

URBAN COMPANIES

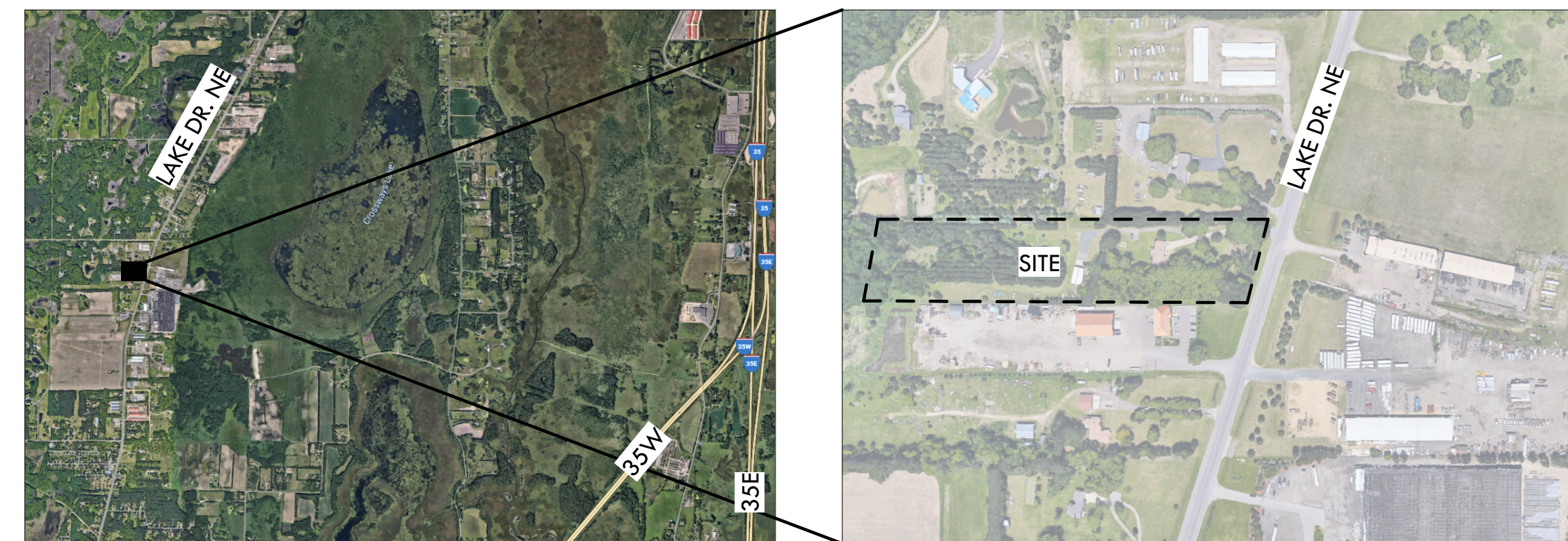
CUP

13960 Lake Dr. NE
Columbus, MN 55025



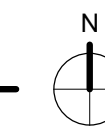
**Blumentals
Architecture**

1600 Marshall Street NE, Suite 1
Minneapolis, MN 55413
612/331-2222
info@blumentals.com



VICINITY MAP

13960 Lake Dr. NE
Columbus, MN 55025



PROJECT DIRECTORY

OWNER

URBAN COMPANIES

CONTACT: GREG URBAN
PHONE: 651-248-9830
EMAIL: GURBAN@URBANCOMPANIESUSA.COM

ARCHITECT

BLUMENTALS / ARCHITECTURE INC.
1600 MARSHALL ST. NE, SUITE 1
MINNEAPOLIS, MN 55413

PRINCIPAL: DAN NOYES
ARCHITECT: JIM MOY
JOB CAPTAIN: MATT EMBERS
PHONE: (612) 421-0632
EMAIL: MATTE@BLUMENTALS.COM

DRAWING SHEET INDEX

TITLE SHEET

T	TITLE
---	-------

SURVEY

S1	EXISTING CONDITIONS SURVEY
----	----------------------------

CIVIL

C100	SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN
C101	SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN
C200	GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C201	GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C300	PAVING AND GEOMETRIC PLAN
C301	PAVING AND GEOMETRIC PLAN
C400	CIVIL DETAILS
C500	STORMWATER POLLUTION PREVENTION PLAN
C501	STORMWATER POLLUTION PREVENTION PLAN

ARCHITECTURAL

A101	SITE PLAN
A401	MAIN BUILDING ELEVATIONS



REFERENCE VIEW

**PRELIMINARY
DRAWINGS**
- NOT FOR CONSTRUCTION

ISSUES / REVISIONS

02/04/2026 CUP SET

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

URBAN COMPANIES

13960 LAKE DR. NE
COLUMBUS, MN 55025

B/A PROJECT NUMBER: **625-49**

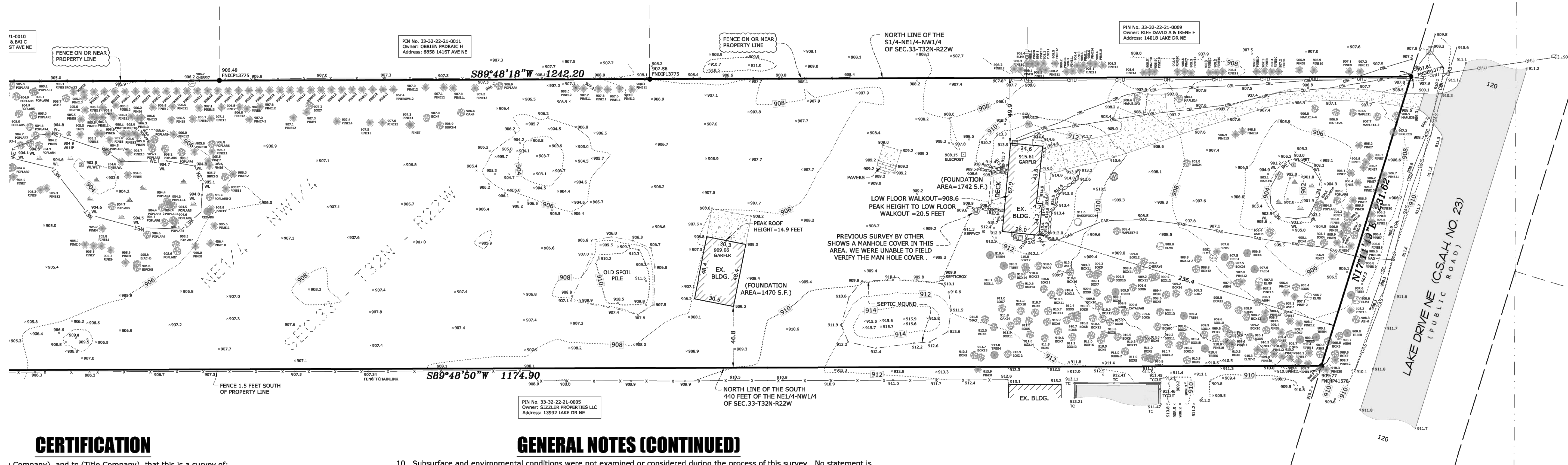
TITLE

T

LAND TITLE SURVEY

~for~ URBAN COMPANIES
~of~ 13960 LAKE DRIVE NE
COLUMBUS, MN 55025

E. G. RUD & SONS, INC.
EST. 1977 Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701
www.egrud.com



CERTIFICATION

I, the undersigned, being a duly Licensed Land Surveyor in the State of Minnesota, do hereby certify that this is a true and correct copy of the original survey as the same appears in my files, and that this is a survey of:
OM TITLE COMMITMENT
a commitment for title insurance prepared by (Title Company), File No. XXXXXXXXXXXXXXX, & M., and that all easements, if any, listed in Schedule B-II on the herein referenced hereon; and that this map or plat and the survey on which it is based were made (I) in accordance with the requirements of the Minnesota Land Title Survey Act, and (II) in accordance with the requirements of the Minnesota Land Title Survey Act and in effect on the date of this survey, as a land surveyor licensed in the State of Minnesota, my does not exceed that which is specified therein and includes Items 1, 2, 3, 4, 5, 6, 7(a), 8 and 9 thereof. The field work was completed on December 23, 2025.

performed by me or under my direct supervision and that I am a duly Licensed Land Surveyor

GENERAL NOTES

Parcel ID Number: 33-32-22-21-0004.
13960 Lake Drive NE, Columbus, MN 55025
Anoka County Coordinate System.
This map is in Flood Zone X (Areas determined to be outside the 0.2% annual chance Flood Hazard Area Community No. 270144 Panel No. 0355 Suffix E by the State of Minnesota, effective date December 16, 2015.
Total area surveyed is 267,024.4 sq. ft. (6.13 acres).
This survey was performed by the City of Columbus's web site indicates that the property is currently zoned C/I - Commercial Industrial. Under the applicable zoning regulations,

existing fences and signposts, shall come within 35 ft of any RR District boundary line.)
Adjacent residential RR Districts shall be a minimum of 35 ft)

requires 5 acres.)

Residential (Raw material tanks, silos, bins, conveyors, corresponding building enclosures, equipment there to shall not exceed 100' in height.)

shall exceed 1:2 ratio or maximum 50% coverage upon a case-by-case-determination by the City of Columbus at the existing or proposed stormwater management system can accommodate a higher lot

Planning and Zoning Department at the City of Columbus at (651) 464-3120.

Areas onsite. (0 regular, 0 handicapped)
13960 Lake Drive NE, a public street.
The surveyed property determined by:
Survey to Section 5.E.I.v.
& Sons, Inc. per Gopher State One Call Ticket No. 253460005.
A City of Columbus's engineering department.

Process of this survey to locate underground utilities and/or structures. The location of utilities may vary from locations shown hereon and additional underground utilities and/or structures State One Call locate and other similar utility locate requests from surveyors may be made. Where additional or more detailed information is required, the client is advised that Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type

GENERAL NOTES (CONTINUED)

- Subsurface and environmental conditions were not examined or considered during the process of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of the surveyed premises.
- There was no evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the field work.
- (TITLE COMPANY), Commitment No. XXXXXXXXXXXXX, Schedule B-II Survey Related Exceptions:
AWAITING TITLE WORK

VICINITY MAP

PART OF SEC. 33, TWP. 32, RNG. 22



ANOKA COUNTY, MINNESOTA
(NO SCALE)

TREE DETAIL

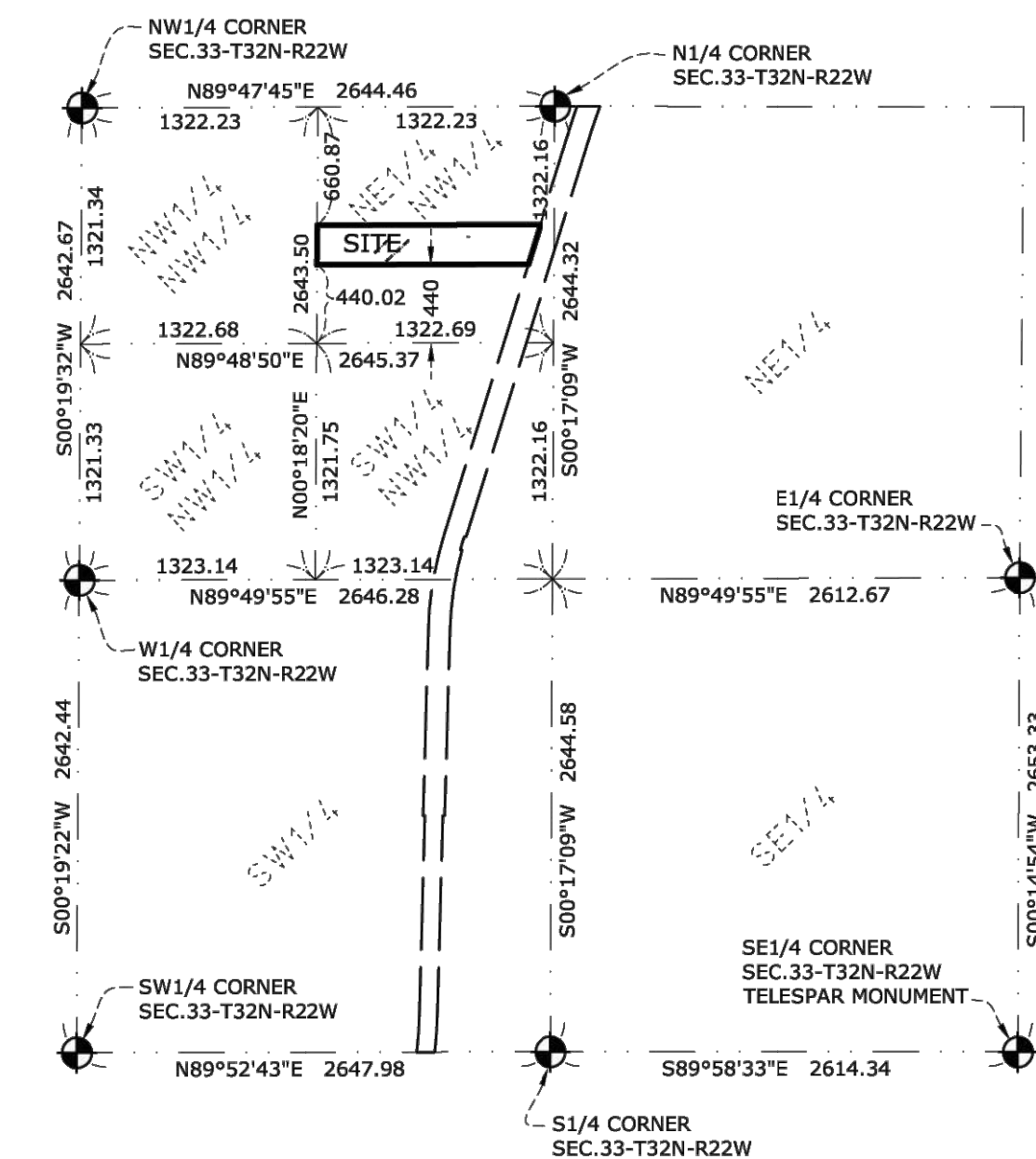
- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE

LEGEND

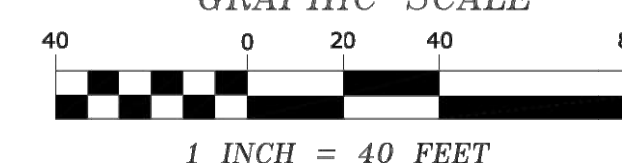
- DENOTES IRON MONUMENT FOUND AS LABELED
- ⊕ DENOTES ANOKA COUNTY CAST IRON MONUMENT, UNLESS OTHERWISE SHOWN
- DENOTES ELECTRICAL BOX
- DENOTES EXISTING SPOT ELEVATION
- DENOTES GUY WIRE
- DENOTES POWER POLE
- DENOTES TELEPHONE PEDESTAL
- DENOTES WELL
- DENOTES WET LAND
- DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS
- DENOTES OVERHEAD UTILITY
- DENOTES UNDERGROUND GAS LINE
- DENOTES UNDERGROUND CABLE LINE
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

SECTION DETAIL

SEC. 33-T32N-R22W
ANOKA COUNTY, MINNESOTA
Not to Scale



GRAPHIC SCALE



NORTH

BENCHMARK
ANOKA COUNTY BENCHMARK NO. 2013.
ELEVATION = 907.91 FEET (NAVD88)

