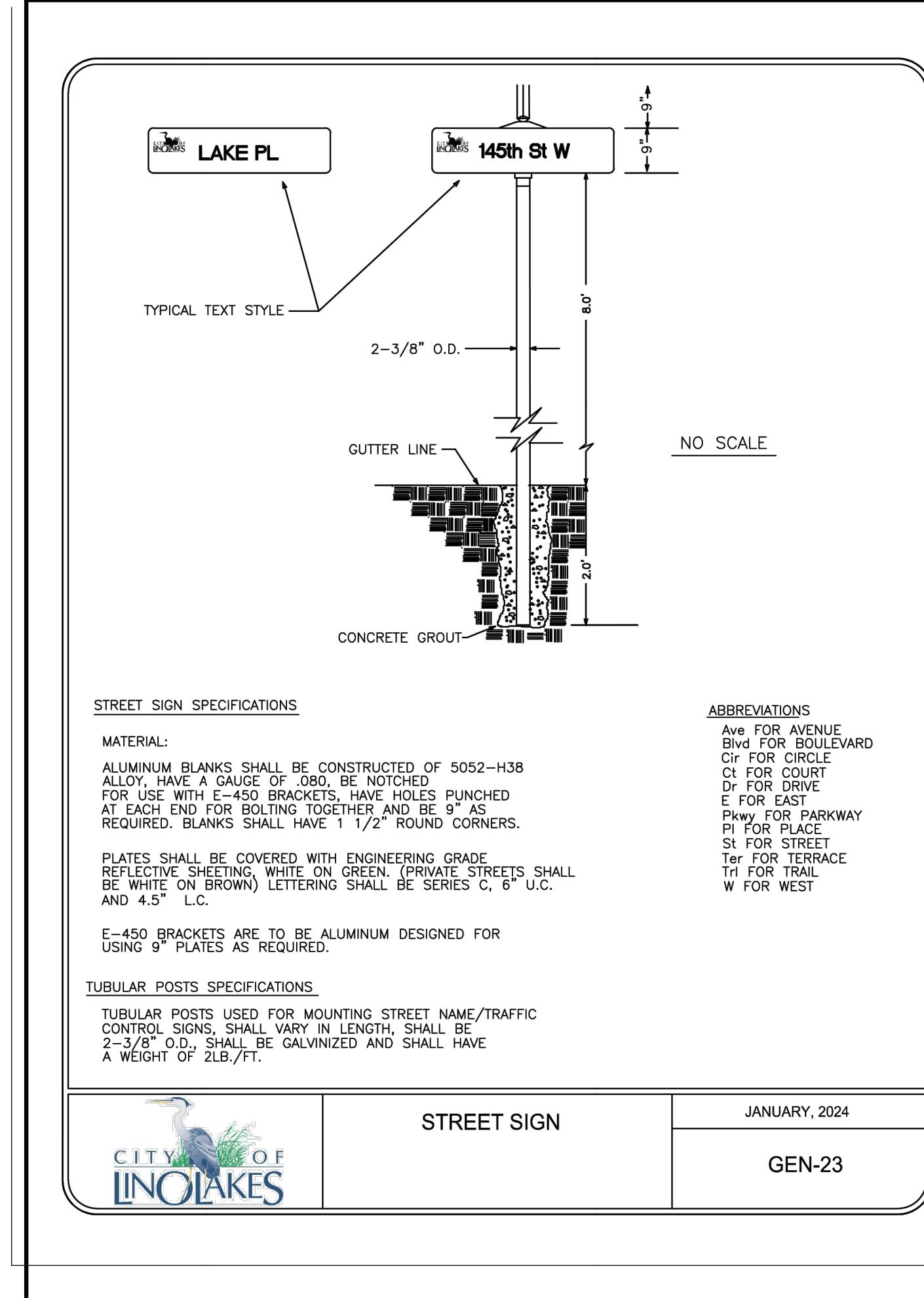




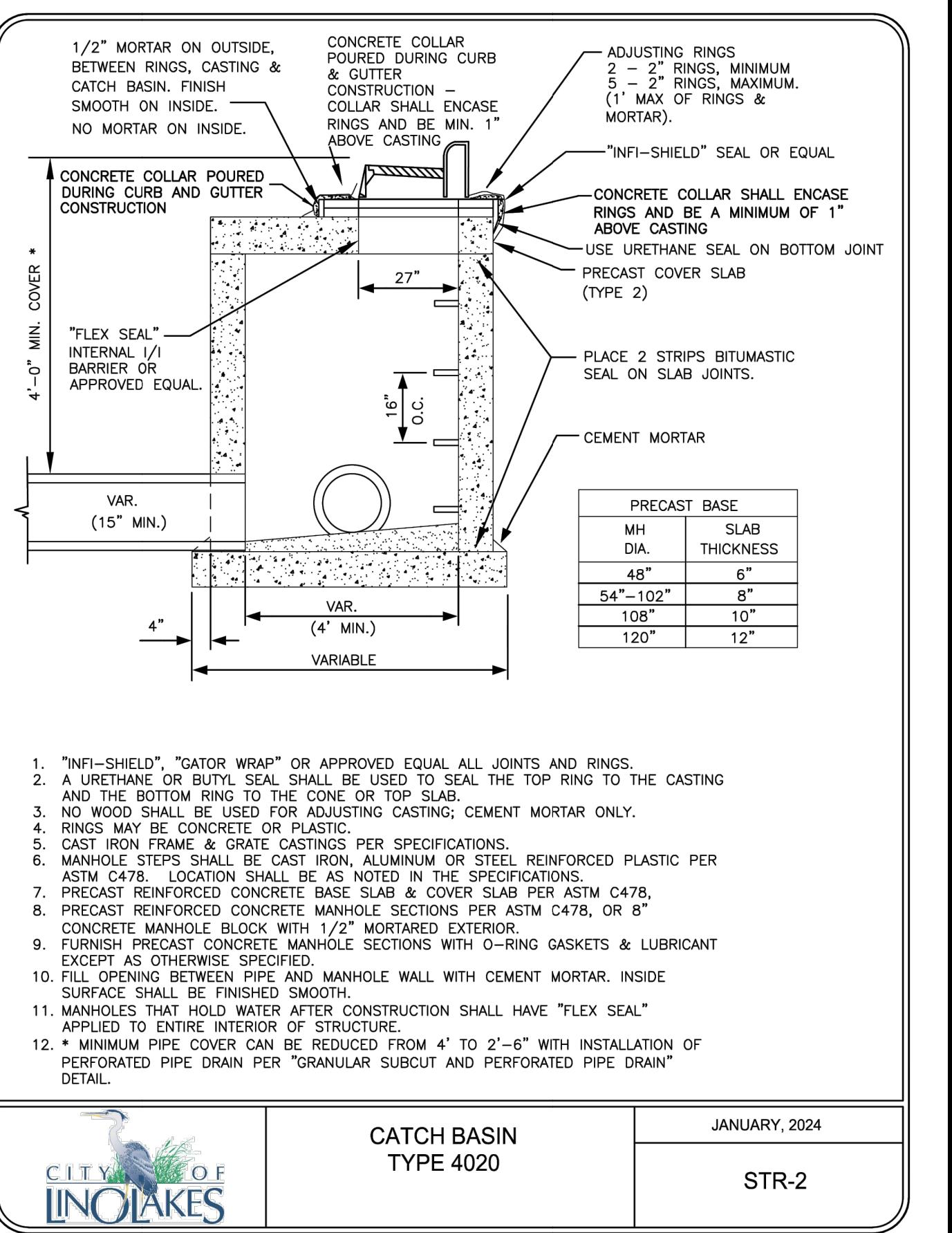
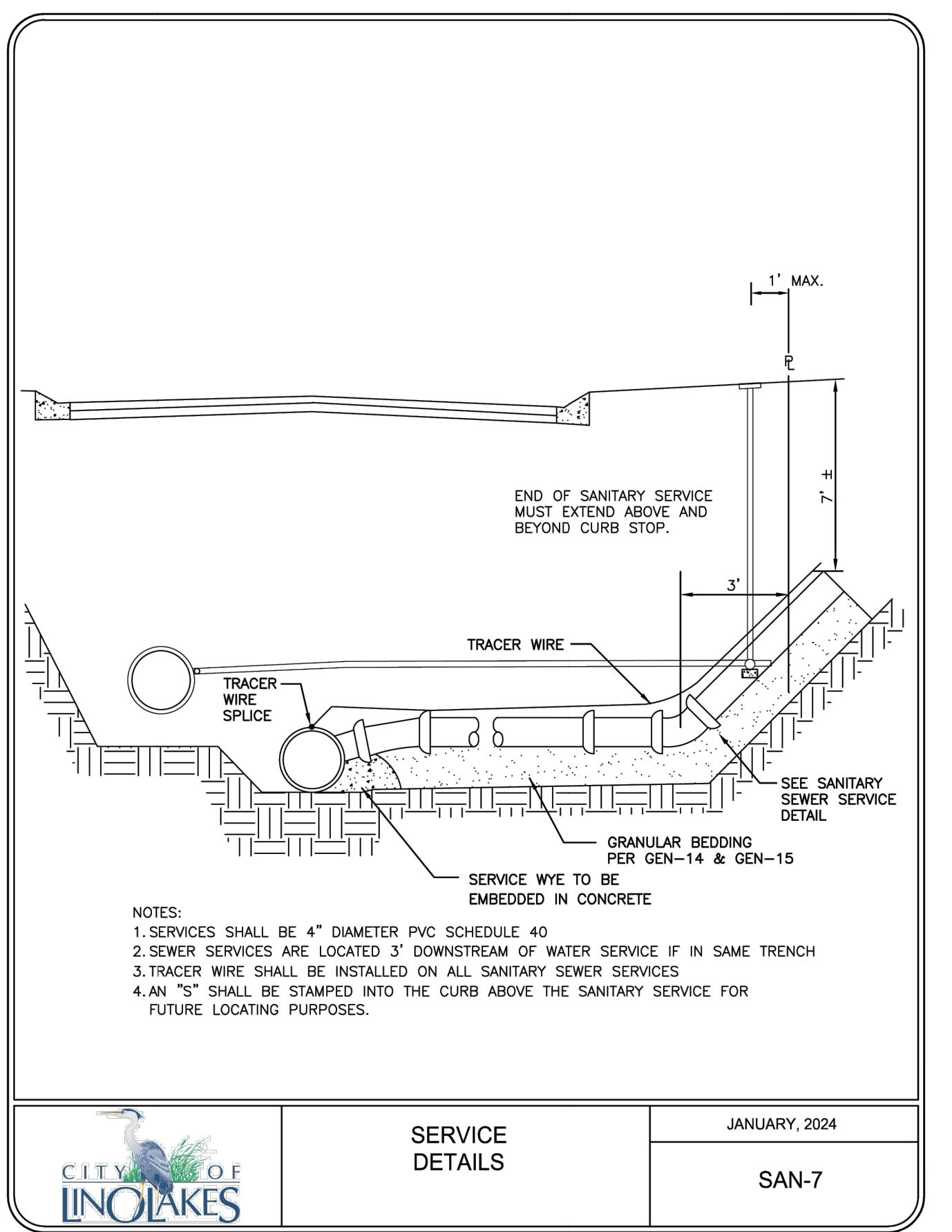
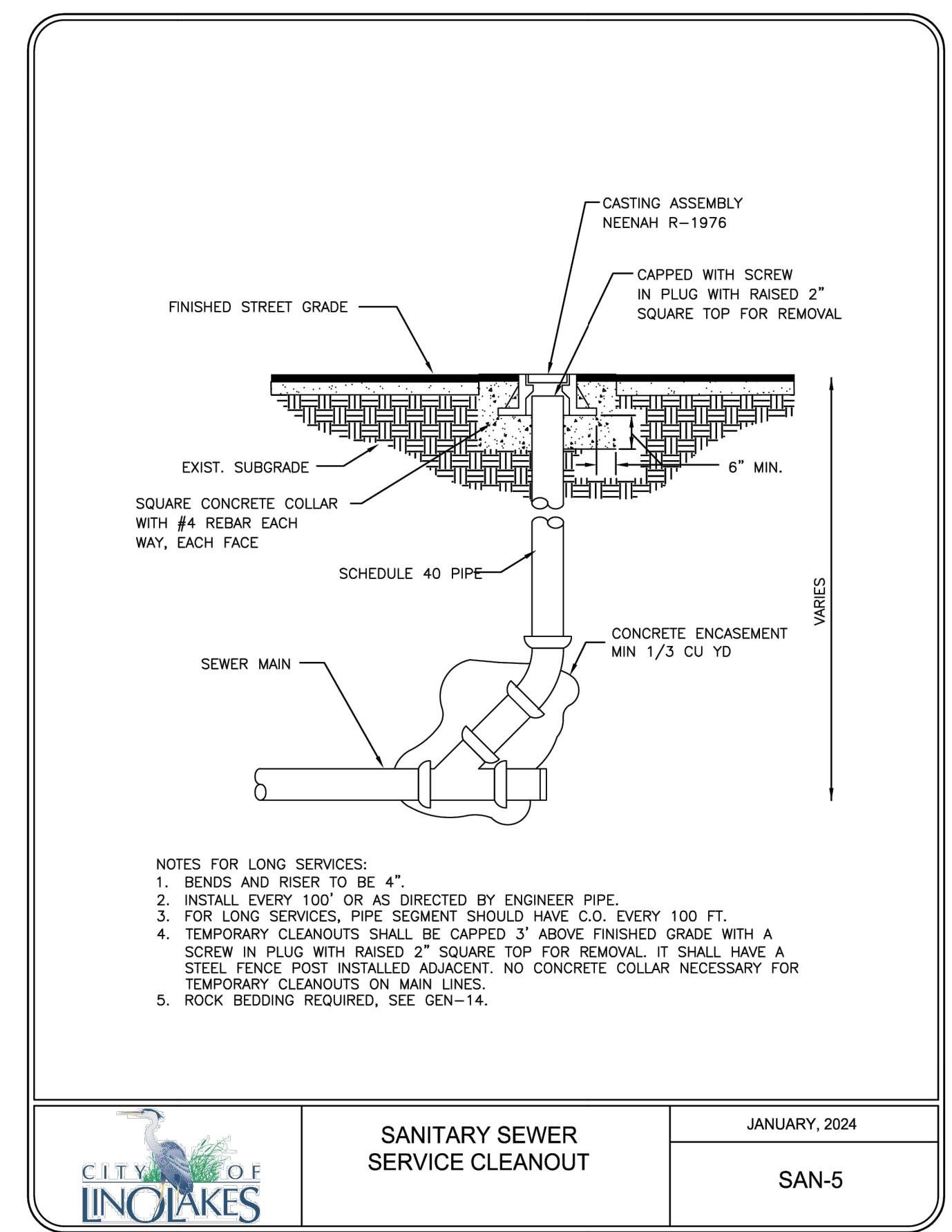
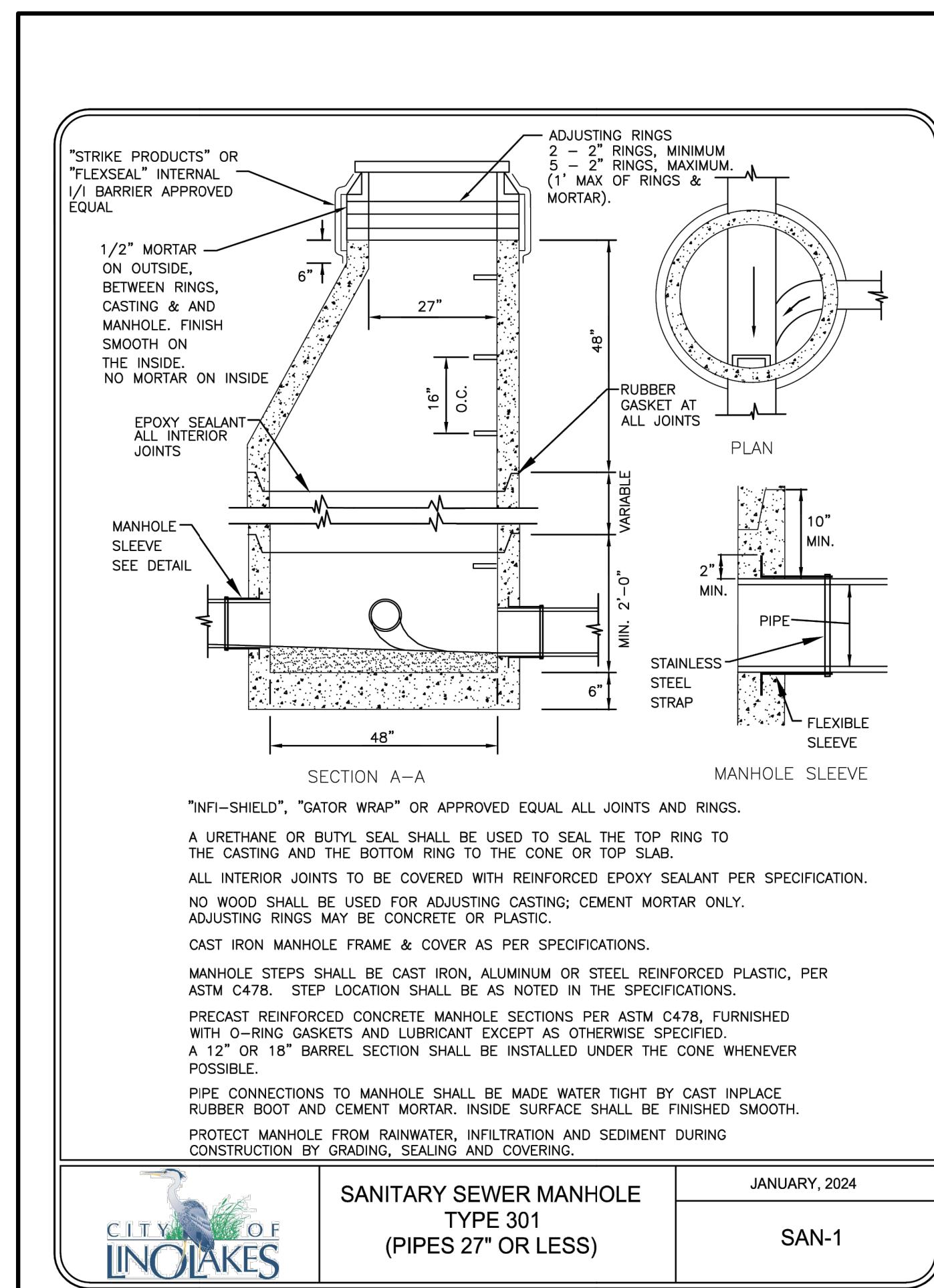




<p>Report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.