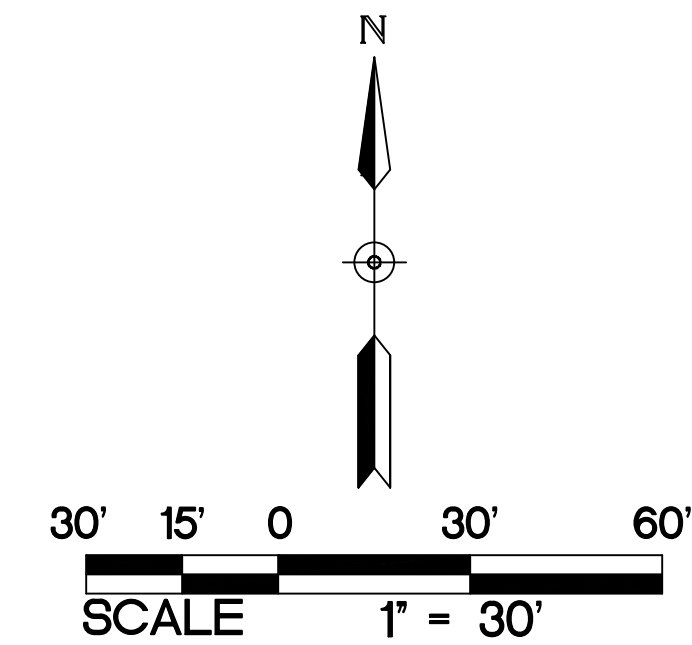
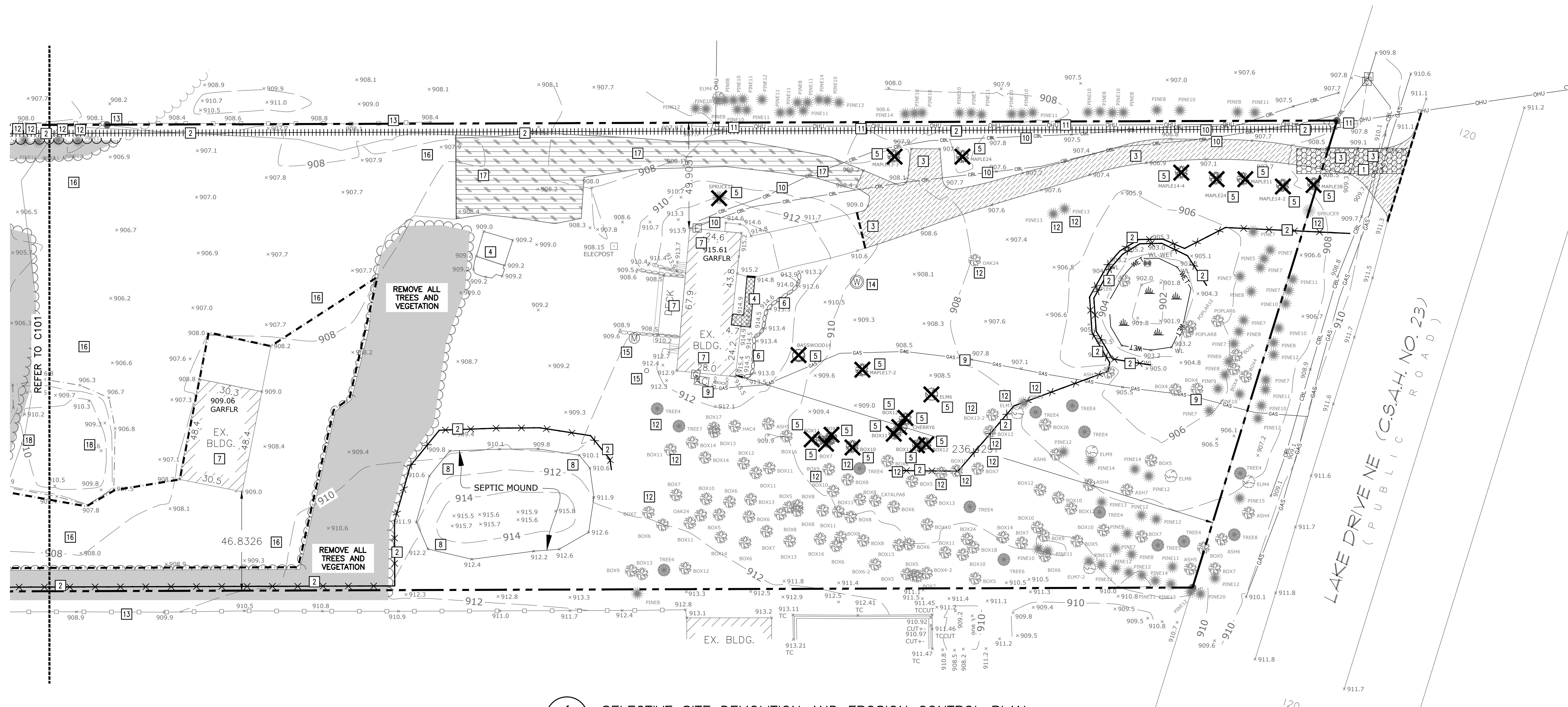
DRAWN BY: JEN	JOB NO: 251327BT	DATE: 12/24/25	
CHECK BY: JER	FIELD CREW: DT-CI		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

FACILITY OPERATORS NOTIFIED

(PER GOPHER STATE ONE TICKET NO. 253460005 DATED 12-12-2025)

CODE	COMPANY NAME	MARKING CONCERNS	DAMAGE	CUSTOMER SERVICE
CTLMN01	CENTURYLINK - CTQL	(800)778-9140	(877)366-8344	(877)366-8344
EAOKA01	CONNEXUS ENERGY	(763)323-4215	(763)323-2660	(763)323-2660
MIDCBL21	MIDCONTINENT COMM	(605)271-0202	(605)271-0202	(800)888-1300
MINGAS03	CENTER POINT ENERGY	(800)778-9140	(612)321-5200	(612)321-4421

PN No. 17-19-22-14-0008
Owner: City of X
Address: Unassigned



ABBREVIATIONS	
AC	Air Conditioner
BLDG	Building
BM	Benchmark
CBL	Underground Cable Line
E	Electric Box
ELEV	Elevation
EX	Existing
G	Gas Meter
GAS	Underground Gas Line
OHU	Overhead Utility Line
T	Telephone Pedestal
W	Well

NOTE: EDGE OF TREE LIMITS SHOWN ARE FROM AERIAL MAPS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO OBTAIN CLEAR UNDERSTANDING OF THE FULL SCOPE OF TREE, UNDER BRUSH, AND OTHER VEGETATION CLEARING THAT NEEDS TO OCCUR.

NOTE: EXISTING WETLANDS ARE TO HAVE A MINIMUM BUFFER WIDTH OF 16.5- FEET. CONTRACTOR SHALL INSTALL TWO ROWS OF SILT FENCE AROUND WETLANDS PRIOR TO THE START OF CONSTRUCTION.

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
SILTATION FENCE	—X—X—
SEDIMENT CONTROL LOG	
TREE PROTECTION FENCE	—X—X—
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	~~~~~
TREE LINE (APPROX.)	~~~~~
CONSTRUCTION ENTRANCE	
BITUMINOUS REMOVAL	
CONCRETE REMOVAL	
TREE CLEARING LIMITS	---
GRAVEL REMOVAL	
TREE REMOVAL	X

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [NO] ON PLAN.
- INSTALL CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C400.
 - INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C400 AND 3/C400.
 - SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - REMOVE CONCRETE PAVEMENT IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - REMOVE TREE IN ITS ENTIRETY INCLUDING STUMP.
 - REMOVE RETAINING WALL IN ITS ENTIRETY, INCLUDING ANY BELOW GRADE FOUNDATIONS.
 - EXISTING BUILDING TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING SEPTIC MOUND TO REMAIN. PROTECT AT ALL TIMES. CONTRACTOR SHALL MAINTAIN A 10- FEET BUFFER FROM OUTER EDGE OF MOUND.
 - EXISTING GAS LINE TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING UNDERGROUND CABLE LINE TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING OVERHEAD UTILITY LINES AND POLES TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING FENCE TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING WELL TO REMAIN. PROTECT AT ALL TIMES. EXACT LOCATION OF WATER LINE IS UNKNOWN.
 - EXISTING WELL TO REMAIN. PROTECT AT ALL TIMES. EXACT LOCATION OF SANITARY SEWER LINE IS UNKNOWN.
 - EXISTING GRAVEL TO REMAIN. PROTECT AT ALL TIMES.
 - REMOVE GRAVEL SURFACING IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - REMOVE EXISTING STOCKPILE IN ITS ENTIRETY. EXISTING GRAVEL SECTION TO REMAIN.

1 SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN
1" = 30'

DEMOLITION AND REMOVAL NOTES:

- CONTRACTOR SHALL FOLLOW ALL CITY OF COLUMBUS STANDARDS AND SPECIFICATIONS WHEN WORKING IN THE RIGHT-OF-WAY.
- PRIOR TO START OF ANY CONSTRUCTION ACTIVITY, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF COLUMBUS AND ANOKA COUNTY. PERIMETER SEDIMENT PROTECTION SHALL BE INSTALLED ALONG THE CONTOUR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT, OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR, IF MAPPED, ARE SHOWN CORRECTLY. CONTACT GOPHER STATE ONE CALL AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO CLEARLY IDENTIFY IN THE FIELD THE WETLAND PERIMETERS THAT ARE NOT TO BE IMPACTED SO THAT NO ENCROACHMENT OCCURS. AFTER THE PERIMETERS ARE CLEARLY MARKED IN THE FIELD, THE CONTRACTOR SHALL CONTACT RICE CREEK WATERSHED DISTRICT TO CONFIRM AND APPROVE NO ENCROACHMENT LIMITS.
- THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT ARE TO BE PROTECTED AT ALL TIMES.
- EXISTING CONCRETE PAVEMENT SHOWN TO BE REMOVED WITHIN THE SCOPE OF THE PROJECT SHALL BE REMOVED FROM THE SAW CUT LINES TO THE NEAREST JOINT. ANY SIDEWALK AND PAVEMENT NOT INDICATED FOR REMOVAL ARE TO BE PROTECTED AT ALL TIMES.
- THE BACKGROUND INFORMATION WAS PREPARED BY E.G. RUD & SONS, INC., (651) 361-8200.
- ALL WORK IN THE PUBLIC RIGHT OF WAY IS TO BE COORDINATED WITH THE CITY OF COLUMBUS. ROADWAY REPAIRS, BOULEVARD REPAIRS, AND TRAFFIC CONTROL ARE TO BE PER CITY OF COLUMBUS STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:

- WHEN WORKING IN THE RIGHT-OF-WAY PAVEMENT REMOVAL, AND UTILITY REMOVAL LIMITS ARE TO BE COORDINATED WITH THE CITY OF COLUMBUS AND UTILITY OWNER.
- THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN WHILE WORKING WITHIN THE RIGHT-OF-WAY. THE TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO STREET ENCROACHMENT.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND REVIEW ALL CONSTRUCTION DOCUMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ITEMS THAT SHOULD HAVE BEEN ANTICIPATED BY PERFORMING THE ABOVE.
- THE CONSTRUCTION ENTRANCE INDICATED ON THE PLAN IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF COLUMBUS FOR THE EXACT CONSTRUCTION ENTRANCE LOCATION.

NOT FOR CONSTRUCTION

Revisions		
No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Date	Licensee	Lic. No.	XXXX
2026-02-04			

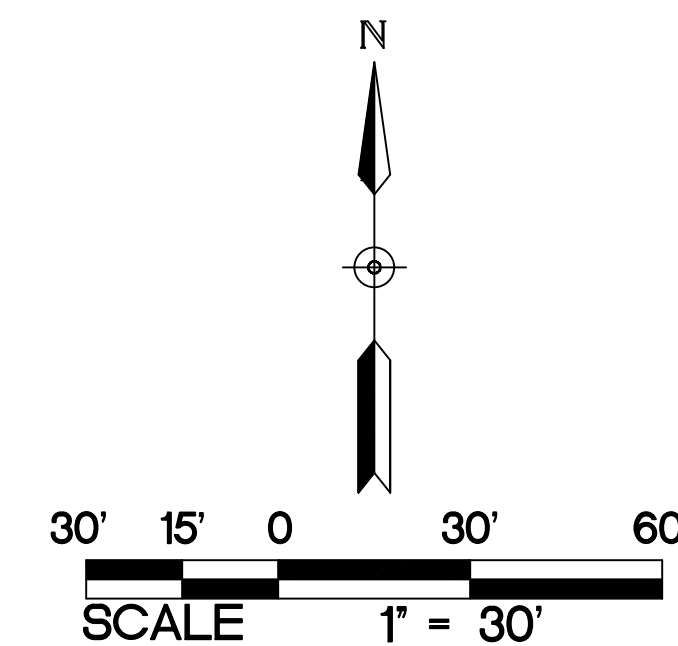
DATE **2026-02-04**
PROJECT # **26177.5**
PROJECT STATUS **CITY SUBMITTAL**

DRAWN BY **WH**
CHECKED BY **SD**

KEY PLAN

SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN

C100



ABBREVIATIONS	
AC	Air Conditioner
BLDG	Building
BM	Benchmark
CBL	Underground Cable Line
E	Electric Box
ELEV	Elevation
EX	Existing
G	Gas Meter
GAS	Underground Gas Line
OHU	Overhead Utility Line
T	Telephone Pedestal
W	Well

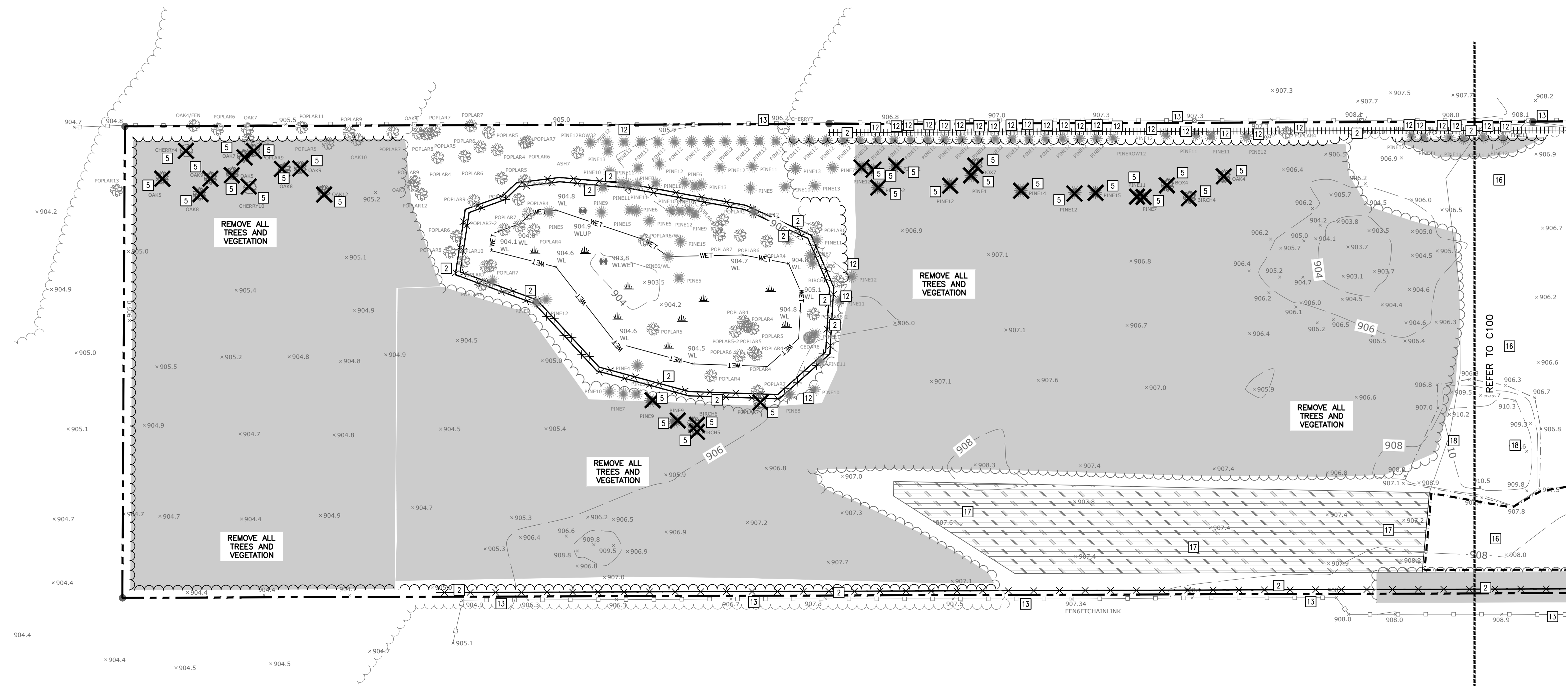
NOTE:
EDGE OF TREE LIMITS SHOWN ARE FROM AERIAL MAPS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO OBTAIN CLEAR UNDERSTANDING OF THE FULL SCOPE OF TREE, UNDER BRUSH, AND OTHER VEGETATION CLEARING THAT NEEDS TO OCCUR.

NOTE:
REFER TO C100 FOR DEMOLITION AND REMOVAL NOTES.
REFER TO C100 FOR GENERAL NOTES.

NOTE:
EXISTING WETLANDS ARE TO HAVE A MINIMUM BUFFER WIDTH OF 16.5- FEET. CONTRACTOR SHALL INSTALL TWO ROWS OF SILT FENCE AROUND WETLANDS PRIOR TO THE START OF CONSTRUCTION.

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
SILTATION FENCE	---X---
SEDIMENT CONTROL LOG	+++++
TREE PROTECTION FENCE	---X---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	- - - - -
TREE LINE (APPROX.)	~~~~~
CONSTRUCTION ENTRANCE	▨
BITUMINOUS REMOVAL	▨
CONCRETE REMOVAL	▨
TREE CLEARING LIMITS	▨
GRAVEL REMOVAL	▨
TREE REMOVAL	✕

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [NO] ON PLAN.
- 1 INSTALL CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C400.
 - 2 INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C400 AND 3/C400.
 - 3 SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - 4 REMOVE CONCRETE PAVEMENT IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - 5 REMOVE TREE IN ITS ENTIRETY INCLUDING STUMP.
 - 6 REMOVE RETAINING WALL IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - 12 EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.
 - 13 EXISTING FENCE TO REMAIN. PROTECT AT ALL TIMES.
 - 17 REMOVE GRAVEL SURFACING IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - 18 REMOVE EXISTING STOCKPILE IN ITS ENTIRETY. EXISTING GRAVEL SECTION TO REMAIN.



1
C101 SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN
1" = 30'

NOT FOR CONSTRUCTION

Revisions		
No.	Description	Date

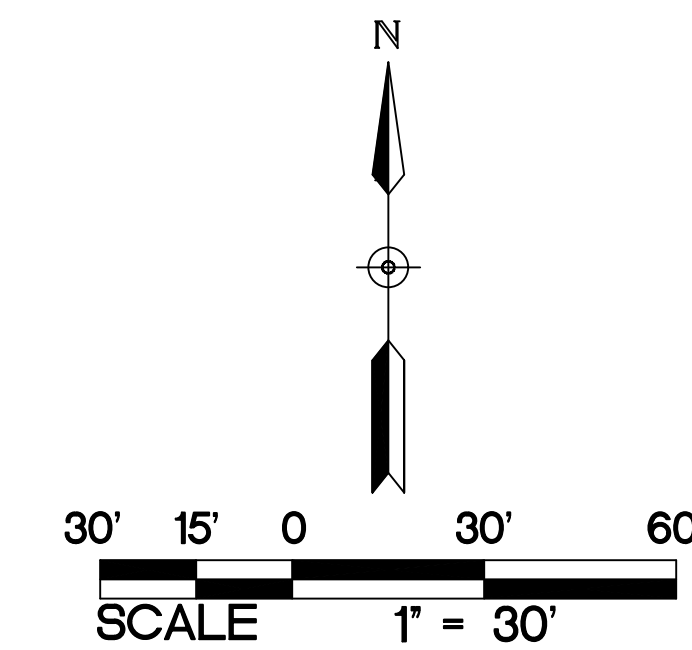
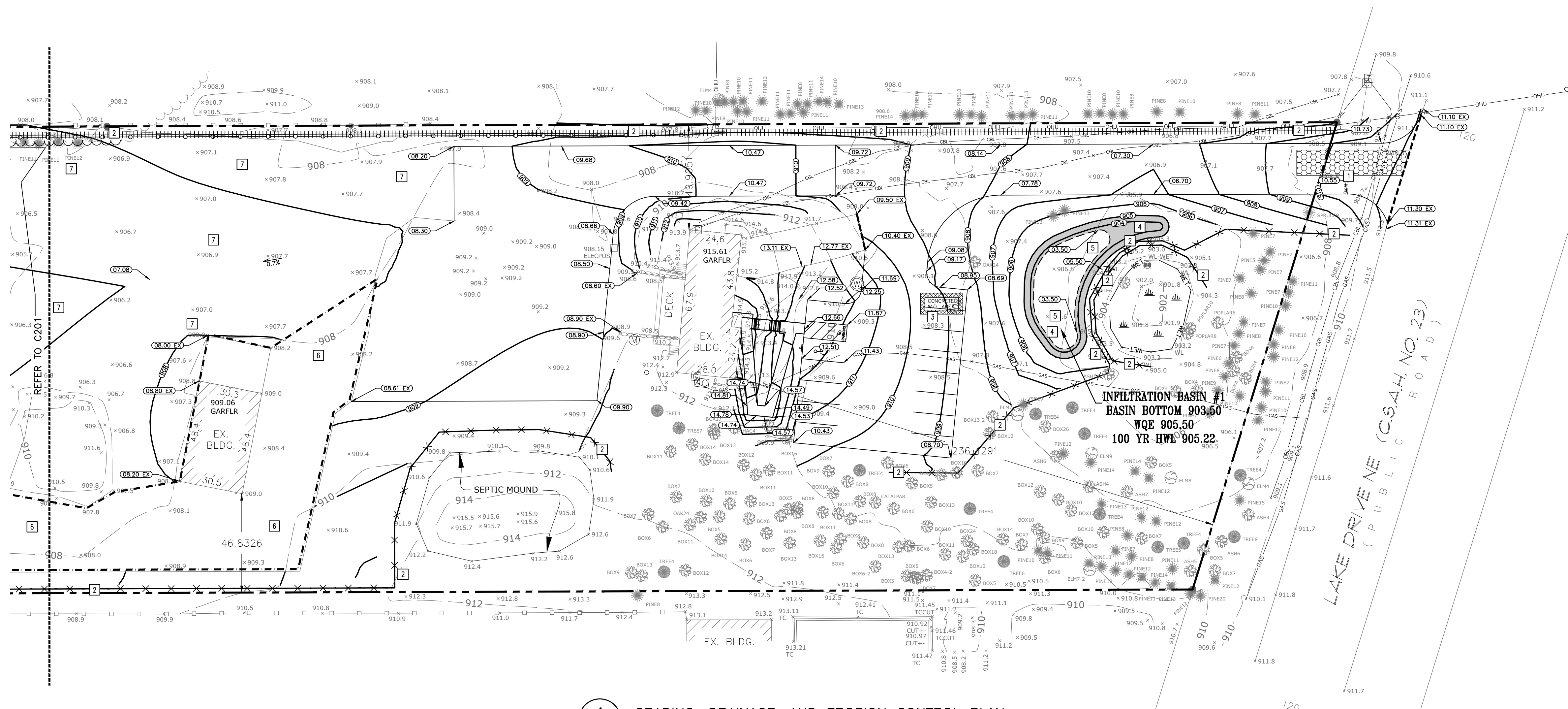
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Date	Licensee	Lic. No.	XXXX
2026-02-04			

DATE	2026-02-04
PROJECT #	26177.5
PROJECT STATUS	CITY SUBMITTAL
DRAWN BY	WH
CHECKED BY	SD

KEY PLAN

SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN
C101



ABBREVIATIONS	
AC	Air Conditioner
BLDG	Building
BM	Benchmark
CBL	Underground Cable Line
E	Electric Box
ELEV	Elevation
EX	Existing
G	Gas Meter
GAS	Underground Gas Line
OHU	Overhead Utility Line
T	Telephone Pedestal
W	Well
W.O.	Washout
WQE	Water Quality Elevation

APPROXIMATE DISTURBED AREA IS 4.48 ACRES

NOTE:
EXISTING WETLANDS ARE TO HAVE A MINIMUM BUFFER WIDTH OF 16.5- FEET. CONTRACTOR SHALL INSTALL TWO ROWS OF SILT FENCE AROUND WETLANDS PRIOR TO THE START OF CONSTRUCTION.

RETAINING WALL NOTES:

- ALL TOP AND BOTTOM ELEVATIONS CORRESPOND TO THE RESPECTIVE GRADE ELEVATIONS ON EACH SIDE OF THE WALL.
- THE BOTTOM ELEVATION IS THE ELEVATION OF THE LOW-GRADE SIDE OF THE WALL, NOT THE TOP ELEVATION OF THE BURIED BLOCK COURSE.
- ALL RETAINING WALLS SHALL HAVE PROTECTIVE FENCING AT THE TOP WHERE THE VERTICAL HEIGHT EXCEEDS 30 INCHES. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS AND SPECIFICATIONS.
- MODULAR BLOCK RETAINING WALL SHALL BE DESIGNED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. DESIGN CALCULATIONS AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION OF WALL.

WALKWAY NOTES:

- GRADING CONTRACTOR IS TO COORDINATE WITH PAVING CONTRACTOR SO THAT ALL STEPS AND LANDINGS ARE SLOPED PER CODE.
- ALL SIDEWALK LONGITUDINAL AND TRANSVERSE SLOPES ARE TO BE PER CODE.

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
SILTATION FENCE	--- X ---
SEDIMENT CONTROL LOG	
TREE PROTECTION FENCE	X X
PROPERTY LINE	---
SAW CUT LINE (APPROX.)	---
PROPOSED CONTOUR	905
EROSION CONTROL BLANKET (TEMPORARY)	▒
ROCK CONSTRUCTION ENTRANCE	▒
DRAINAGE FLOW ARROW	→
SPOT ELEVATION	905.0
CONCRETE WASHOUT AREA	▒

NOT FOR CONSTRUCTION

Revisions		
No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

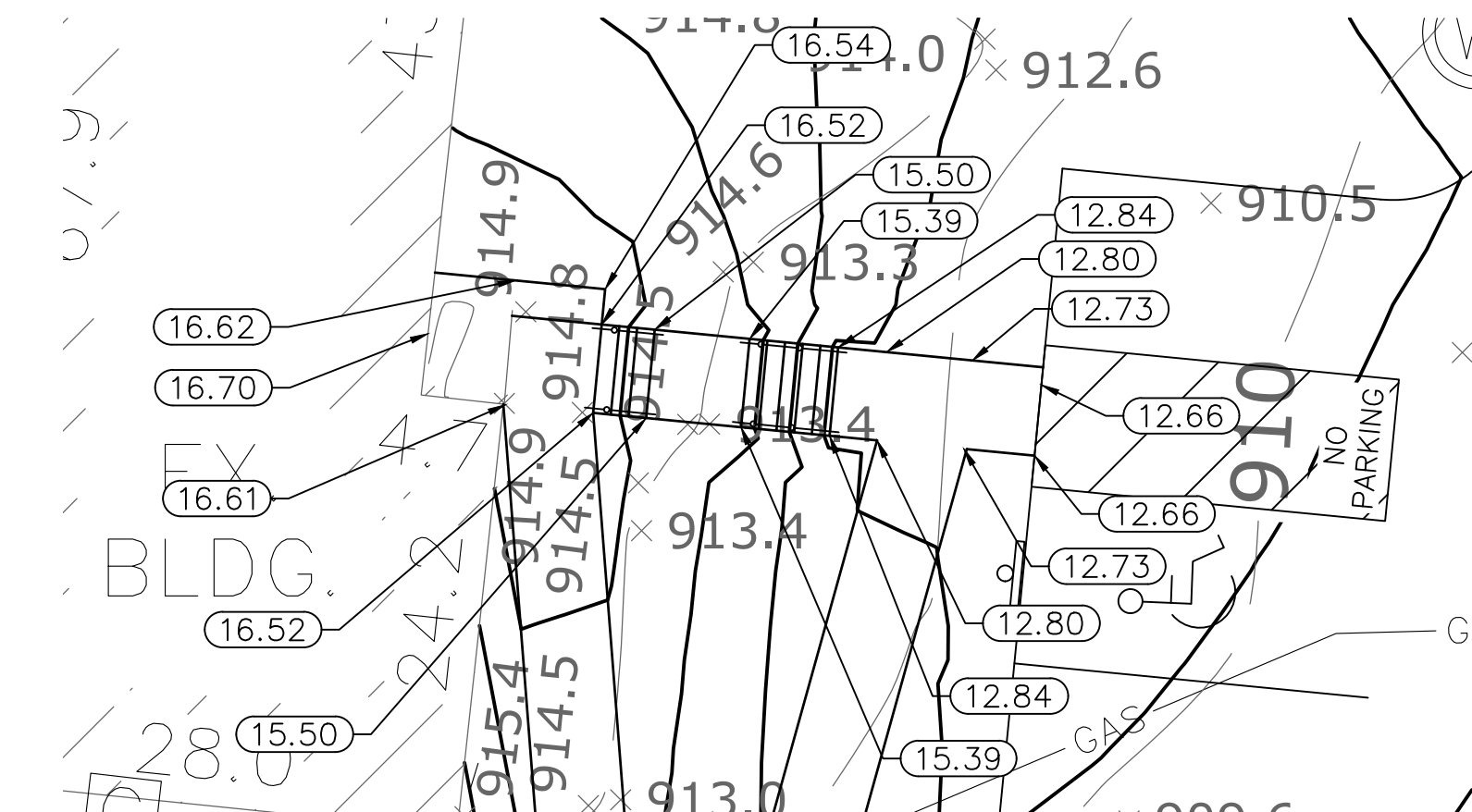
Date	Licensee	Lic. No.	XXXX
2026-02-04			
DATE			2026-02-04
PROJECT #			26177.5
PROJECT STATUS			CITY SUBMITTAL
DRAWN BY			WH
CHECKED BY			SD

KEY PLAN

- EROSION CONTROL NOTES:**
- ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING OPERATIONS. THE CITY ENGINEERING DEPARTMENT AND RICE CREEK WATERSHED DISTRICT MUST BE NOTIFIED UPON COMPLETION OF THE INSTALLATION OF THE REQUIRED EROSION CONTROL FACILITIES AND PRIOR TO ANY GRADING OPERATION BEING COMMENCED. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION GRADING MEETING ON-SITE WITH THE CITY AND RICE CREEK WATERSHED DISTRICT. IF DAMAGED OR REMOVED DURING CONSTRUCTION, ALL EROSION CONTROL FACILITIES SHALL BE RESTORED AND IN PLACE AT THE END OF EACH DAY.
 - ANY EROSION CONTROL FACILITIES DEEMED NECESSARY BY THE CITY OR RICE CREEK WATERSHED DISTRICT, BEFORE, DURING, OR AFTER THE GRADING ACTIVITIES, SHALL BE INSTALLED AT THEIR REQUEST.
 - NO DEVIATIONS SHALL BE MADE FROM THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN WITHOUT PRIOR APPROVAL FROM THE CIVIL ENGINEER.
 - FOR SITES GREATER THAN 1.0 ACRE, AS REQUIRED BY THE MPCA PERMIT REQUIREMENTS, THE PERMIT APPLICANT MUST KEEP AN EROSION CONTROL INSPECTION LOG. INSPECTION MUST BE MADE ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT. THE INSPECTION RECORD MUST BE MADE AVAILABLE TO THE CITY AND RICE CREEK WATERSHED DISTRICT WITHIN 24 HOURS OF REQUEST.
 - FLOWS FROM DIVERSION CHANNELS OR PIPES (TEMPORARY OR PERMANENT) SHALL BE ROUTED TO SEDIMENTATION BASINS OR APPROPRIATE ENERGY DISSIPATORS TO PREVENT TRANSPORT OF SEDIMENT TO OUTFLOW TO LATERAL CONVEYORS AND TO PREVENT EROSION AND SEDIMENTATION WHEN RUNOFF FLOWS INTO THESE CONVEYORS.
 - SITE ACCESS ROADS SHALL BE GRADED OR OTHERWISE PROTECTED WITH SILT FENCES, DIVERSION CHANNELS, OR DIKES AND PIPES TO PREVENT SEDIMENT FROM EXITING THE SITE VIA THE ACCESS ROADS. SITE-ACCESS ROADS/DRIVEWAYS SHALL BE SURFACED WITH CRUSHED ROCK WHERE THEY ADJOIN EXISTING PAVED ROADWAYS.
 - SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES OR EQUIPMENT SHALL BE CLEANED DAILY FROM PAVED ROADWAY SURFACES, OR MORE FREQUENTLY IF REQUESTED BY THE CITY OR RICE CREEK WATERSHED DISTRICT, THROUGHOUT THE DURATION OF CONSTRUCTION.
 - DUST CONTROL MEASURES SHALL BE PERFORMED PERIODICALLY WHEN CONDITIONS REQUIRE AND/OR AS DIRECTED BY THE CITY OR RICE CREEK WATERSHED DISTRICT.
 - ALL EROSION CONTROL MEASURES SHALL BE USED AND MAINTAINED FOR THE DURATION OF SITE CONSTRUCTION. IF CONSTRUCTION OPERATIONS OR NATURAL EVENTS DAMAGE OR INTERFERE WITH THESE EROSION CONTROL MEASURES, THEY SHALL BE RESTORED TO SERVE THEIR INTENDED FUNCTION AT THE END OF EACH DAY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
 - ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS SOON AS POSSIBLE. ANY AREAS WHICH HAVE BEEN FINISHED GRADED OR AREAS THAT HAVE BEEN DISTURBED AND FOR WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY SHALL BE SEEDED AND MULCHED AS SET FORTH IN THE FOLLOWING PARAGRAPHS WITHIN 7 DAYS:
 - ALL SEEDED AREAS SHALL BE EITHER MULCHED AND DISC-ANCHORED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION. TEMPORARY STRAW MULCH SHALL BE DISC-ANCHORED AND APPLIED AT A UNIFORM RATE OF NOT LESS THAN TWO TONS PER ACRE AND NOT LESS THAN 80% COVERAGE.
 - IF THE GRADED AREA IS ANTICIPATED TO BE RE-DISTURBED/DEVELOPED WITHIN SIX MONTHS, PROVIDE A TEMPORARY VEGETATIVE COVER CONSISTING OF MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) SEED MIXTURE 0 (OATS), OR WW (WINTER WHEAT), AT A RATE OF 100 POUNDS PER ACRE.
 - IF GRADED AREA WILL NOT BE DEVELOPED FOR A PERIOD GREATER THAN SIX MONTHS, PROVIDE A SEMI-PERMANENT VEGETATIVE COVER OF SEED MIXTURE MNDOT TCC (TWO YEAR COVER) AT A RATE OF 25 POUNDS PER ACRE.
 - GRADING BONDS OR THE EQUIVALENT SECURITIES SHALL BE RETAINED UNTIL TURF HAS GERMINATED AND SURVIVED A 60-DAY GROWING PERIOD.
 - ALL AREAS THAT WILL NOT BE MOWED OR MAINTAINED AS PART OF THE ULTIMATE DESIGN WILL BE PERMANENTLY RESTORED USING SEED MIXTURE MNDOT MI (MESIC INSLOPE) AT A RATE OF 65 POUNDS PER ACRE.
 - UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS (I.E. ARCHITECTURAL SITE PLAN), PERMANENT TURF RESTORATION SHALL CONSIST OF SOD.
 - WHENEVER OTHER EROSION AND SEDIMENT CONTROL PRACTICES ARE INADEQUATE, TEMPORARY ON-SITE SEDIMENT BASINS THAT CONFORM TO THE CRITERIA FOR ON-SITE DETENTION BASINS SHALL BE PROVIDED.
 - MULCH, HYDROMULCH, AND TACKIFIERS MAY NOT BE USED FOR STABILIZATION IN SWALES OR DRAINAGE DITCHES UNLESS THE LONGITUDINAL SLOPE IS LESS THAN 2 PERCENT.
 - RUNOFF SHALL BE PREVENTED FROM ENTERING ALL STORM SEWER CATCH BASINS PROVIDING THEY ARE NOT NEEDED DURING CONSTRUCTION. WHERE STORM SEWER CATCH BASINS ARE NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION, SEDIMENT PROTECTION DEVICES AS DETAILED SHALL BE INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS UNTIL THE TRIBUTARY AREA TO THE CATCH BASIN IS RESTORED.
 - GRADING ACTIVITIES PROPOSED TO BEGIN AFTER OCTOBER 15 WILL REQUIRE AN APPROVED PHASING SCHEDULE. THE AREA OF LAND THAT THE CITY WILL ALLOW TO BE DISTURBED AT THIS TIME OF YEAR WILL BE SEVERELY LIMITED. THE CITY WILL ALSO REQUIRE ADDITIONAL EROSION CONTROL DEVICES, I.E., TEMPORARY SEDIMENT BASINS, DORMANT SEEDING AND HIGH RATES OF APPLICATION OF BOTH SEED AND MULCH.
 - EROSION CONTROL FACILITIES SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF ALL WETLANDS WITHIN OR ADJACENT TO THE AREA TO BE GRADED UNTIL THE TRIBUTARY AREA TO THE WETLANDS ARE RESTORED.
 - TO MINIMIZE EROSION, ALL 3:1 SLOPES SHALL BE COVERED WITH A MN/DOT 3885 CATEGORY 20 STRAW EROSION CONTROL BLANKETS OR STAKED SOD.
 - ACCUMULATION OF ALL SEDIMENT OCCURRING IN PONDS, WETLANDS, AND DITCHES SHALL BE REMOVED PRIOR TO, DURING, AND AFTER COMPLETION OF GRADING ACTIVITIES.
 - EROSION CONTROL ITEMS AND DEVICES SHALL BE REMOVED ONLY AFTER THE AREA HAS RECEIVED FINAL STABILIZATION OR AS DIRECTED BY THE CITY AND/OR RICE CREEK WATERSHED DISTRICT.