</p>		DESIGN BY: <u>MJM</u>	1	02/13/2025	CHIPOTLE ONLY SET
		DRAWN BY: <u>MJM</u>	2	03/12/2025	SEEDING REVISIONS
		CHECKED BY: <u>CJD, MJM</u>	3	07/23/2025	REVISED PER CITY REVIEW
		DWG FILE: <u>DETAILS</u>	4	08/22/2025	REVISED PER CITY REVIEW
		FILE NO.: <u>24-0255.00</u>			
<p>Signed: </p>		Christopher J. Dahn			
<p>Date: <u>08/22/2025</u></p>		Lic. No. <u>58628</u>			



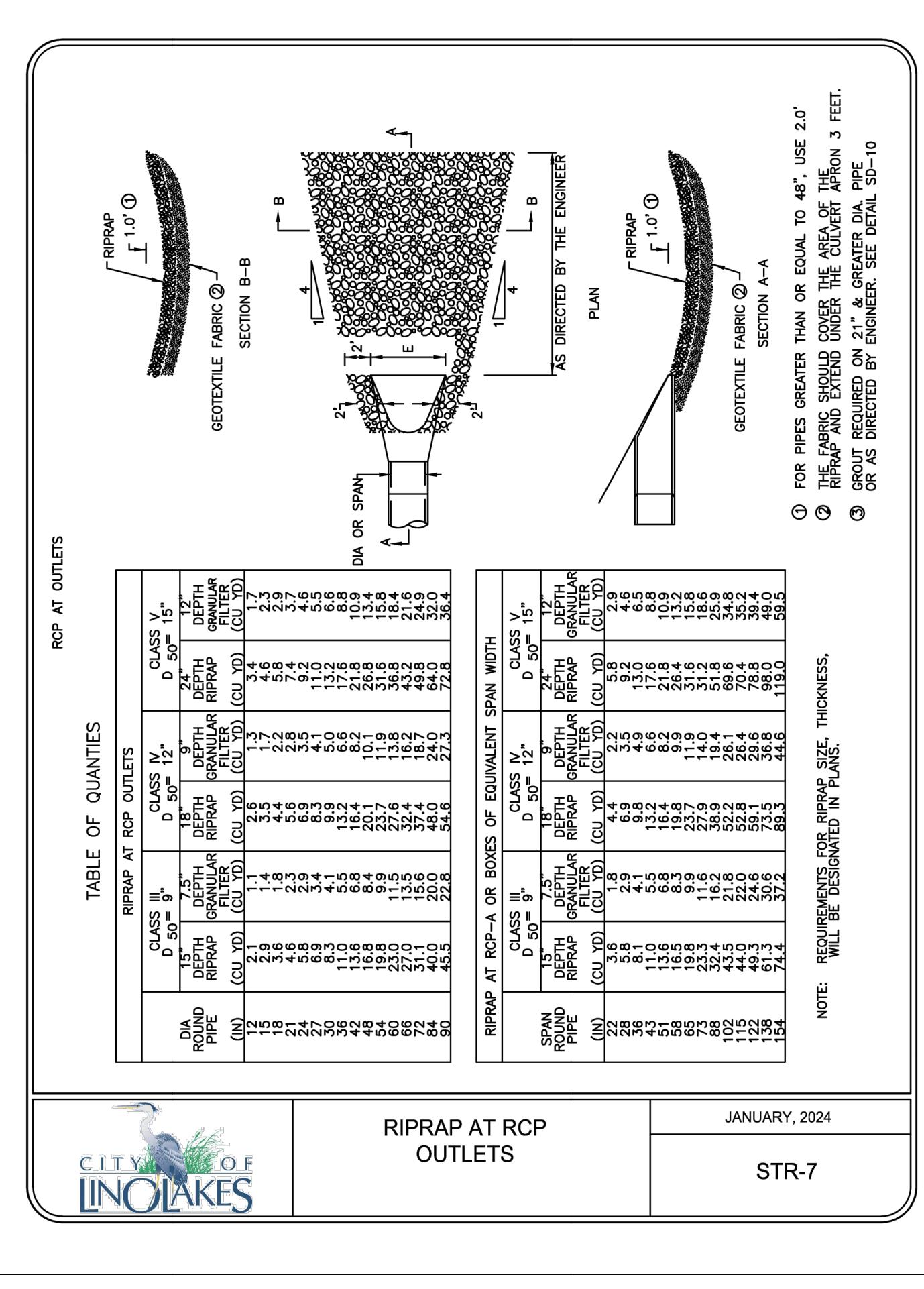
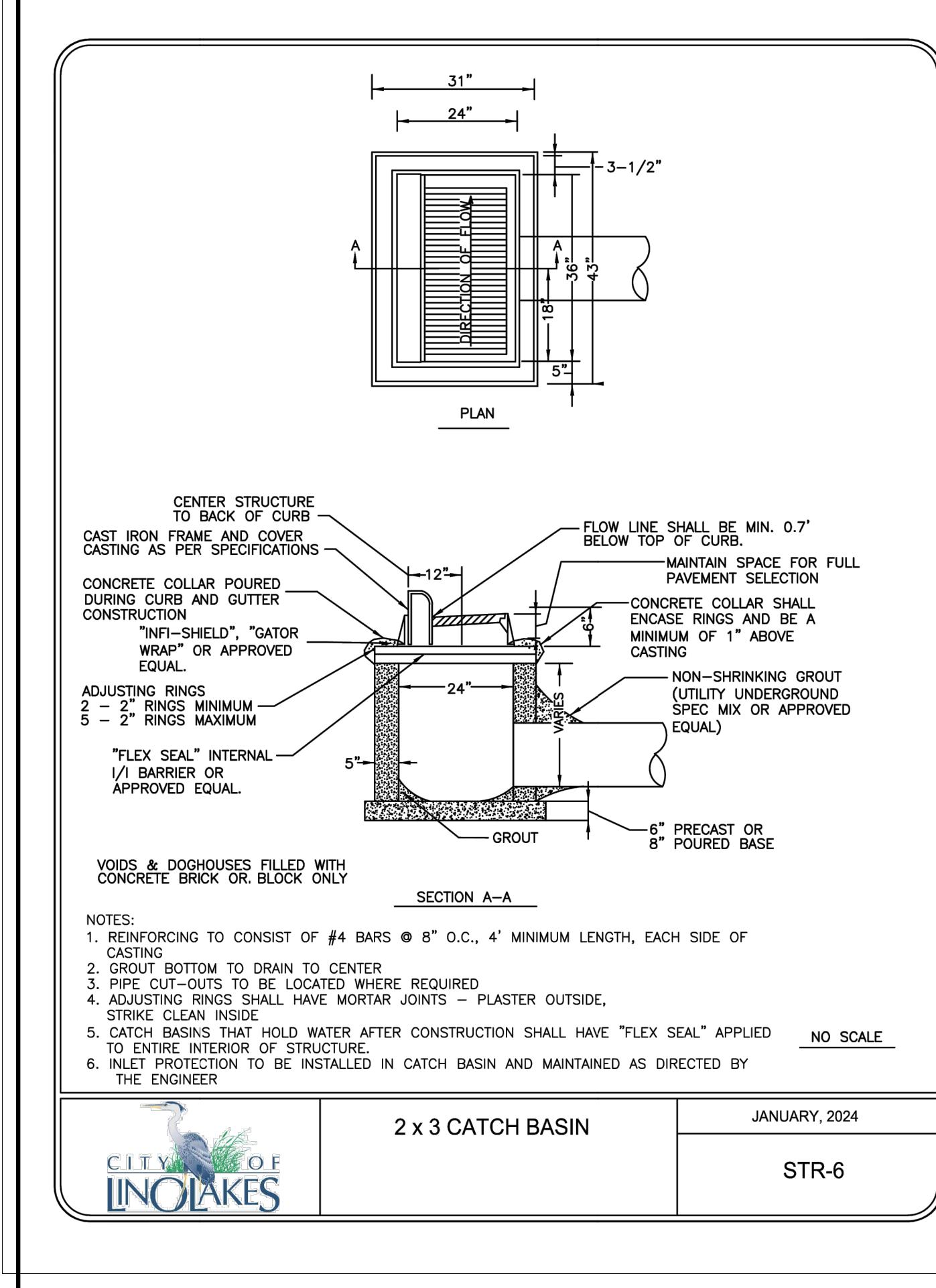
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LOT NO.		