- GRADING NOTES:**
- THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS, AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
 - THE BACKGROUND INFORMATION WAS PREPARED BY E.G. RUD & SINS, INC., (651) 361-8200.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT, OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED OR, IF MAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher State One CALL AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
 - PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
 - NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.
 - ALL SPOT ELEVATIONS SHOWN AS 10.00, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 910.00.
 - ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER UNLESS NOTED OTHERWISE.
 - NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
 - ACCESSIBLE PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 2%.
 - PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
 - UPON COMPLETION OF THE GRADING AND UTILITY WORK, THE CONTRACTOR SHALL CERTIFY THAT ALL GRADING AND UTILITY WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED GRADING AND UTILITY PERMITS.
 - PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY AND RICE CREEK WATERSHED DISTRICT WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES.
 - ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
 - THE CONTRACTOR MAY STRIP AND SALVAGE TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE. SIX INCHES OF TOPSOIL - AFTER COMPACTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDED THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE. THE TOPSOIL STRIPPING, STOCKPILING, AND RE-SPREADING SHALL BE DONE IN ACCORDANCE WITH, AND NOTED ON, THE APPROVED GRADING PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL TOPSOIL OR PLANTING REQUIREMENTS.
 - ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNER(S).
 - IF CONSTRUCTION OF THE SITE WORK PROCEEDS THROUGH THE WINTER MONTHS, ANY DISTURBED AREAS OUTSIDE THE BUILDING FOOTPRINTS ARE TO BE MINIMALLY STABILIZED PRIOR TO MARCH 1 AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 5 BASE INSTALLED; ALL OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.
 - WINTER MULCHING:
 - SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH MELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.
 - FROZEN GROUND MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND. MULCH MATERIALS THAT DO NOT REQUIRE DISC-ANCHORING INTO THE SOIL MAY BE PLACED WITHOUT MODIFICATION. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING INTO THE SOIL MAY BE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER AT A RATE OF 2000
 - THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

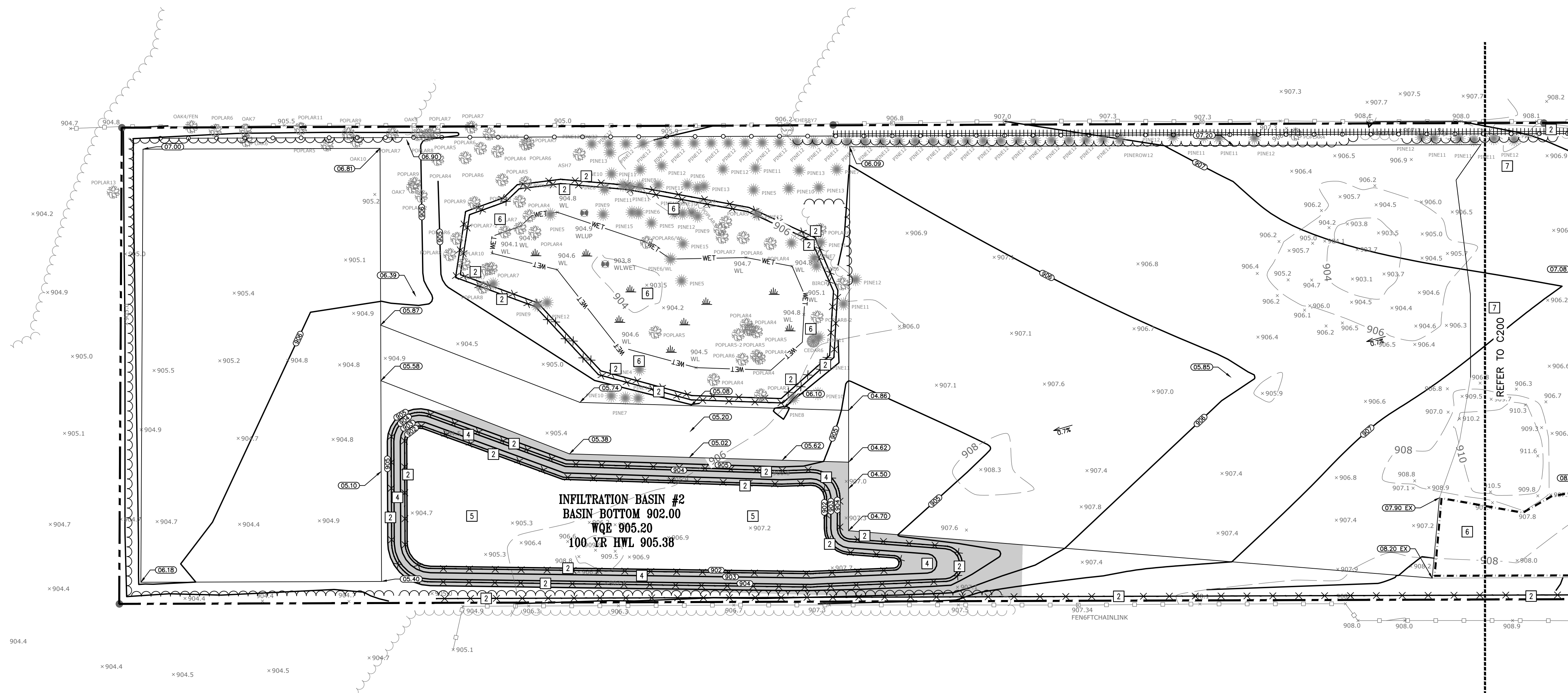
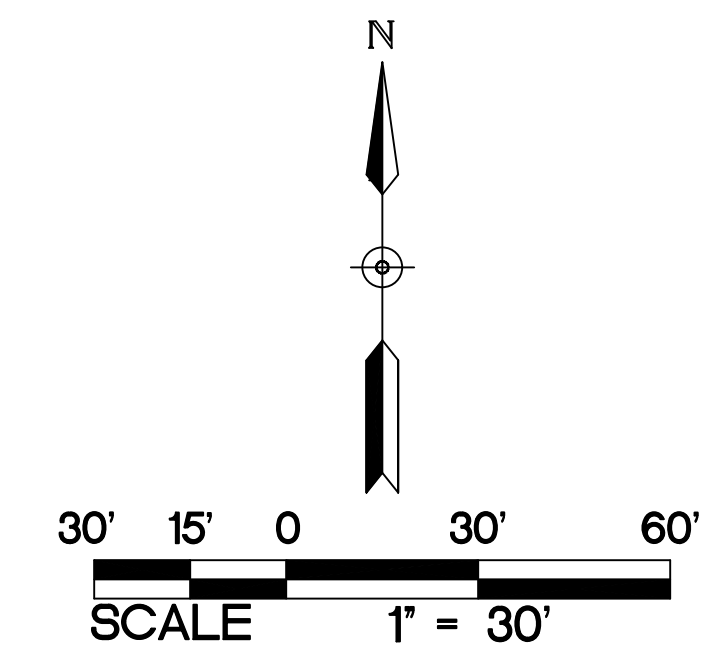
- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [NO] ON PLAN.
- INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C400.
 - INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C400 AND 3/C400.
 - APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.
 - INSTALL MN/DOT 3885 CATEGORY 20 TEMPORARY STRAW FIBER EROSION CONTROL BLANKET.
 - INFLTRATION BASIN(S) AND WATER QUALITY TREATMENT POND(S) ARE TO BE CONSTRUCTED AT THE END OF GRADING OPERATIONS ONCE THE TRIBUTARY AREA'S FINAL STABILIZATION HAS BEEN INSTALLED. REFER TO DETAIL 2/C201 FOR INFLTRATION BASIN(S) CROSS SECTION. CONSTRUCTION TRAFFIC IN INFLTRATION AREA(S) IS NOT ALLOWED AFTER AREA HAS BEEN EXCAVATED. PRIOR TO FINAL STABILIZATION, LOOSEN SOIL WITH MECHANICAL TILLER. INFLTRATION AREA(S) ARE NOT APPROVED BORROW SITES AND ARE NOT TO BE USED FOR TEMPORARY SEDIMENT BASIN(S) ONCE BASIN(S) SUBGRADE ELEVATION HAS BEEN EXCAVATED. CONTRACTOR SHALL ENSURE THAT BASIN(S) INFILTRATE AT A MINIMUM RATE OF 0.8-INCHES PER HOUR USING A DOUBLE RING INFILTRMETER TEST BEFORE FINAL ACCEPTANCE. DOUBLE RING INFILTRMETER TEST SHALL BE SIGNED BY A REGISTERED GEOTECHNICAL ENGINEER AND SUBMITTED TO THE CITY AND ENGINEER FOR REVIEW BEFORE FINAL APPROVAL.
 - AREA NOT TO BE DISTURBED.
 - CONTRACTOR TO PLACE NEW GRAVEL OVER EXISTING TO RAISE THE TOP OF GRAVEL ELEVATION AS SHOWN. EXISTING GRAVEL SECTION SHALL NOT BE DISTURBED.



2 FRONT STAIR ENTRANCE DETAIL
1" = 10'

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

C200



ABBREVIATIONS	
AC	Air Conditioner
BLDG	Building
BM	Benchmark
CBL	Underground Cable Line
E	Electric Box
ELEV	Elevation
EX	Existing
G	Gas Meter
UG	Underground Gas Line
OHU	Overhead Utility Line
T	Telephone Pedestal
W	Well
W.O.	Washout
WQE	Water Quality Elevation

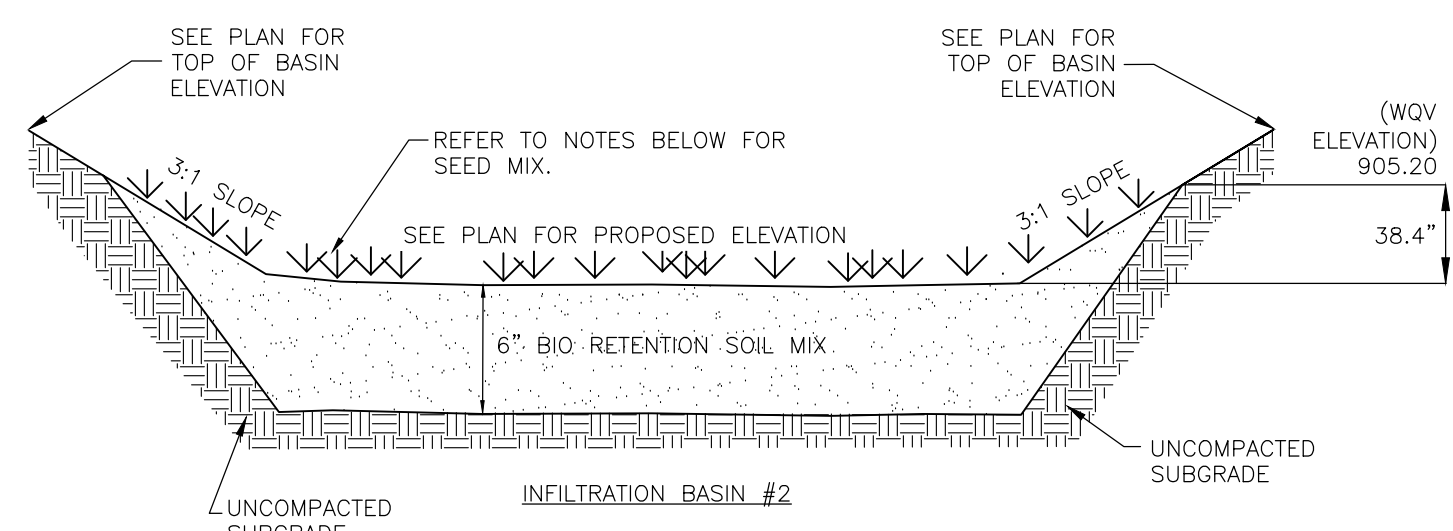
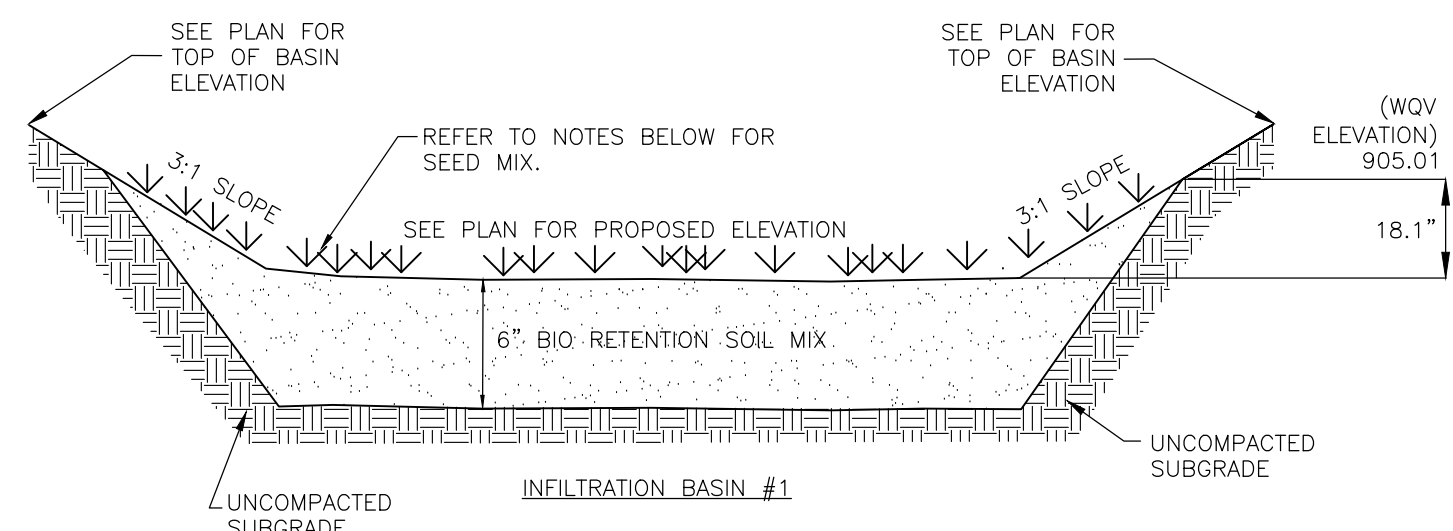
- NOTES:**
- REFER TO C200 FOR EROSION CONTROL NOTES.
 - REFER TO C200 FOR GRADING NOTES.

NOTE:
EXISTING WETLANDS ARE TO HAVE A MINIMUM BUFFER WIDTH OF 16.5- FEET. CONTRACTOR SHALL INSTALL TWO ROWS OF SILT FENCE AROUND WETLANDS PRIOR TO THE START OF CONSTRUCTION.

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
SILTATION FENCE	—X—X—
SEDIMENT CONTROL LOG	
TREE PROTECTION FENCE	—X—X—
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
PROPOSED CONTOUR	905.0
EROSION CONTROL BLANKET (TEMPORARY)	■
DRAINAGE FLOW ARROW	1.0%
SPOT ELEVATION	905.00

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [NO] ON PLAN.
- INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C400 AND 3/C400.
 - INSTALL MN/DOT 3885 CATEGORY 20 TEMPORARY STRAW FIBER EROSION CONTROL BLANKET.
 - INFILTRATION BASIN(S) AND WATER QUALITY TREATMENT POND(S) ARE TO BE CONSTRUCTED AT THE END OF GRADING OPERATIONS ONCE THE TRIBUTARY AREA'S FINAL STABILIZATION HAS BEEN INSTALLED. REFER TO DETAIL 1/C401 FOR INFILTRATION BASIN(S) CROSS SECTION. **CONSTRUCTION TRAFFIC IN INFILTRATION AREA(S) IS NOT ALLOWED AFTER AREA HAS BEEN EXCAVATED. PRIOR TO FINAL STABILIZATION, LOOSEN SOIL WITH MECHANICAL TILLER. INFILTRATION AREA(S) ARE NOT APPROVED BORROW SITES AND ARE NOT TO BE USED FOR TEMPORARY SEDIMENT BASIN(S) ONCE BASIN(S) SUBGRADE ELEVATION HAS BEEN EXCAVATED. CONTRACTOR SHALL ENSURE THAT BASIN(S) INFILTRATE AT A MINIMUM RATE OF 0.8-INCHES PER HOUR USING A DOUBLE RING INFILTRMETER TEST BEFORE FINAL ACCEPTANCE. DOUBLE RING INFILTRMETER TEST SHALL BE SIGNED BY A REGISTERED GEOTECHNICAL ENGINEER AND SUBMITTED TO THE CITY AND ENGINEER FOR REVIEW BEFORE FINAL APPROVAL.**
 - AREA NOT TO BE DISTURBED.

1 GRADING, DRAINAGE, AND EROSION CONTROL PLAN
1" = 30'



- BIORETENTION SOIL MIX :**
- 85-88% SAND BY VOLUME (ASTM C33)
 - 8-12% FINES BY VOLUME (SILT AND CLAY, MAX CLAY CONTENT 5%)
 - 3-5% MN/DOT 3890 GRADE 2 COMPOST BY VOLUME

- NOTES:**
- SUBMIT MIX DESIGN SHOP DRAWING FOR APPROVAL.
 - CONSTRUCTION TRAFFIC IN BASIN IS NOT ALLOWED AFTER AREA HAS BEEN EXCAVATED. PRIOR TO FINAL STABILIZATION, LOOSEN SUBGRADE TO A DEPTH OF 18-INCHES WITH MECHANICAL TILLER. BASINS ARE NOT APPROVED BORROW SITES AND ARE NOT TO BE USED AS TEMPORARY SEDIMENT BASIN ONCE BASIN SUBGRADE ELEVATION HAS BEEN EXCAVATED. CONTRACTOR SHALL ENSURE THAT BASIN INFILTRATES AT A MINIMUM RATE AS INDICATED ON PLAN USING A DOUBLE RING INFILTRMETER TEST BEFORE FINAL ACCEPTANCE. DOUBLE RING INFILTRMETER TEST SHALL BE SIGNED BY A REGISTERED GEOTECHNICAL ENGINEER AND SUBMITTED TO THE CITY AND ENGINEER FOR REVIEW BEFORE FINAL APPROVAL.
 - APPLY MN/DOT SSR (SOUTHERN SHORTGRASS ROADSIDE) SEED MIX (USE NORTHERN SHORTGRASS ROADSIDE FOR NW MN), ON SIDE SLOPES, AT A RATE OF 26 LBS/ACRE, AND WD (WET DITCH) SEED MIX, ON BASIN BOTTOM, AT A RATE OF 20 LB PER ACRE. ADD AN ADDITIONAL 1 LB PER ACRE OF MN/DOT 0 (OATS) TO BOTH MIXES.

2 BIOINFILTRATION BASIN SECTIONS
NOT TO SCALE

NOT FOR CONSTRUCTION

Revisions		
No.	Description	Date

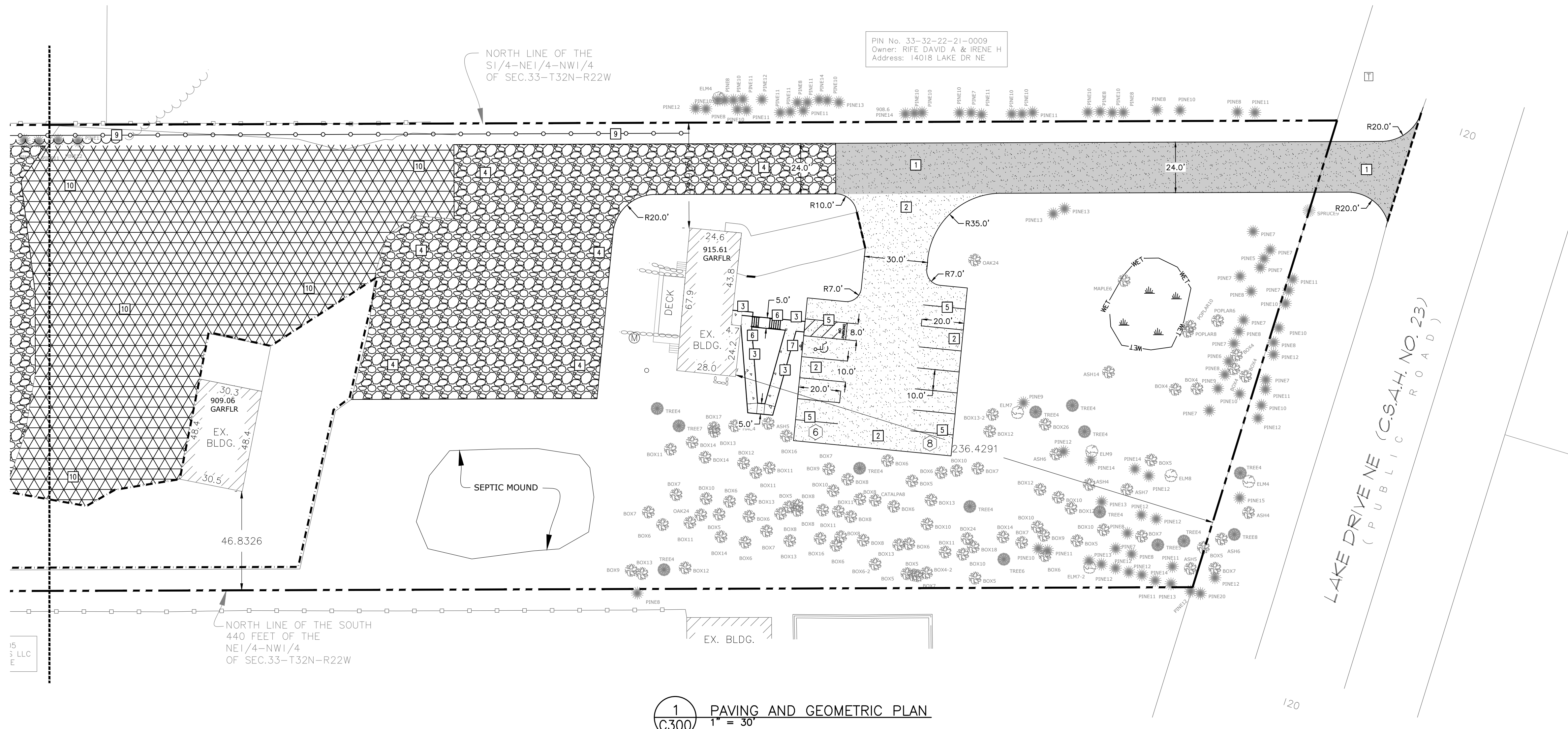
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Date	2026-02-04	Licensee	Lic. No.	XXXX
DATE				2026-02-04
PROJECT #				26177.5
PROJECT STATUS				CITY SUBMITTAL
DRAWN BY				WH
CHECKED BY				SD

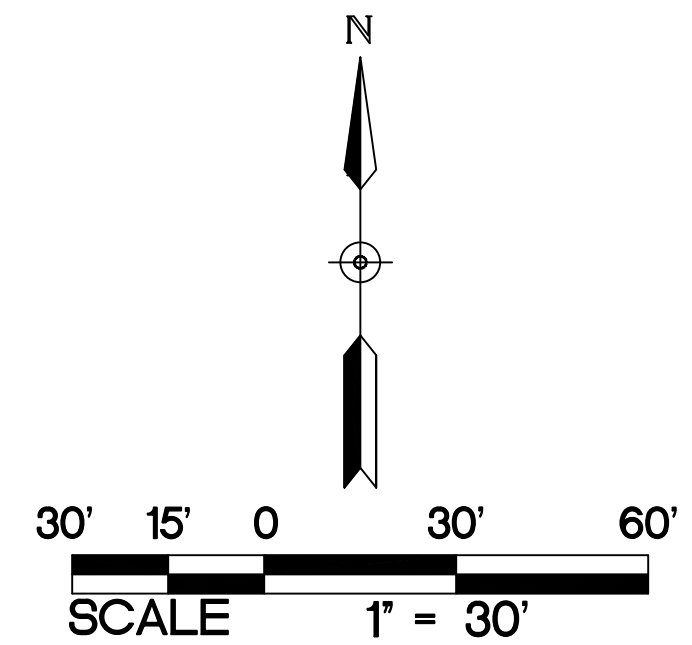
KEY PLAN

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

C201



PIN No. 33-32-22-21-0009
 Owner: RIFE DAVID A & IRENE H
 Address: 14018 LAKE DR NE



ABBREVIATIONS	
BLDG	Building
BM	Benchmark
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
LFE	Lower Floor Elevation
MAX	Maximum
MIN	Minimum
R	Radius
TYP.	Typical
MN MUTCD	Minnesota Manual on Uniform Traffic Control Devices

NOTE: EXISTING WETLANDS ARE TO HAVE A MINIMUM BUFFER WIDTH OF 16.5- FEET. CONTRACTOR SHALL INSTALL TWO ROWS OF SILT FENCE AROUND WETLANDS PRIOR TO THE START OF CONSTRUCTION.

NOTE: AREA OF GRAVEL STORAGE IS 2.78 ACRES.

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
FENCE LINE	---
TREE LINE	---
LIGHT DUTY BITUMINOUS PAVEMENT	---
HEAVY DUTY BITUMINOUS PAVEMENT	---
CONCRETE PAVEMENT/SIDEWALK	---
PROPOSED GRAVEL PARKING AREA	---
MODIFIED EXISTING GRAVEL PARKING AREA	---
ACCESSIBLE PARKING SYMBOL	---
SIGN	---
PARKING STALL COUNT	---

- PAVING NOTES:**
- NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
 - FOLLOW ALL CITY OF COLUMBUS AND ANOKA COUNTY RULES, REGULATIONS, AND SPECIFICATIONS WHEN WORKING IN PUBLIC RIGHT OF WAY.
 - STRIPED PARKING LOTS AS SHOWN. ALL PARKING STALLS ARE TO BE 10 FEET WIDE BY 20 FEET LONG, UNLESS NOTED OTHERWISE.
 - ACCESSIBLE AISLES SHALL BE STRIPED PER MN CODE (SECTION 502). WHERE "NO PARKING" SIGNAGE WOULD OBSTRUCT A CURB RAMP OR ACCESSIBLE ROUTE, "NO PARKING" SHALL BE PRINTED ON THE SURFACE OF THE ACCESS AISLE.
 - THE CONTRACTOR IS TO CONTACT THE CITY OF COLUMBUS FIRE MARSHALL FOR THE EXACT PLACEMENT OF FIRE LANES, YELLOW-PAINTED CURBING, AND NO PARKING AREAS FOR FIRE PROTECTION PURPOSES.
 - INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
 - MATCH NEW PAVEMENT, CURB AND GUTTER, AND SIDEWALK INTO EXISTING. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
 - SAWCUT EXISTING PAVEMENT, SIDEWALK, AND CURB AND GUTTER TO NEAREST JOINT. COORDINATE REMOVAL LIMITS WITH SITE DEMOLITION CONTRACTOR AND CONSTRUCTION MANAGER.
 - INSTALL DRIVE ENTRANCE PER CITY OF COLUMBUS STANDARDS AND SPECIFICATIONS. FOLLOW ALL CITY OF COLUMBUS AND ANOKA COUNTY REQUIREMENTS FOR TRAFFIC CONTROL.
 - REFER TO SPECIFICATIONS FOR GRADE VERIFICATION SURVEY REQUIREMENTS PRIOR TO PLACEMENT OF SUB-BASE MATERIAL, BASE MATERIAL, AND PAVEMENTS/SIDEWALKS.

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [NO] ON PLAN.
- INSTALL HEAVY-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 4/C400.
 - INSTALL LIGHT-DUTY BITUMINOUS PAVEMENT. REFER TO DETAIL 5/C400.
 - INSTALL CONCRETE WALK. REFER TO DETAIL 6/C400.
 - INSTALL GRAVEL PARKING AREA. REFER TO DETAIL 6/C400.
 - PAINT PARKING LOT STRIPING AND NO PARKING AREA, 4" WIDE STRIPES, WHITE IN COLOR. STRIPING FOR CROSS HATCH SHALL BE AS SHOWN SPACED 3' APART.
 - INSTALL CONCRETE STAIRS. REFER TO DETAIL 10/C400.
 - INSTALL ACCESSIBLE PARKING SIGN. REFER TO DETAIL 9/C400.
 - INSTALL NO PARKING ANY TIME SIGN. REFER TO DETAIL 9/C400.
 - INSTALL FENCE. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR FENCING.
 - INSTALL NEW GRAVEL OVER EXISTING GRAVEL SECTION. EXISTING GRAVEL SECTION TO REMAIN. INTENT IS TO RAISE THE TOP OF GRAVEL ELEVATION TO MATCH THE GRADING INTENT ON SHEETS C200 AND C201. REFER TO DETAIL 6/C400 FOR GRAVEL MATERIAL.

URBAN COMPANIES PROPERTY LLC

13960 LAKE DRIVE NE
 COLUMBUS, MN 55025

6120 Earle Brown Drive
 Suite 700 Minneapolis,
 MN 55430 Phone:
 763.843.0420
 bkbrm.com

© 2026 BKBM Engineers
 Blake Kopp Ballou & McFarlin, Inc.
 All rights reserved. This document is an instrument
 of service and is the property of BKBM Engineers
 and may not be used or copied without prior written
 consent.

BKBM Project No. 26177.5

NOT FOR CONSTRUCTION

Revisions		
No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Date	Licensee	Lic. No.	XXXX
2026-02-04			

DATE **2026-02-04**
 PROJECT # **26177.5**
 PROJECT STATUS **CITY SUBMITTAL**

DRAWN BY **WH**
 CHECKED BY **SD**

KEY PLAN

PAVING AND GEOMETRIC PLAN

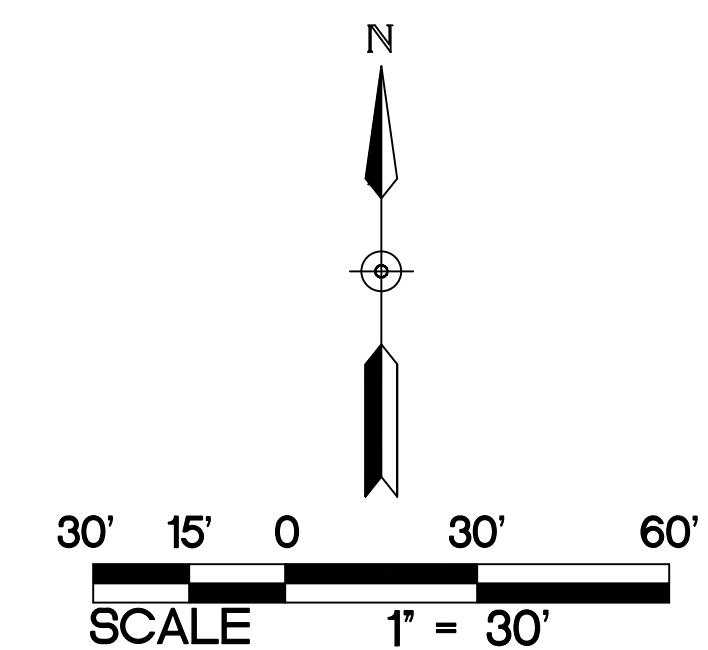
C300

URBAN COMPANIES PROPERTY LLC

13960 LAKE DRIVE NE
COLUMBUS, MN 55025

6120 Earle Brown Drive
Suite 700 Minneapolis,
MN 55430 Phone:
763.843.0420
bkbm.com

© 2026 BKBM Engineers
Bakke Kopp Ballou & McFarlin, Inc.
All rights reserved. This document is an instrument
of service and is the property of BKBM Engineers
and may not be used or copied without prior written
consent.
BKBM Project No. 26177.5



PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	- - - -
FENCE LINE	○ ○ ○ ○
TREE LINE	~~~~~
PROPOSED GRAVEL PARKING AREA	▒
MODIFIED EXISTING GRAVEL PARKING AREA	▤

NOTE:
EXISTING WETLANDS ARE TO HAVE A MINIMUM BUFFER WIDTH OF 16.5- FEET. CONTRACTOR SHALL INSTALL TWO ROWS OF SILT FENCE AROUND WETLANDS PRIOR TO THE START OF CONSTRUCTION.

NOTE:
AREA OF GRAVEL STORAGE IS 2.78 ACRES.

KEYED NOTES

KEYED NOTES ARE DENOTED BY [NO] ON PLAN.

- [4] INSTALL GRAVEL PARKING AREA. REFER TO DETAIL 6/C400.
- [9] INSTALL FENCE. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR FENCING.
- [10] INSTALL NEW GRAVEL OVER EXISTING GRAVEL SECTION. EXISTING GRAVEL SECTION TO REMAIN. INTENT IS TO RAISE THE TOP OF GRAVEL ELEVATION TO MATCH THE GRADING INTENT ON SHEETS C200 AND C201. REFER TO DETAIL 6/C400 FOR GRAVEL MATERIAL.