PRELIMINARY PLANS CAPITAL REAL ESTATE		
City of Lino Lakes, Anoka County, MN		
DETAILS		
 <p>BOGART, PEDERSON & ASSOCIATES, INC.</p> <p>LAND SURVEYING CIVIL ENGINEERING ENVIRONMENTAL SERVICES</p> <p>13076 FIRST STREET, BECKER, MN 55308-9322 TEL: 763-262-8822 FAX: 763-262-8844</p>		

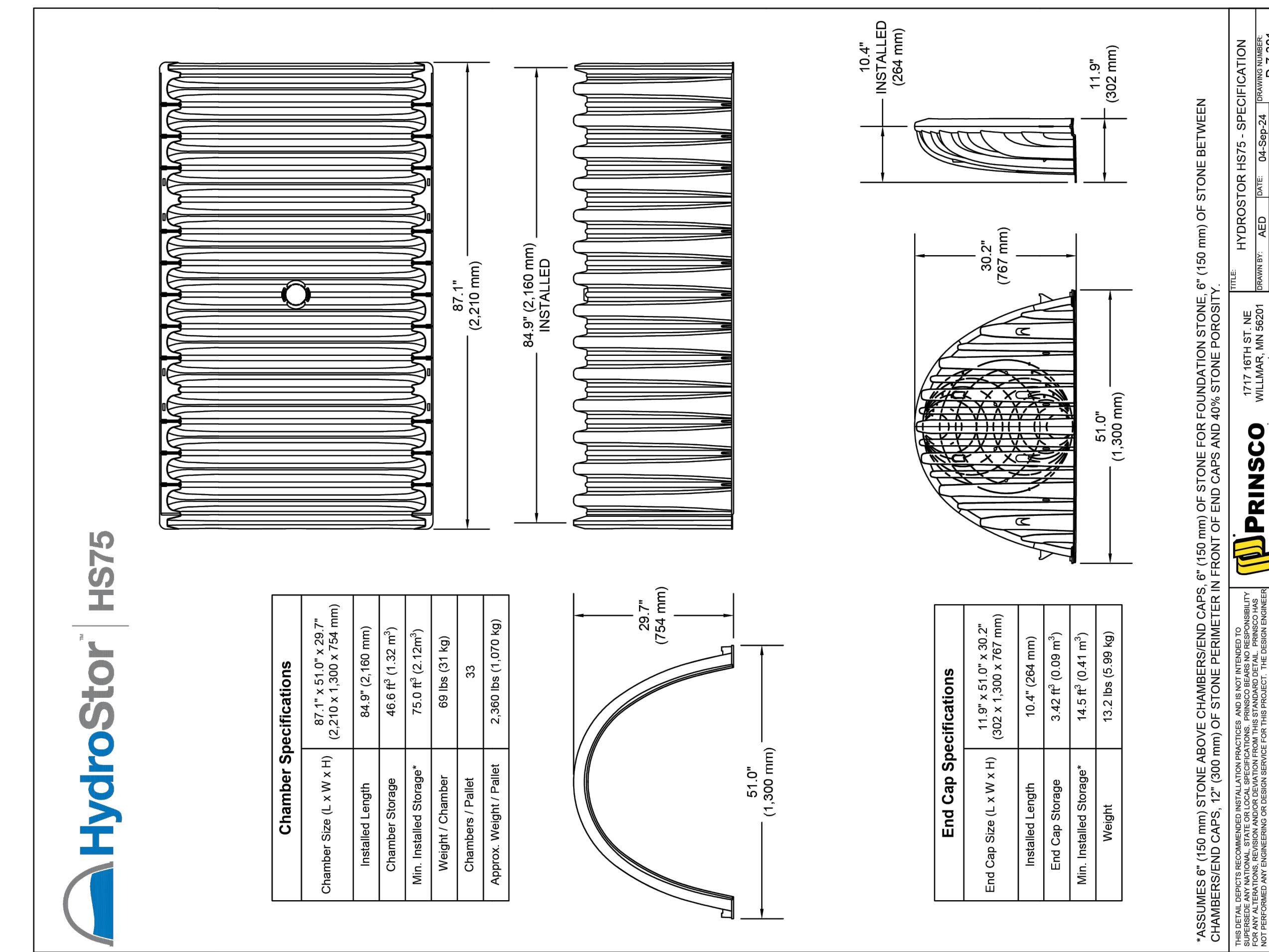
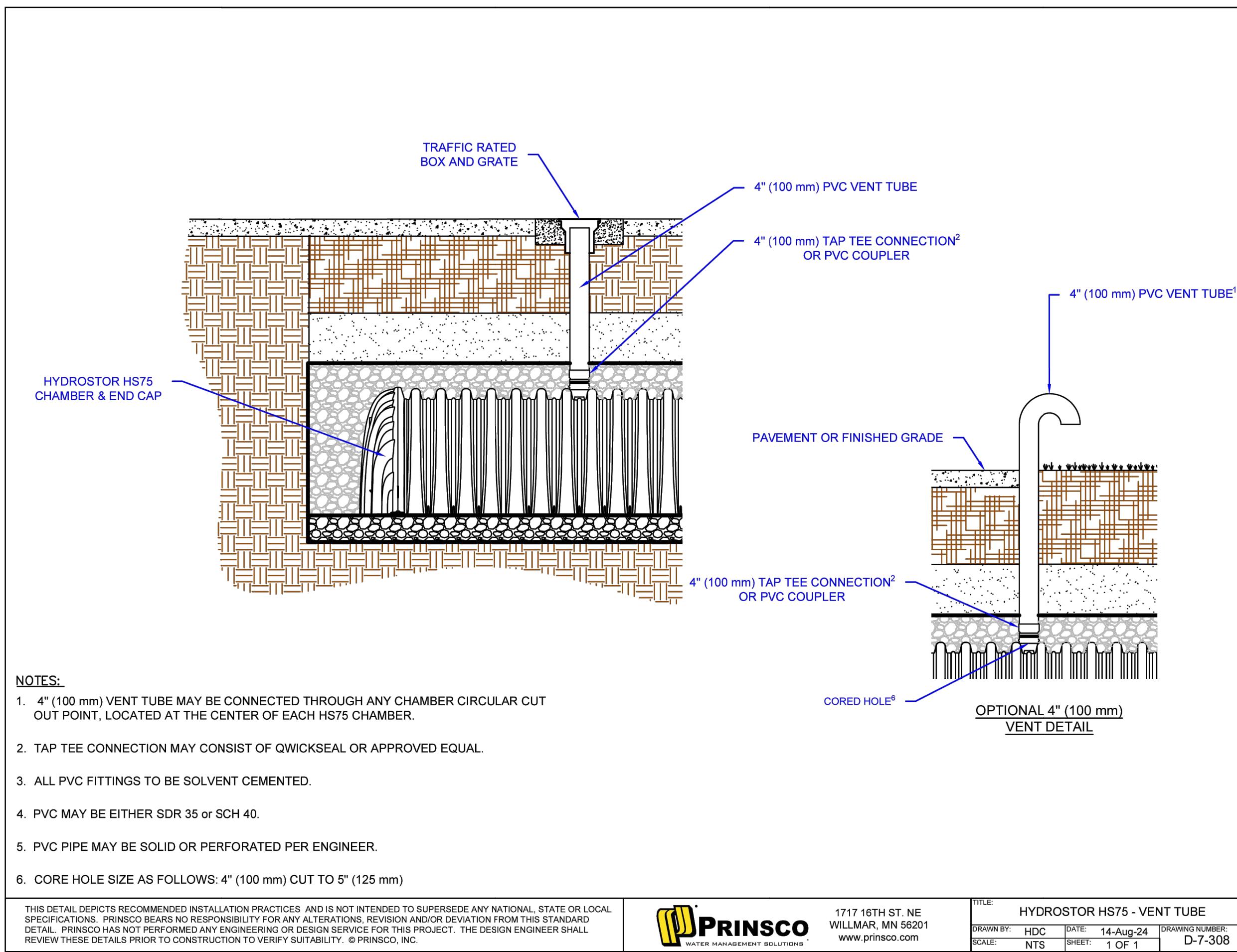
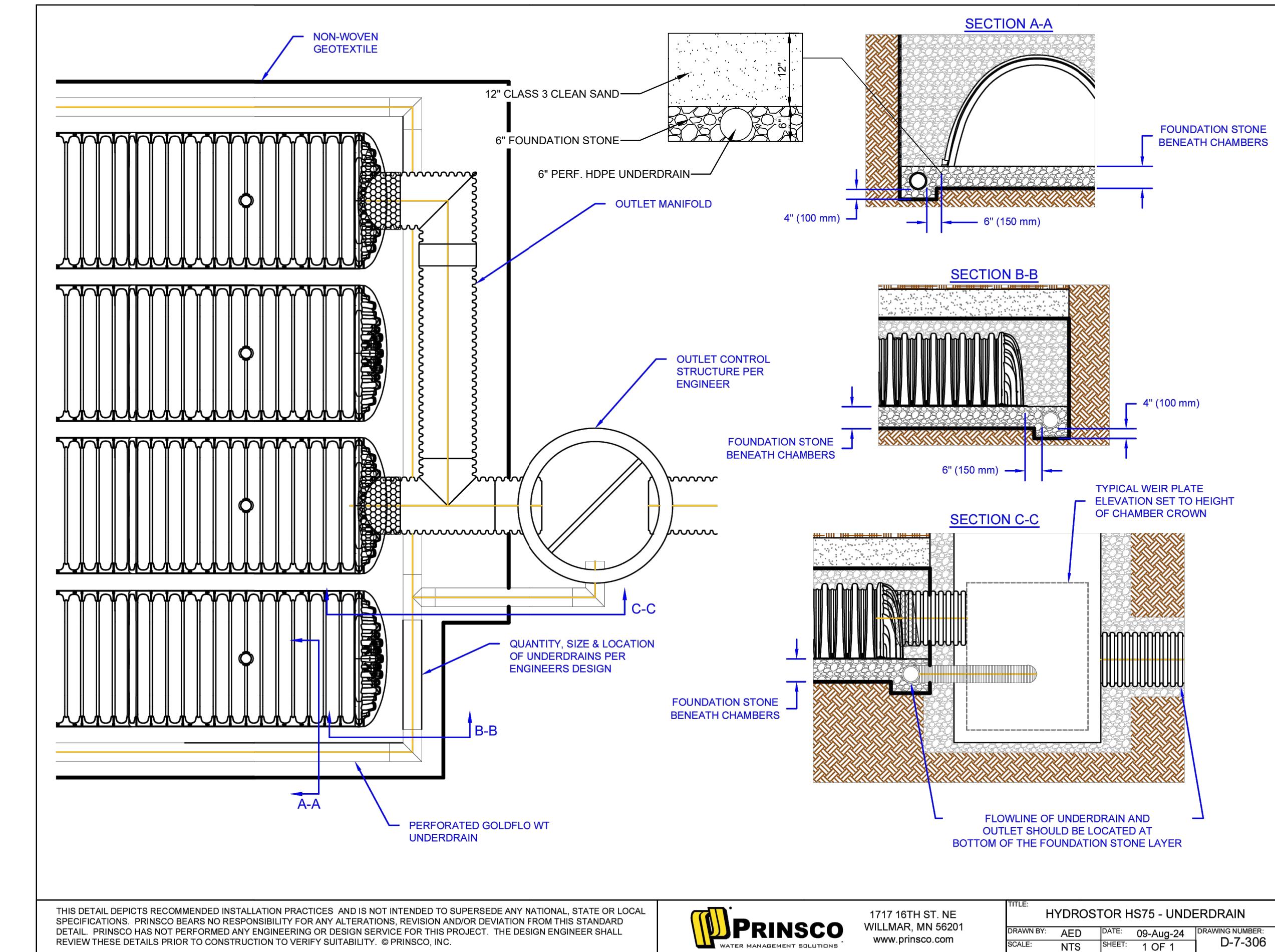
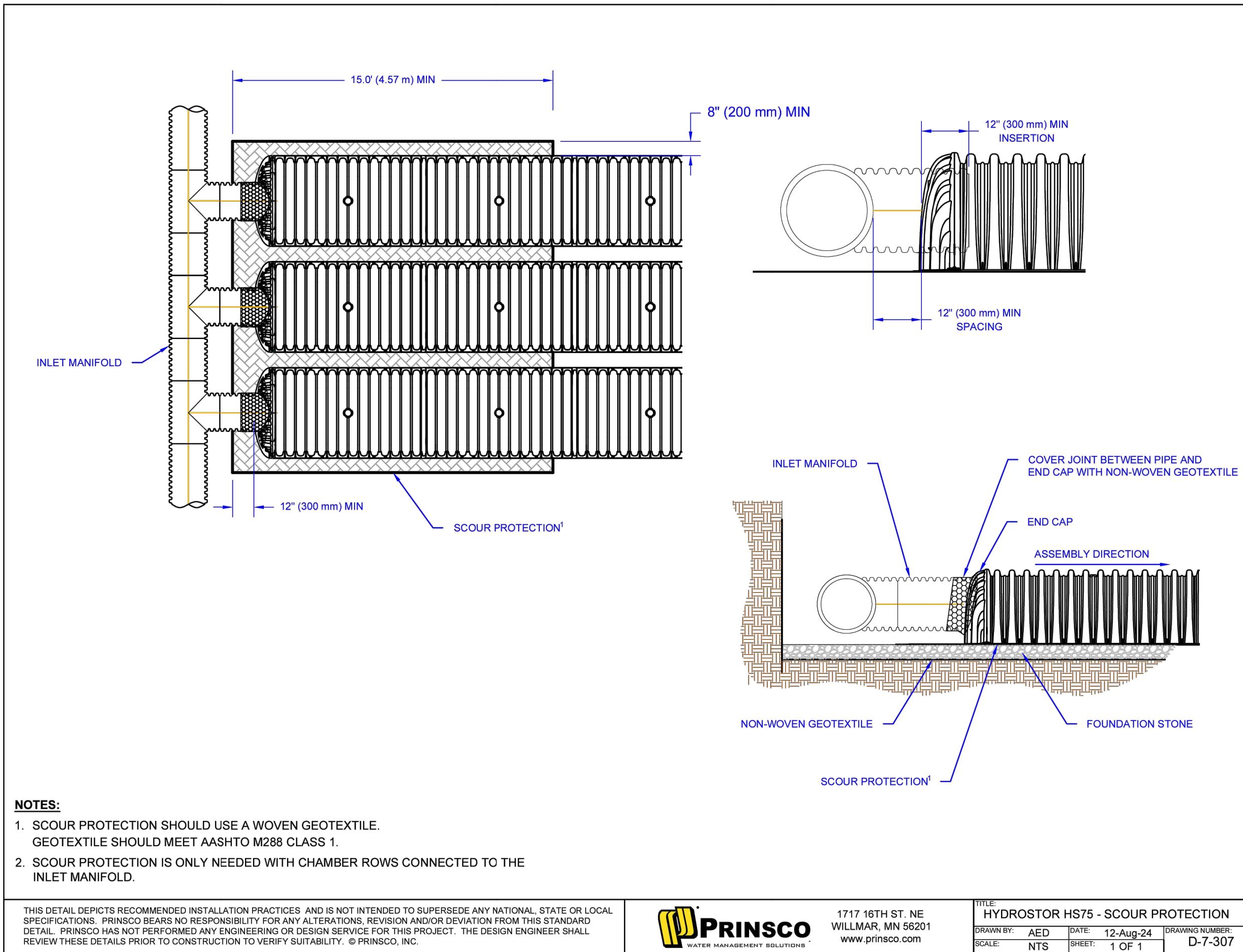


DATE:	08/22/2025	REV. NO.:	1	DATE:	02/12/2025	DESCRIPTION:
DESIGN BY:	CJD, MAN			DRAWN BY:	CJD, MAN	CHIPOTLE ONLY SET
REVISIONS:				SEEING REVISIONS:		SEEING REVISIONS
REVIEWED:				REVIEWED PER CITY REVIEW:		REVIEWED PER CITY REVIEW
REvised:				REvised:		REvised PER CITY REVIEW
FILE NO.:	24-025-00			FILE NO.:		

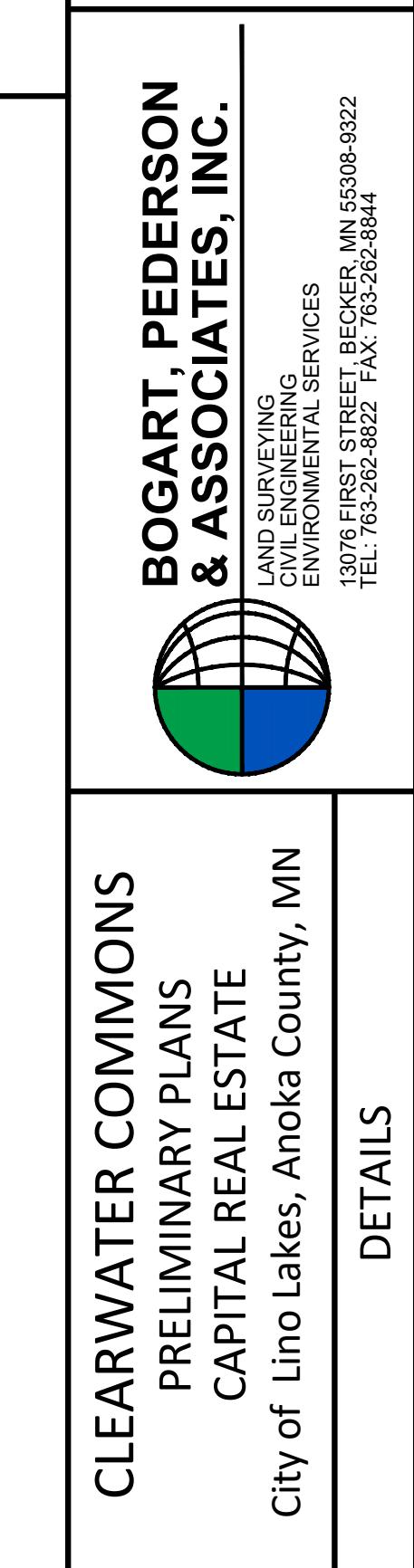
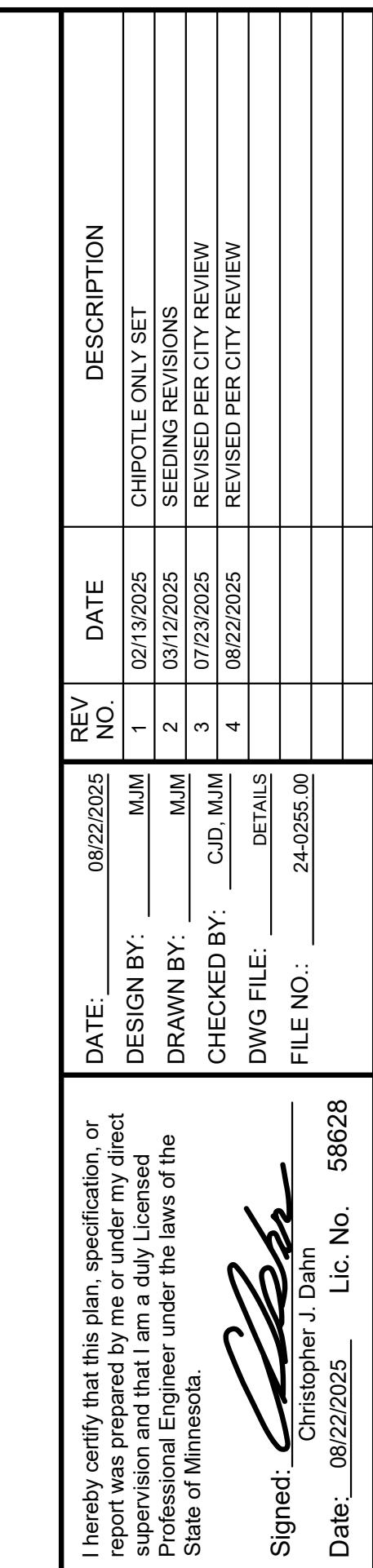
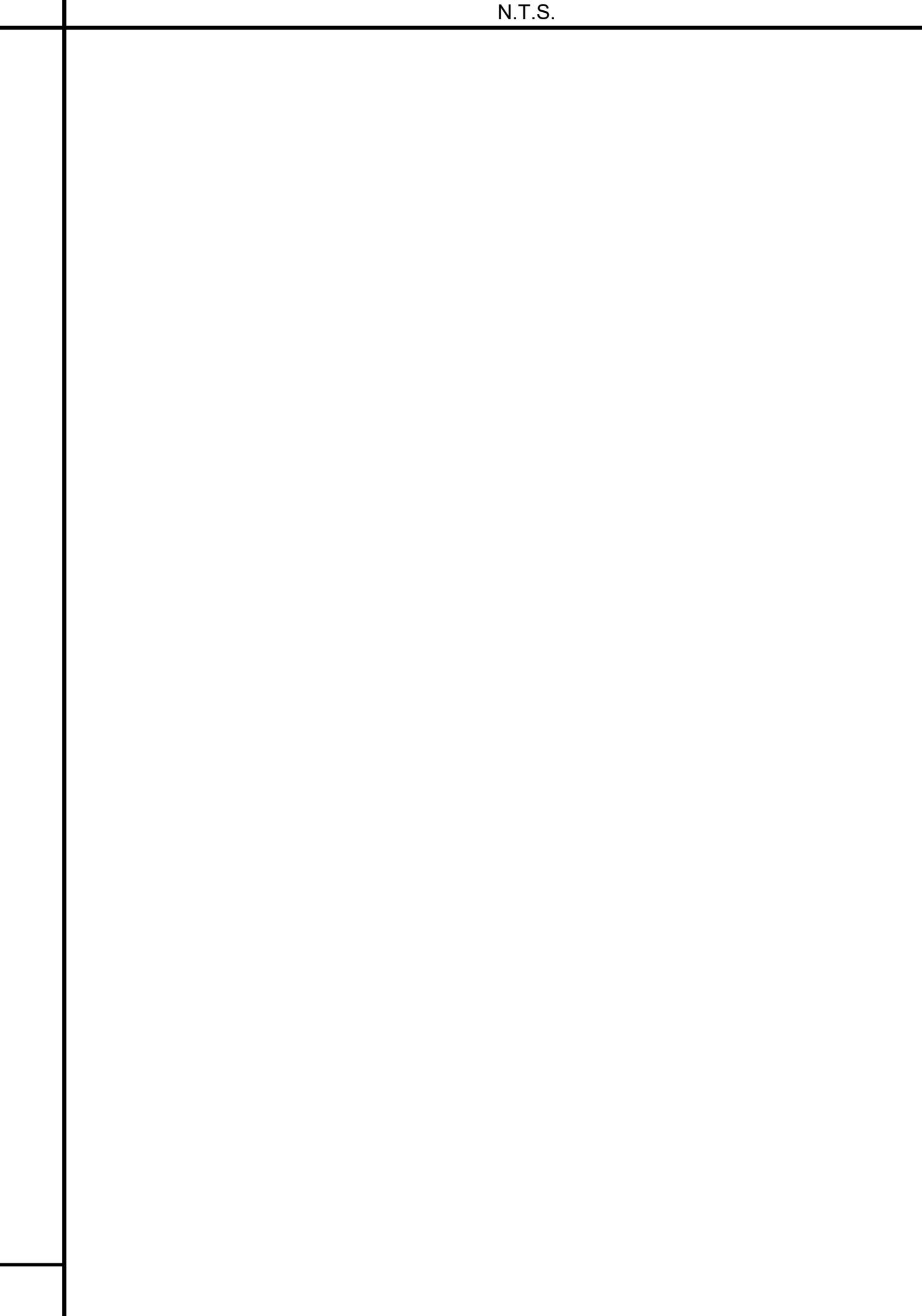
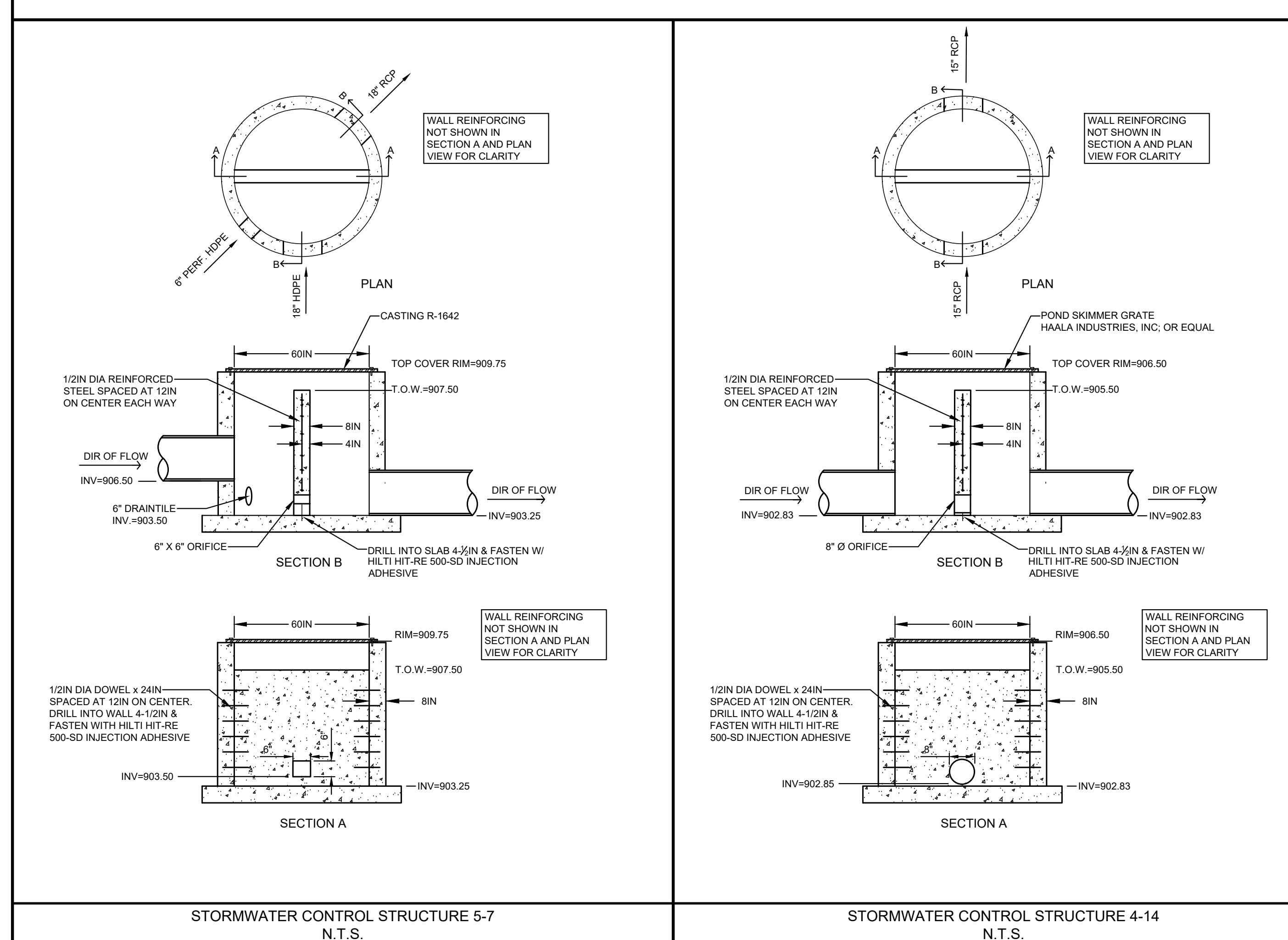
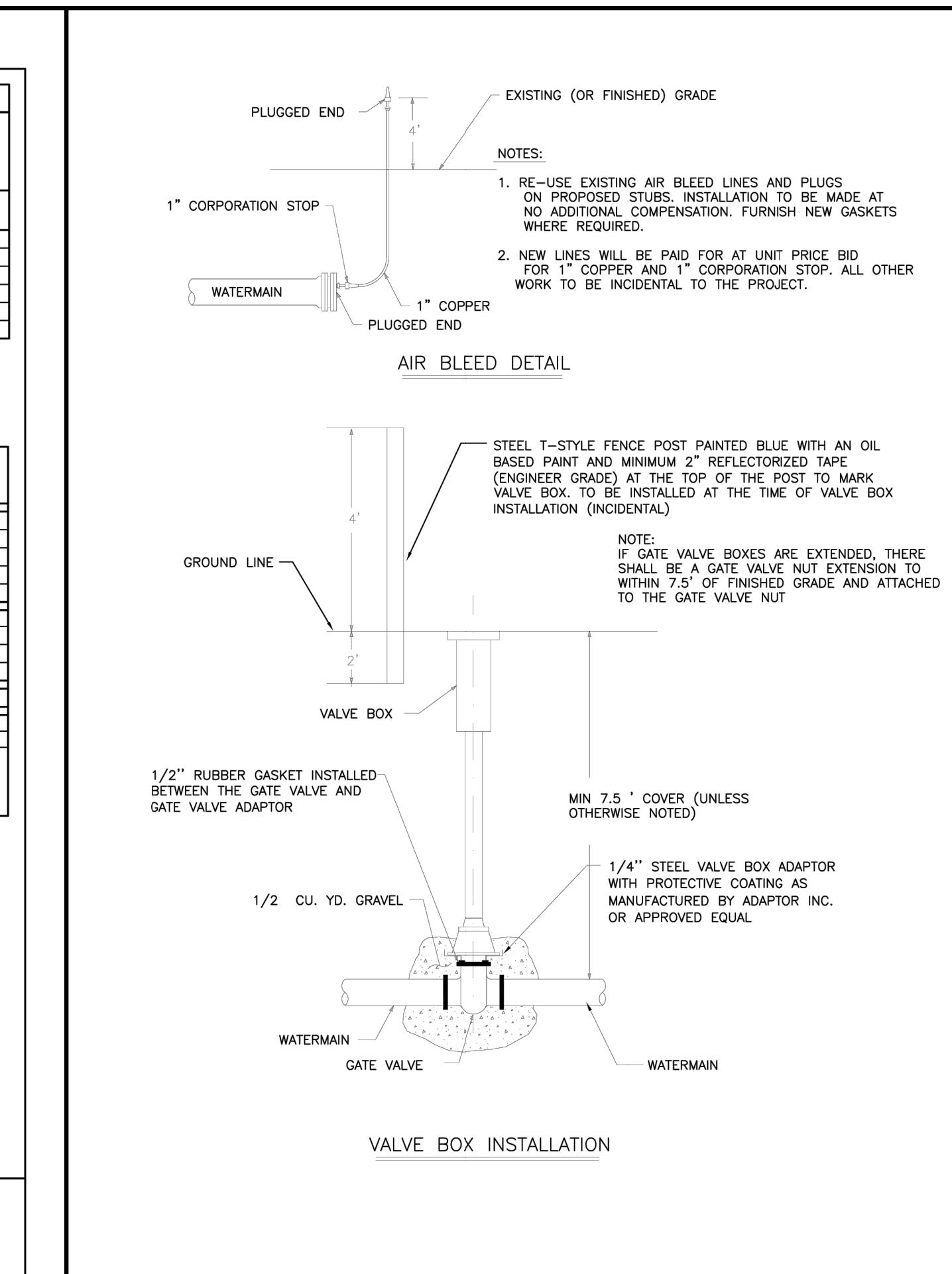
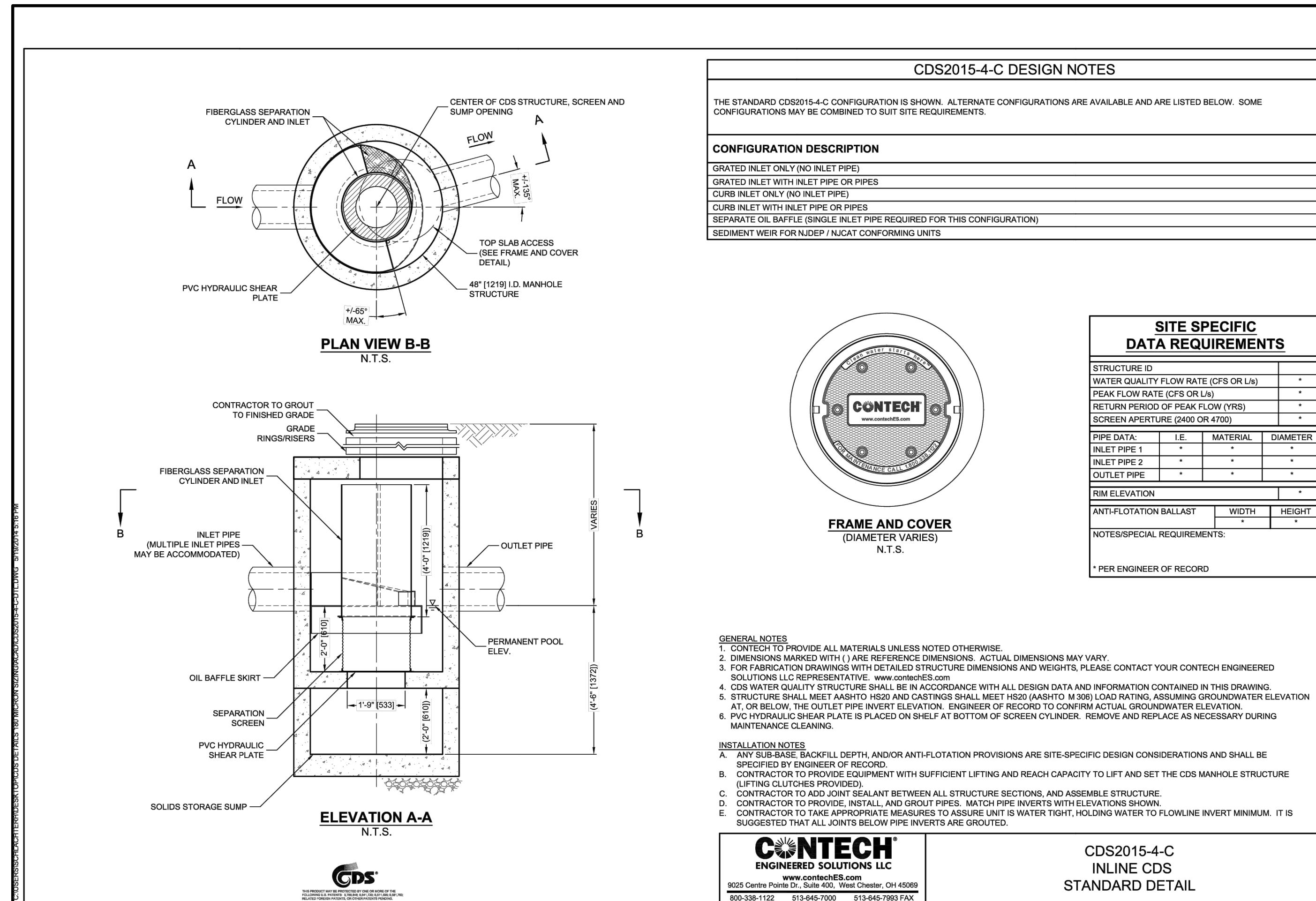
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Signed: *Christopher J. Dahn* **Lic. No.** 58628 **Date:** 08/22/2025





SHEET NO.	CLEARWATER COMMONS PRELIMINARY PLANS CAPITAL REAL ESTATE			DETAILS