NOT FOR CONSTRUCTION

Revisions		
No.	Description	Date

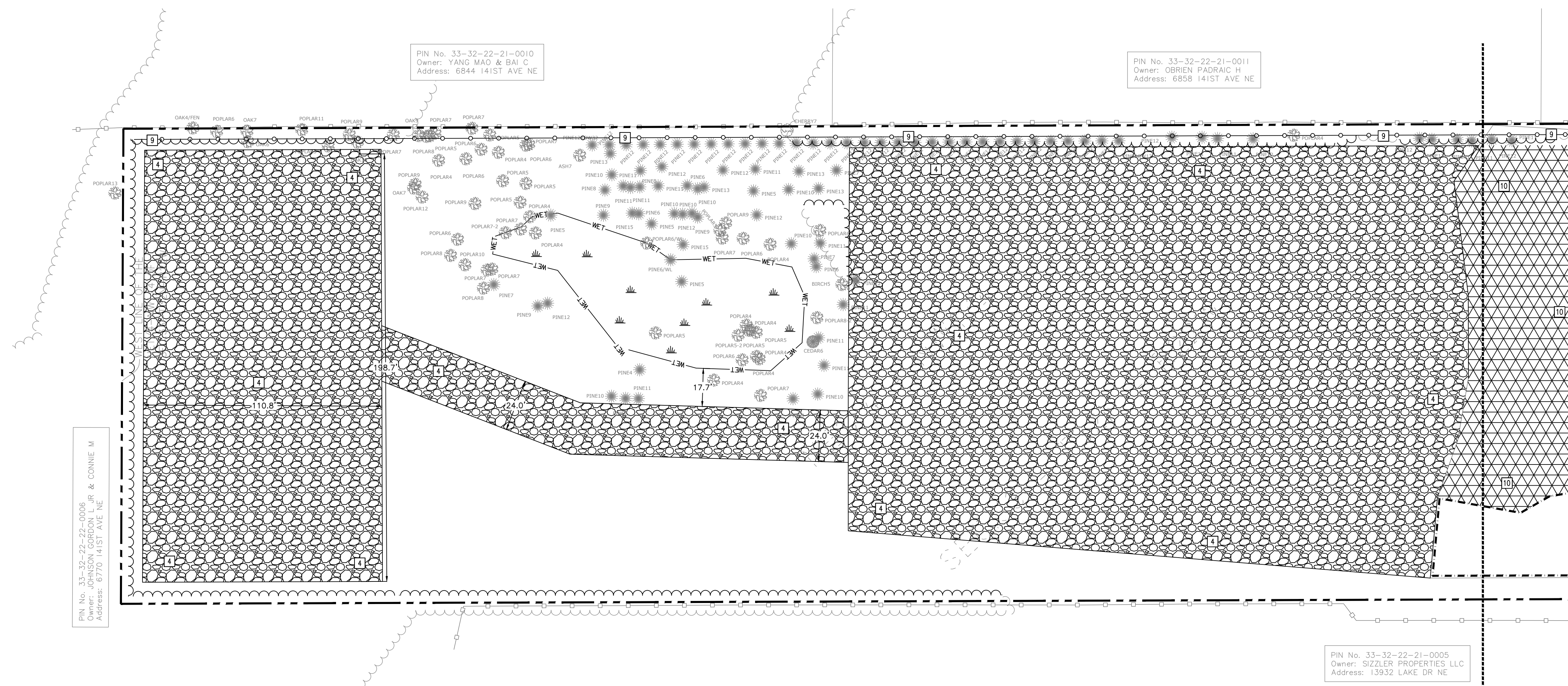
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Date 2026-02-04 Licensee Lic. No. XXXX
DATE 2026-02-04
PROJECT # 26177.5
PROJECT STATUS CITY SUBMITTAL
DRAWN BY WH
CHECKED BY SD

KEY PLAN

PAVING AND GEOMETRIC PLAN

C301



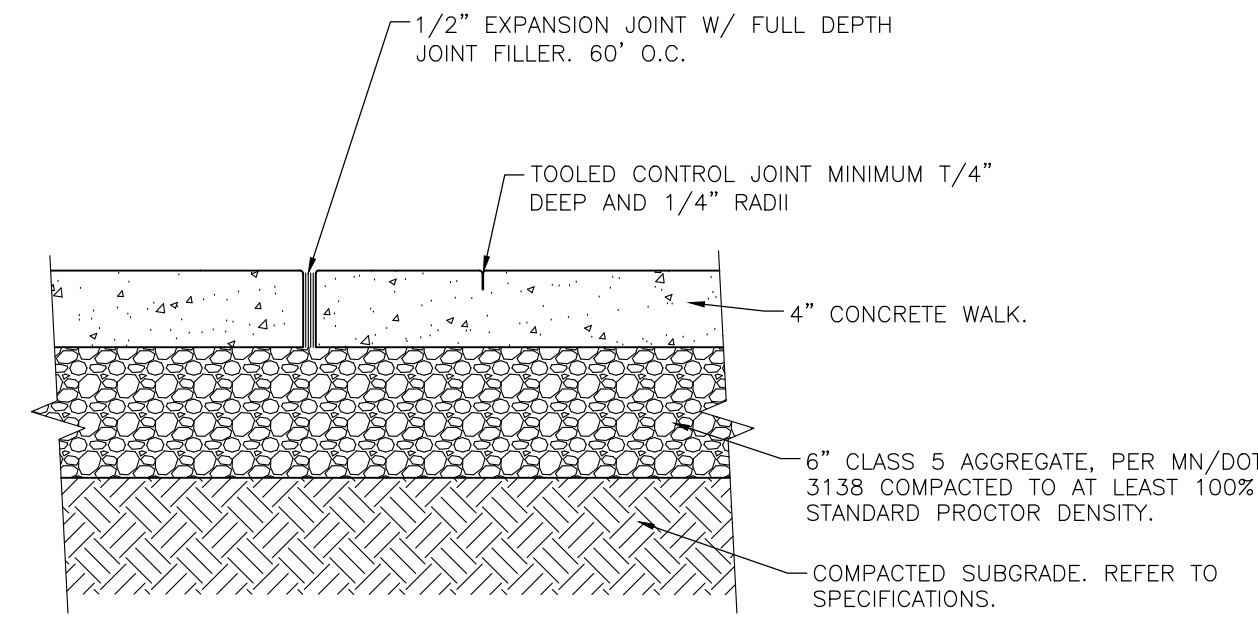
PIN No. 33-32-22-21-0010
Owner: YANG MAO & BAI C
Address: 6844 141ST AVE NE

PIN No. 33-32-22-21-0011
Owner: OBRIEN PADRAIC H
Address: 6858 141ST AVE NE

PIN No. 33-32-22-22-0006
Owner: JOHNSON GORDON L JR & CONNIE M
Address: 6770 141ST AVE NE

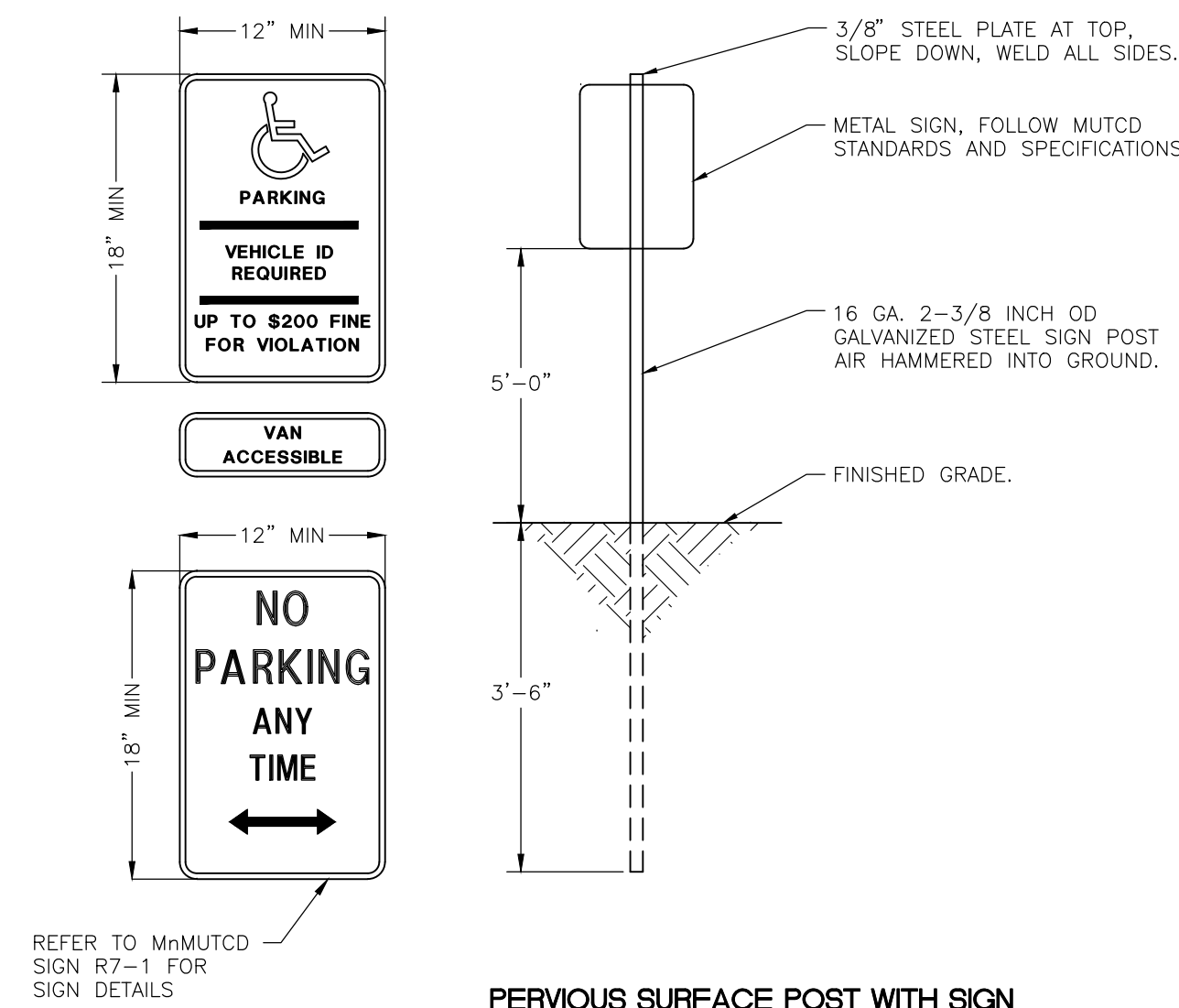
PIN No. 33-32-22-21-0005
Owner: SIZLER PROPERTIES LLC
Address: 13932 LAKE DR NE

1 PAVING AND GEOMETRIC PLAN
C301 1" = 30'



NOTE:
1: JOINT SPACING SHALL BE A MAXIMUM OF 6- FEET ON CENTER.

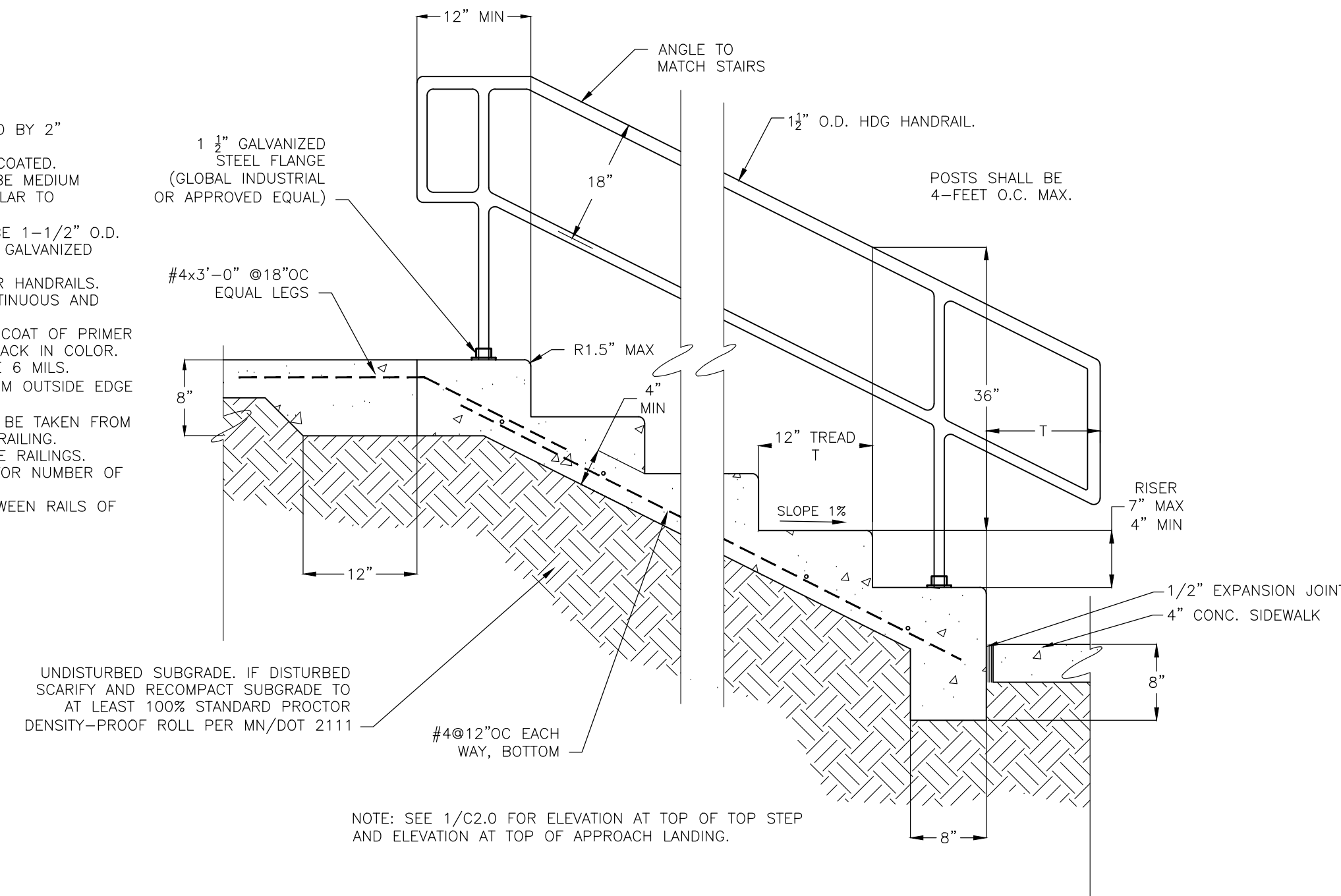
8 CONCRETE SIDEWALK (TYP.)
C400 NOT TO SCALE



PERVIOUS SURFACE POST WITH SIGN

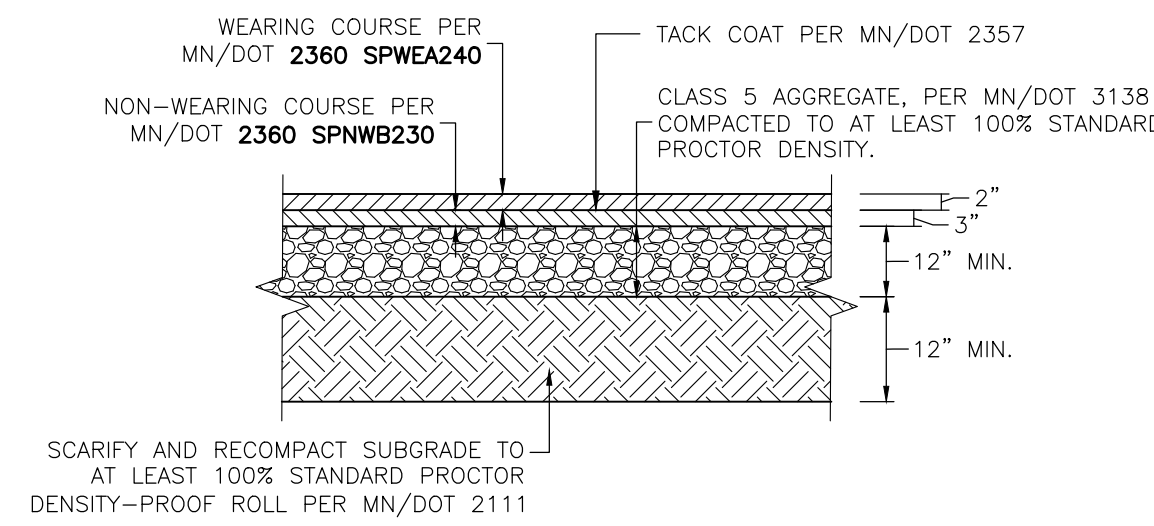
9 SIGN AND POST
C400 NOT TO SCALE

- NOTES:
1. ALL REBAR TO BE COVERED BY 2" CONCRETE.
 2. ALL REBAR TO BE EPOXY COATED.
 3. CONCRETE SURFACING TO BE MEDIUM BROOM FINISH PERPENDICULAR TO PEDESTRIAN CIRCULATION.
 4. HANDRAIL AND POSTS TO BE 1-1/2" O.D. SCHEDULE 40 HOT DIPPED GALVANIZED STEEL PIPE.
 5. SUBMIT SHOP DRAWING FOR HANDRAILS.
 6. ALL WELDS SHALL BE CONTINUOUS AND GROUND SMOOTH.
 7. PAINT HANDRAIL WITH ONE COAT OF PRIMER AND TWO FINISH COATS-BLACK IN COLOR. PAINT THICKNESS SHALL BE 6 MILS.
 8. SET RAILING POSTS 6" FROM OUTSIDE EDGE OF STAIRS-BOTH SIDES.
 9. 36" RAILING HEIGHT SHALL BE TAKEN FROM STAIR NOSING TO TOP OF RAILING.
 10. LANDINGS SHALL ALSO HAVE RAILINGS.
 11. REFER TO GRADING PLAN FOR NUMBER OF STAIRS AND HEIGHT.
 12. MINIMUM CLEAR WIDTH BETWEEN RAILS OF 36".