	City of Lino Lakes, Anoka County, MN	BOGART, PEDERSON & ASSOCIATES, INC.	 LAND SURVEYING CIVIL ENGINEERING ENVIRONMENTAL SERVICES 13076 FIRST STREET, BECKER, MN 55308-9322 TEL: 763-262-8822 FAX: 763-262-8844	
<p>I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.</p> <p><u>John</u> Signed: <u>John</u> Date: <u>08/22/2025</u> Lic. No. <u>58628</u></p>			REV NO.	DATE
	DESIGN BY: <u>MJM</u>	08/22/2025	02/13/2025	CHIPOTLE ONLY SET
	DRAWN BY: <u>MJM</u>	03/12/2025	03/12/2025	SEEDING REVISIONS
	CHECKED BY: <u>CJD, MJM</u>	07/23/2025	07/23/2025	REVISED PER CITY REVIEW
	DWG FILE: <u>DETAILS</u>	08/22/2025	08/22/2025	REVISED PER CITY REVIEW
	FILE NO.: <u>24-0255.00</u>			

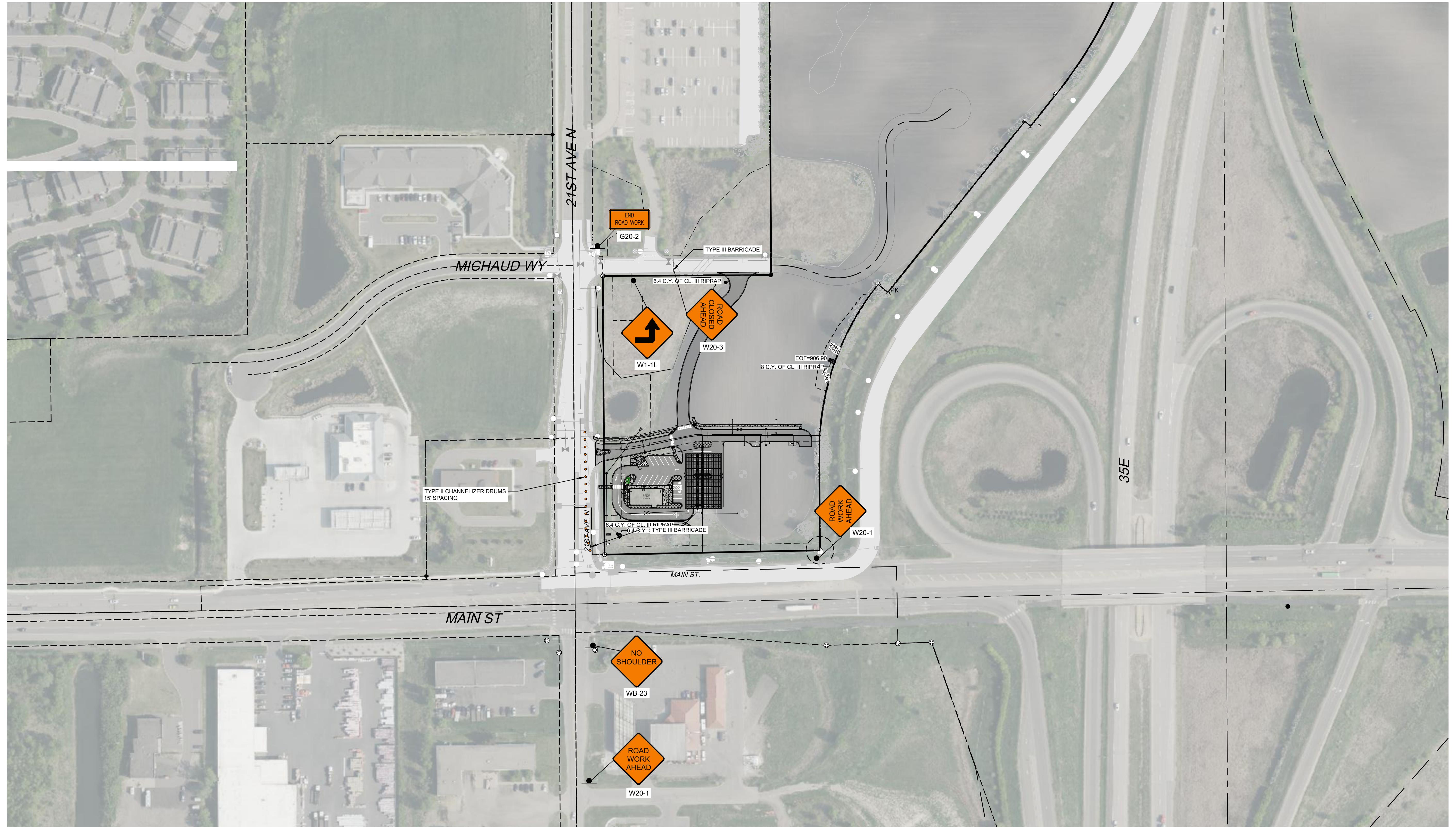
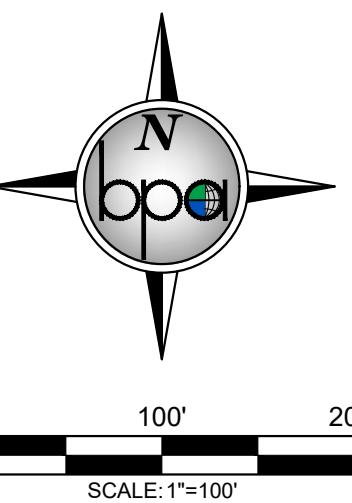


TRAFFIC CONTROL PLAN NOTES:

1. SIGNS TO FOLLOW CONVENTIONAL ROAD SIZINGS (36" X 36" COMMON)
2. TRAFFIC CONTROL SHALL MEET THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL.
3. ALL TEMPORARY TRAFFIC CONTROL SIGNS TO BE ON SKIDS.
4. ADDITIONAL SIGNS AND CHANNELIZERS SHALL BE SUPPLIED AND MOVED BY CONTRACTOR AS NEEDED FOR SAFE ROAD CONSTRUCTION.
5. CONTRACTOR SHALL PROVIDE ADDITIONAL TRAFFIC CONTROL SIGNS, CHANNELIZERS, AND FLAGGERS AS NEEDED.

LEGEND:

- TYPE II CHANNELIZER DRUMS
- SIGN



CLEARWATER COMMONS		BOGART, PEDERSON & ASSOCIATES, INC.		DESCRIPTION	
PRELIMINARY PLANS		CIVIL ENGINEERING ENVIRONMENTAL SERVICES		I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.	
CAPITAL REAL ESTATE		Christopher J. Dahn Date: 08/22/2025		DESIGN BY: MAM	DATE: 08/22/2025
City of Lino Lakes, Anoka County, MN		Drew J. Dahn Date: 08/22/2025		DRAWN BY: MAM	REV. NO.: 1
TRAFFIC CONTROL PLAN		CHECKED BY: C.J. Dahn Date: 08/22/2025		REVIEWED BY: C.J. Dahn Date: 08/22/2025	DATE: 03/12/2025
		DWG FILE: 24-025-00		DWG FILE: 24-025-00	SCALE: 1"=100'
		FILE NO.: 58628			
SHEET NO.		C25			