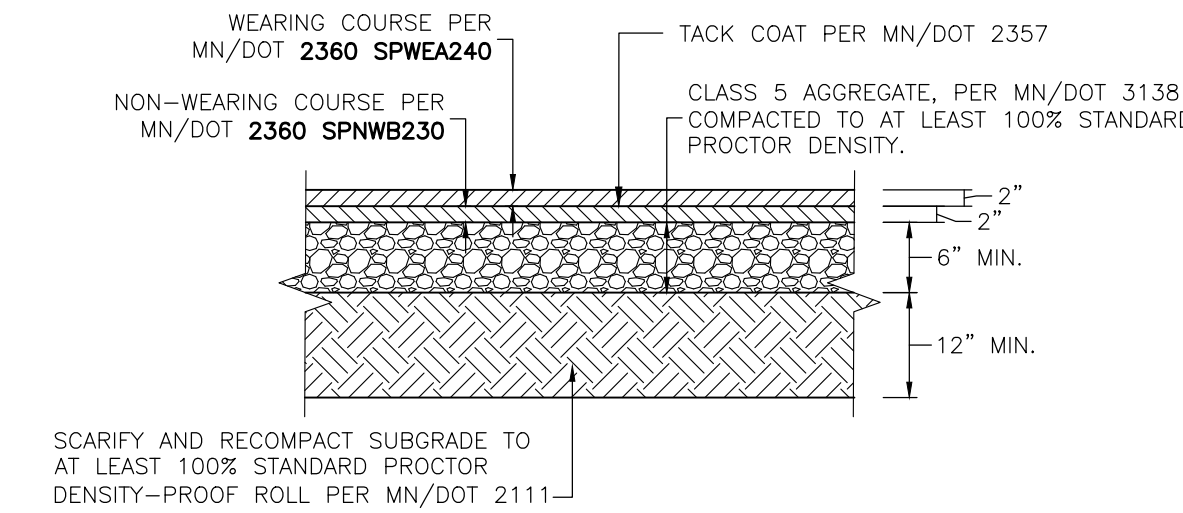


NOTE: SEE 1/C2.0 FOR ELEVATION AT TOP OF TOP STEP AND ELEVATION AT TOP OF APPROACH LANDING.

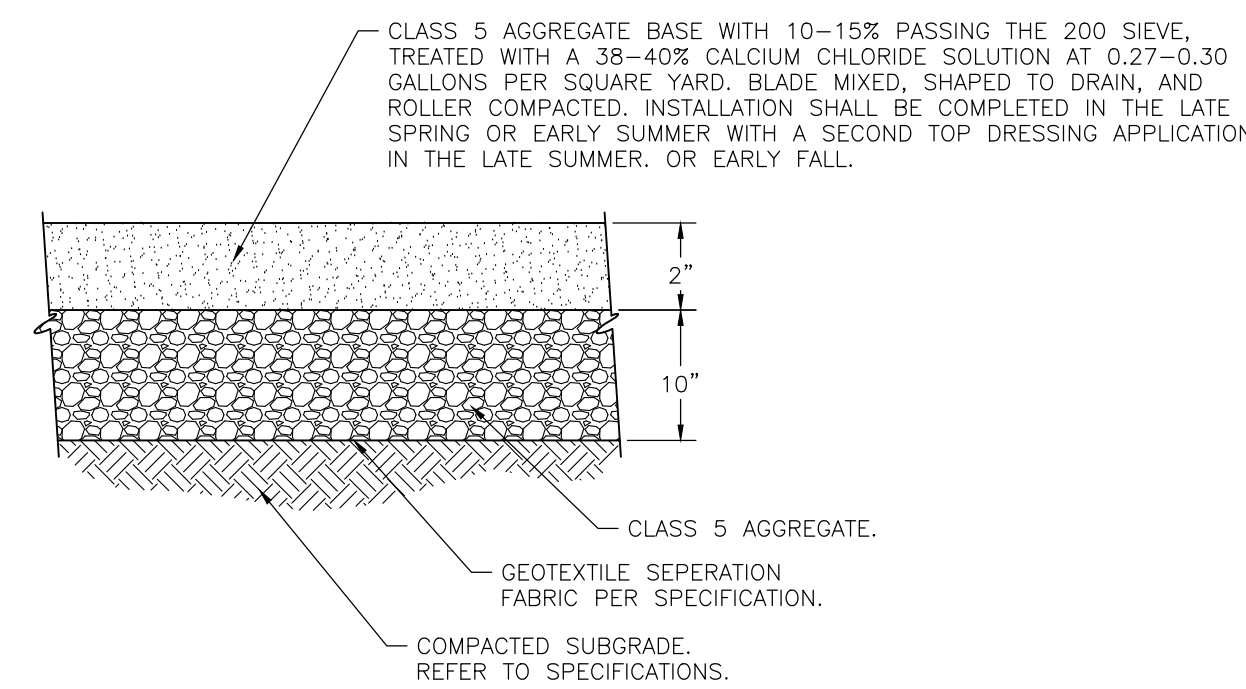
10 CONCRETE STAIR AND RAILING
C400 NOT TO SCALE



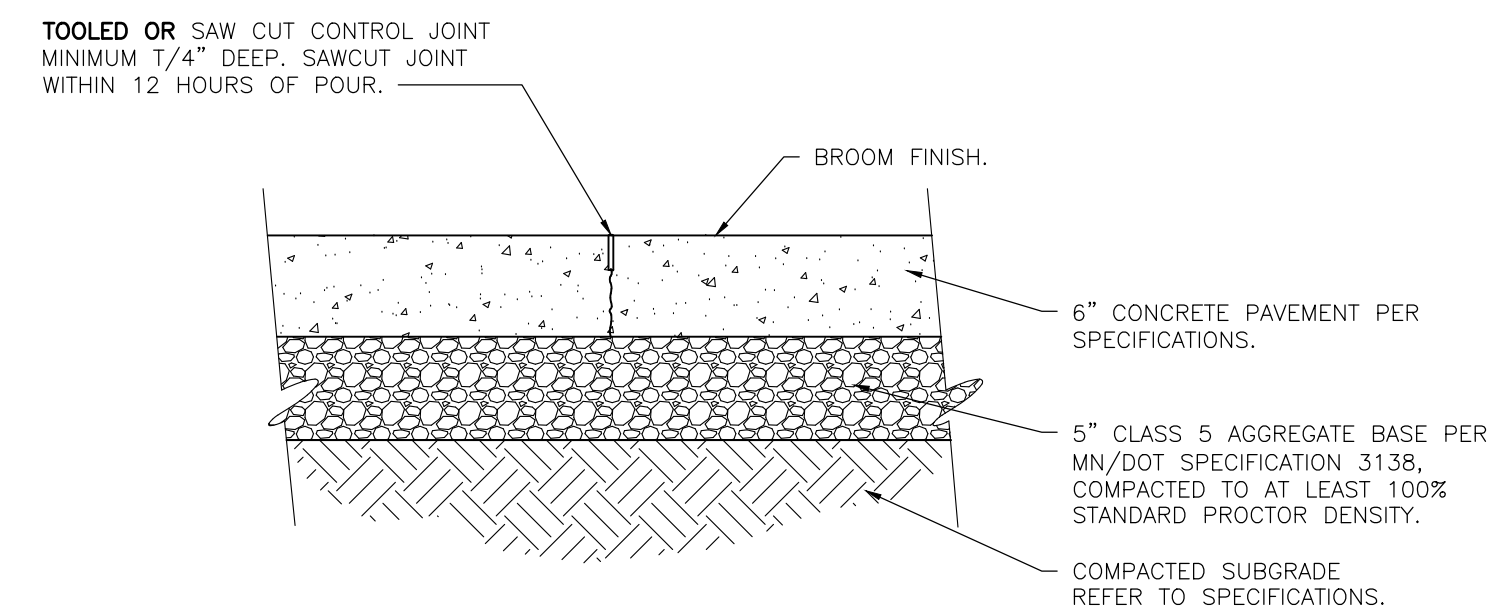
4 HEAVY-DUTY BITUMINOUS PAVEMENT
C400 NOT TO SCALE



5 LIGHT-DUTY BITUMINOUS PAVEMENT
C400 NOT TO SCALE

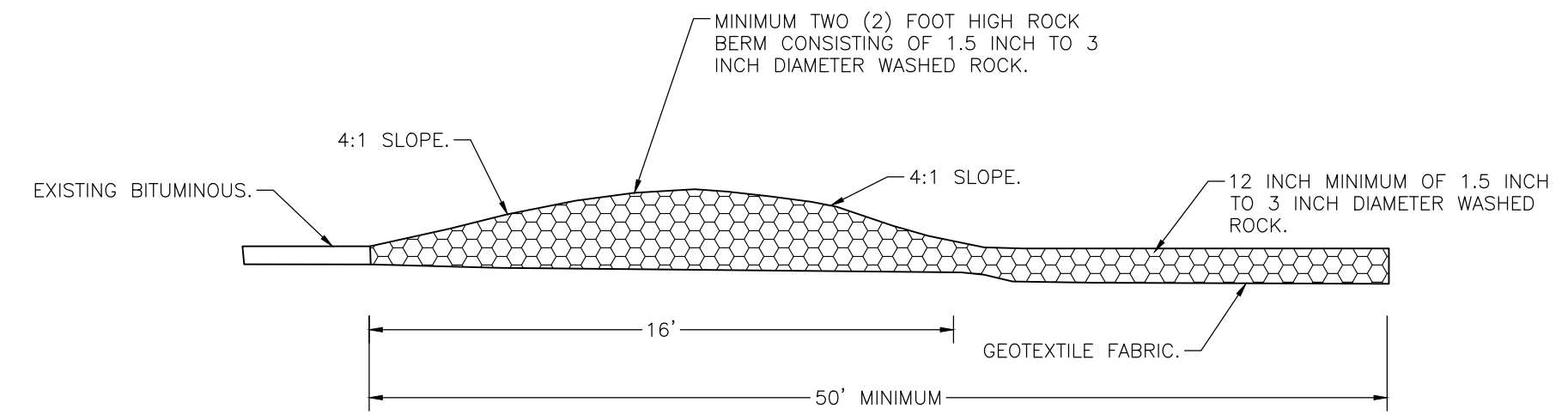


6 GRAVEL PARKING SECTION
C400 NOT TO SCALE



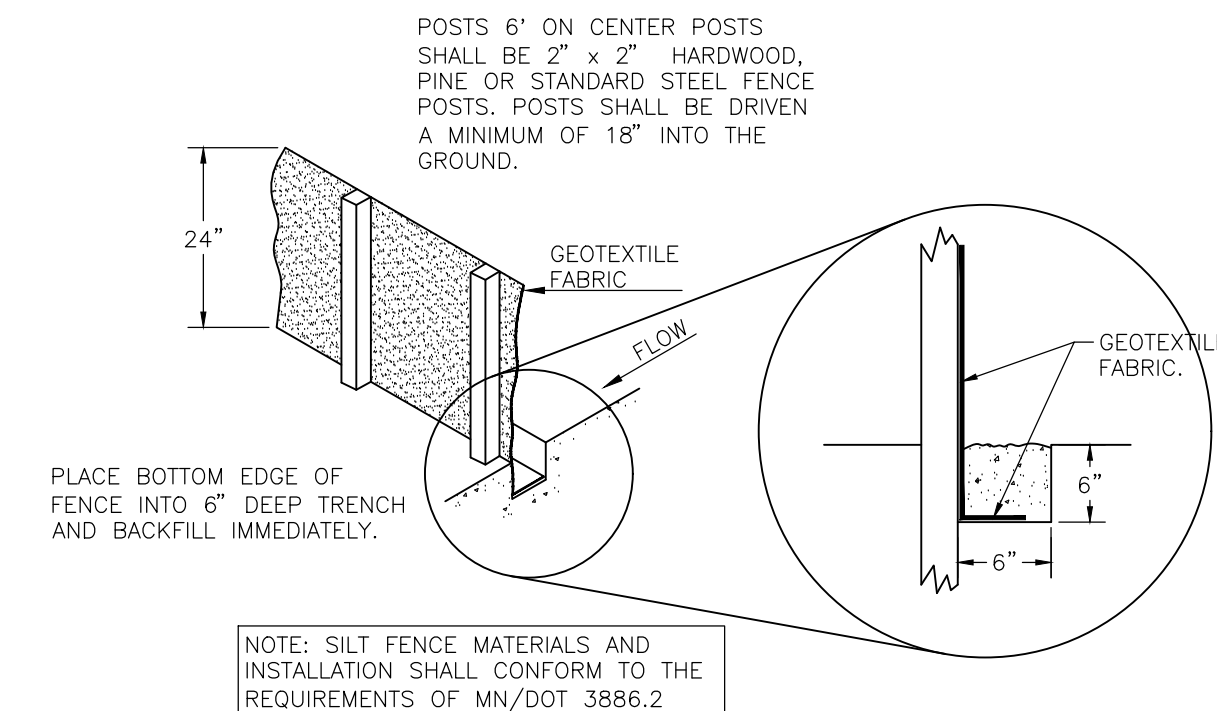
NOTE:
1: JOINT SPACING SHALL NOT EXCEED 24 TO 30 TIMES THE PAVEMENT THICKNESS WITH A MAXIMUM OF 15 FEET.

7 CONCRETE PAVEMENT
C400 NOT TO SCALE



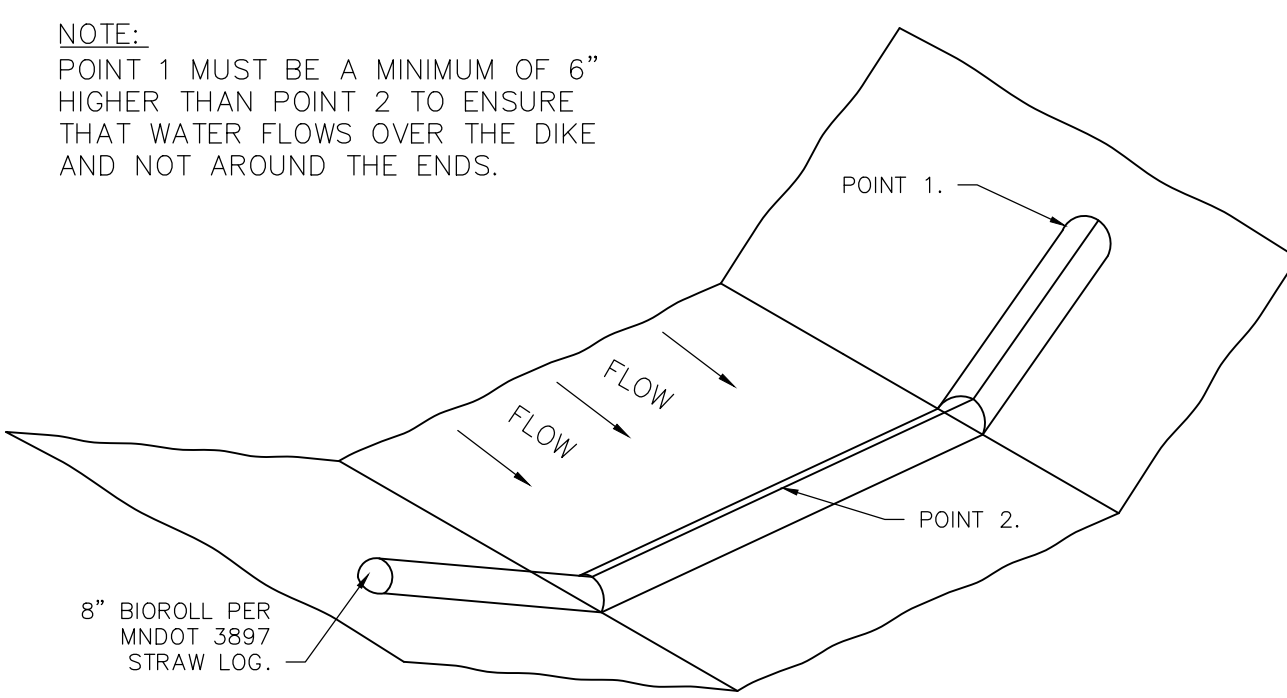
- NOTE:
1. MINIMUM LENGTH OF 50 FEET AND WIDTH OF 12 FEET.
 2. FOLLOW ALL CITY, WATERSHED DISTRICT AND MPCA STANDARDS.
 3. CLEAN STREETS ON A DAILY BASIS OR MORE FREQUENTLY IF REQUESTED BY CITY, WATERSHED DISTRICT OR MPCA.

1 BERMED ROCK CONSTRUCTION ENTRANCE
C400 NOT TO SCALE



NOTE: SILT FENCE MATERIALS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF MN/DOT 3886.2

2 SILTATION FENCE
C400 NOT TO SCALE



3 BIO ROLL
C400 NOT TO SCALE

NOT FOR CONSTRUCTION

Revisions		
No.	Description	Date

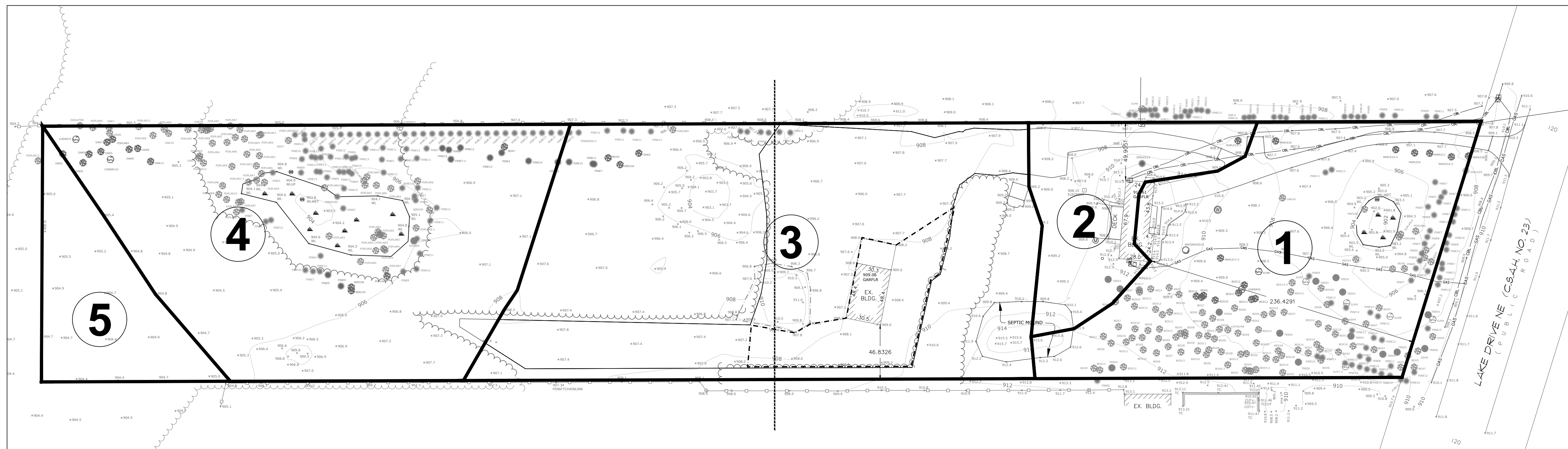
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Date	2026-02-04	Licensee	Lic. No.	XXXX
DATE				2026-02-04
PROJECT #				26177.5
PROJECT STATUS				CITY SUBMITTAL
DRAWN BY				WH
CHECKED BY				SD

KEY PLAN

CIVIL DETAILS

C400



NOTE:
EXISTING WETLANDS ARE TO HAVE A MINIMUM BUFFER WIDTH OF 16.5- FEET. CONTRACTOR SHALL INSTALL TWO ROWS OF SILT FENCE AROUND WETLANDS PRIOR TO THE START OF CONSTRUCTION.

1 EXISTING CONDITIONS
C500 1"=50'

HANDLING AND STORAGE OF HAZARDOUS MATERIALS:

IF THE CONTRACTOR INTENDS TO USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS ON THE PROJECT SITE, THE CONTRACTOR MUST COMPLY WITH THE FOLLOWING MINIMUM REQUIREMENTS:

1. THE CONTRACTOR MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION TO ENSURE EFFECTIVE TREATMENT. CHEMICALS MAY ONLY BE APPLIED WHERE TREATED STORMWATER IS DIRECTED TO A SEDIMENT CONTROL SYSTEM WHICH ALLOWS FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.
2. CHEMICALS MUST BE SELECTED THAT ARE APPROPRIATELY SUITED TO THE TYPES OF SOILS LIKELY TO BE EXPOSED DURING CONSTRUCTION AND TO THE EXPECTED TURBIDITY, PH, AND FLOW RATE OF STORMWATER FLOWING INTO THE CHEMICAL TREATMENT SYSTEM OR AREA.
3. CHEMICALS MUST BE USED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, AND WITH DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR PROVIDER/SUPPLIER OF THE APPLICABLE CHEMICALS.

ON-SITE FUEL TANKS REQUIRE SECONDARY CONTAINMENT AS REQUIRED BY THE PERMIT. PORTABLE FUEL TRUCKS SHALL HAVE THEIR SPILL KITS AVAILABLE DURING FUELING. SPILLS GREATER THAN 5 GALLONS MUST BE REPORTED TO THE PROPER AUTHORITIES.

NOTE:
AN AS-BUILT SURVEY OF ALL INFILTRATION BASINS SHALL BE SUBMITTED TO RICE CREEK WATERSHED DISTRICT PRIOR TO PROJECT CLOSEOUT. THE AS-BUILT SURVEY SHALL INCLUDE THE INFILTRATION BASIN LAYOUTS FOR VERIFICATION THAT THE SYSTEM WAS INSTALLED PROPERLY.

SWPPP IMPLEMENTATION, INSTALLATION, INSPECTION, AND BMP MAINTENANCE SHALL BE PERFORMED BY THE CONTRACTOR.

NAME: _____
CERTIFICATION #: _____
DATE: _____

NOTE:

THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT INCLUDES THE CIVIL ENGINEERING PLANS AND THE PROJECT MANUAL.

CONTRACTOR SHALL SUPPLY CONSTRUCTION PHASING NARRATIVE, ESTIMATED PRELIMINARY QUANTITIES OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S ANTICIPATED AT THE START OF THE PROJECT AND FOR THE LIFE OF THE PROJECT, AND LOCATION OF AREAS WHERE CONSTRUCTION WILL BE PHASED TO MINIMIZE DURATION OF EXPOSED SOIL AREAS. CONTRACTOR IS TO REVIEW MINNESOTA POLLUTION CONTROL AGENCY'S INSTRUCTIONS FOR THE APPLICATION FOR MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY PRIOR TO SUBMITTING APPLICATION.

INSPECTIONS

EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 1/2 INCH OVER 24 HOURS RAIN EVENT.

STABILIZED AREAS: ONCE EVERY 30 DAYS.

FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.

RECORDS: A COPY OF THE GRADING, DRAINAGE EROSION CONTROL PLAN AND WATERSHED DATA & SWPPP PLANS AS WELL AS THE INSPECTIONS/MAINTENANCE LOGS ARE TO BE KEPT EITHER IN THE FIELD OFFICE, INSPECTOR'S VEHICLE, OR CONTRACTOR'S VEHICLE.

FINAL STABILIZATION

STABILIZATION BY UNIFORM PERENNIAL VEGETATIVE COVER (70% DENSITY)

DRAINAGE DITCHES STABILIZED.

ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMP'S REMOVED.

CLEAN OUT SEDIMENT FROM CONVEYANCES AND SEDIMENTATION BASINS (RETURN TO DESIGN CAPACITY).

GRADING & SOILS

BASED ON SOIL INFORMATION OBTAINED FROM WEBSOILSURVEY.SC.EGOV.USDA.GOV, SOILS TYPICALLY FOUND ON THIS PROJECT ARE: SW SP

SPECIAL AND IMPAIRED WATERS
THESE SPECIAL AND IMPAIRED WATERS ARE LOCATED WITHIN ONE MILE (AERIAL RADIUS) OF THE PROJECT LIMITS AND RECEIVE RUNOFF FROM THE PROJECT SITE. DUE TO THE PROXIMITY OF THESE SPECIAL AND IMPAIRED WATERS, THE BMP'S DESCRIBED IN SECTION 2.3 OF THE NPDES PERMIT WILL APPLY TO ALL AREAS OF THE SITE.

WATERBODY	IMPAIRMENT(S)
NONE	NA

MINIMUM ESTIMATED QUANTITIES FOR EROSION CONTROL

ITEM DESCRIPTION	ESTIMATED QUANTITY
ROCK CONSTRUCTION ENTRANCE	1 EACH
CONCRETE WASHOUT	1 EACH
SILT FENCE	1844 LF
STRAW BIO LOG	913 LF
EROSION CONTROL BLANKET	1032 SY

NOTE: QUANTITIES SHOWN ARE THE MINIMUM REQUIRED, ADDITIONAL QUANTITIES MAY BE NEEDED IF REQUIRED BY THE MPCA, WATERSHED DISTRICT, OR CITY. CONTRACTOR IS RESPONSIBLE FOR FINAL DETERMINATION OF QUANTITIES PRIOR TO CONSTRUCTION.

CONSTRUCTION ACTIVITY EROSION PREVENTION PRACTICES

CONTRACTOR SHALL STABILIZE ALL EXPOSED SOIL AREAS (INCLUDING STOCKPILES). STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHENEVER ANY CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

FOR PUBLIC WATER THAT THE DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPANNING TIME FRAMES, ALL EXPOSED SOIL AREAS THAT ARE WITHIN 200 FEET OF THE WATER'S EDGE, AND DRAIN TO THESE WATERS MUST COMPLETE THE STABILIZATION ACTIVITIES WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.

PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24-HOURS AFTER CONNECTION TO A SURFACE WATER.

SEDIMENT CONTROL MEASURES MUST BE INSTALLED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADIENT LAND DISTURBING ACTIVITIES BEGIN.

SEDIMENT AND EROSION CONTROL MAINTENANCE

PERIMETER SEDIMENT CONTROL PRACTICES: WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE BMP, THE SEDIMENT MUST BE REMOVED WITHIN 24 HOURS. IF PERIMETER SEDIMENT CONTROL HAS BEEN DAMAGED OR IS NOT FUNCTIONING PROPERLY, IT MUST BE REPAIRED AND/OR REPLACED WITHIN 24 HOURS. PERIMETER BMP MEASURES MAY INCLUDE SILT FENCING.

CONSTRUCTION SITE VEHICLE EXIT LOCATIONS: ALL TRACKED SEDIMENT ONTO PAVED SURFACES MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR MORE FREQUENTLY IF REQUIRED BY CITY OR WATERSHED.

CONSTRUCTION SITE DEWATERING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS. DISCHARGE FROM ALL DEWATERING OPERATIONS SHALL BE DIRECTED TO ON-SITE DEPRESSIONS. NO DISCHARGE FROM DEWATERING OPERATIONS SHALL BE DIRECTED OFF-SITE TOWARDS A WATER OF THE STATE.

PORTABLE TOILET NOTES:

1. PORTABLE TOILETS POSE AN ENVIRONMENTAL HAZARD WHEN PLACED IN THE VICINITY OF STORM DRAINS OR BODIES OF WATER. PORTABLE TOILET CLEANING ACTIVITIES CAN ALSO GENERATE POLLUTANTS THAT CAN DEGRADE WATER QUALITY.
2. PORTABLE TOILET PLACEMENT:
 - 2.1. PLACE PORTABLE TOILETS ON FLAT STABLE GROUND WITH CLEAR ACCESS TO THE UNITS.
 - 2.2. LOCATE TOILETS A MINIMUM OF 20 FEET FROM ANY WATER BODY AND 10 FEET FROM ANY CURB AND GUTTER. IF UNFEASIBLE, AN EARTHERM BERM OR SAND BAG BERM SHALL BE PLACED AROUND THE UNIT FOR SPILL AND LEAK CONTAINMENT.
 - 2.3. AVOID PLACING TOILETS ON IMPERVIOUS SURFACES THAT WILL QUICKLY DRAIN TO STORM SEWERS.
 - 2.4. LOCATE TOILETS SO THAT EXPOSURE TO TRAFFIC AND MOVING EQUIPMENT IS MINIMIZED.
 - 2.5. SECURE TOILETS TO THE GROUND WITH STAKES OR CABLES.
 - 2.6. RINSE WATER FROM CLEANING ACTIVITIES SHALL NOT BE DISPOSED ON SITE.
3. REGULARLY CHECK TOILETS FOR DAMAGE, LEAKS AND SPILLS AS PART OF THE WEEKLY STORMWATER SITE INSPECTION.
4. OWNER IDENTIFICATION AND CONTACT INFORMATION SHALL BE DISPLAYED IN A PROMINENT LOCATION ON EACH UNIT.

OTHER NOTES:

1. LONG TERM MAINTENANCE OF THE SITE WILL BE PERFORMED BY THE OWNER. INCLUDED MAINTENANCE FOR STORMWATER DEVICES SHALL BE:

- 1.1. INSPECT INFILTRATION BASINS ON AN ANNUAL BASIS. REMOVE TRASH AND DEBRIS AS NEEDED.
- 1.2. REPAIR ANY ERODED AREAS IN OR AROUND INFILTRATION BASINS.

2. THIS SWPPP WAS PREPARED BY PERSONNEL THAT ARE CERTIFIED IN THE DESIGN OF CONSTRUCTION SWPPPS. COPIES OF THE CERTIFICATIONS ARE ON FILE WITH BKBM AND ARE AVAILABLE UPON REQUEST.

3. THIS SWPPP DOCUMENT MUST BE AMENDED AS NECESSARY DURING CONSTRUCTION IN ORDER TO KEEP CURRENT WITH THE POLLUTANT CONTROL MEASURES UTILIZED AS THE SITE. THE SITE MAP SHOWING LOCATIONS OF ALL STORM WATER CONTROLS MUST BE POSTED ON THE SITE AND UPDATED TO REFLECT THE PROGRESS OF CONSTRUCTION.

POLLUTION PREVENTION MANAGEMENT MEASURES

SOLID WASTE DISPOSED PROPERLY; COMPLY WITH MPCA REQUIREMENTS.

HAZARDOUS WASTE STORED (SECONDARY CONTAINMENT, RESTRICTED ACCESS) AND DISPOSED IN COMPLIANCE WITH MPCA REQUIREMENTS.

NO EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION ALLOWED ON-SITE.

CONCRETE WASHOUT ON-SITE: ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

THE CONCRETE WASHOUT AREA INDICATED ON THE PLANS IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION IN ACCORDANCE WITH MPCA REQUIREMENTS.

STORAGE HANDLING AND DISPOSAL OF CONSTRUCTION PRODUCTS, MATERIALS, AND WASTES:

BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER.

PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER.

HAZARDOUS MATERIALS, TOXIC WASTE (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) MUST BE PROPERLY STORED IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS, OR OTHER DISCHARGES.

PROJECT NARRATIVE

EXISTING SITE DESCRIPTION --- THE EXISTING SITE IS APPROXIMATELY 6.1 ACRES IN SIZE AND CONSISTS OF AN EXISTING SINGLE FAMILY HOME, STORAGE SHED, CONCRETE AND BITUMINOUS DRIVEWAYS, GRASS AREAS, AND WOODED AREAS. STORMWATER RUNOFF FROM THE SITE GENERALLY DRAINS TO THE EAST AND WEST ENDS OF THE SITE, WHERE THERE IS AN EXISTING WETLAND AT EACH RESPECTIVE LOCATION. A PORTION OF THE CENTER OF THE SITE IS COLLECTED IN AN EXISTING DEPRESSION/BASIN.

PROPOSED SITE DESCRIPTION --- THE PROPOSED WORK IS ANTICIPATED TO CONSIST OF NEW BITUMINOUS PARKING LOTS, CONCRETE SIDEWALKS, AND GRAVEL PARKING AREAS. THE EXISTING BUILDINGS ARE EXPECTED TO REMAIN. THE PROPOSED WORK IS ANTICIPATED TO CREATE APPROXIMATELY 3 ACRES OF NEW IMPERVIOUS AREA. EXISTING DRAINAGE PATTERNS WILL GENERALLY BE MAINTAINED. HOWEVER, RUNOFF FROM THE IMPERVIOUS AREAS, BOTH NEW AND EXISTING, IS DESIGNED TO ENTER ONE OF TWO PROPOSED INFILTRATION BASINS PRIOR TO ENTERING THE EXISTING WETLANDS.

MECHANICAL AND NON STORMWATER DISCHARGES, EXISTING AND PROPOSED

1. WATER LINE FLUSHING
2. LANDSCAPE IRRIGATION
3. DISCHARGE FROM POTABLE WATER SOURCES
4. AIR CONDITIONING CONDENSATION
5. INDIVIDUAL TRUCK WASHING
6. FLOWS FROM RIPARIAN HABITATS AND WETLANDS

AGENCY CONTACTS

CITY OF COLUMBUS
ENGINEERING DEPARTMENT
PHONE: (651) 464-3120

MINNESOTA POLLUTION CONTROL AGENCY
PHONE: (651) 296-6300

RICE CREEK WATERSHED DISTRICT
PHONE: (763) 398-3070

OWNER
URBAN COMPANIES
13960 LAKE DRIVE NE
COLUMBUS, MN 55025
PHONE: (xxx) xxx-xxxx

NOTE:

THE CONTRACTOR MUST COMPLETE, SIGN, OBTAIN OWNERS SIGNATURE, PAY FEE, AND SEND IN THE NPDES PERMIT APPLICATION. CONTRACTOR SHALL PROVIDE A CERTIFIED EROSION CONTROL SUPERVISOR. SWPPP DOCUMENTATION, INCLUDING INSPECTION REPORTS SHALL BE RETAINED FOR A PERIOD OF THREE (3) YEARS. DESIGN CALCULATIONS ARE ON FILE AT BKBM.

THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP AND INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S, BEFORE, DURING, AND AFTER CONSTRUCTION UNTIL THE NOTICE OF TERMINATION HAS BEEN FILED.

STOCKPILES:

ON-SITE STOCKPILES OF SOIL SHALL HAVE PERIMETER SEDIMENT CONTROL. STOCKPILES SHALL BE STABILIZED WITH BLANKETS, TARPS, OR HYDRO MULCH IF LEFT ON-SITE FOR MORE THAN 14 DAYS.

TEMPORARY SEDIMENT BASINS:

TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED PER APPENDIX A, SECTION C.1.8 OF THE MPCA GENERAL STORMWATER PERMIT.

ENGINEER ANTICIPATES THAT, PRIOR TO EXCAVATION FOR INFILTRATION BASINS, CONTRACTOR WILL USE PROPOSED INFILTRATION BASIN AREAS AS TEMPORARY SEDIMENT BASINS. CONTRACTOR SHALL EXCAVATE TEMPORARY BASINS PRIOR TO USE. SURFACE WATER SHALL BE REMOVED BY SKIMMER DEVICE SUCH AS FAIRCLOTH SKIMMER OR THIRTY DUCK, OR USING A PUMP WITH A FILTER. ALTERNATIVE TEMPORARY SEDIMENT BASINS SHALL BE APPROVED BY ENGINEER PRIOR TO USE.

NOT FOR CONSTRUCTION

Revisions

No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Date: 2026-02-04 Licensee Lic. No. XXXX

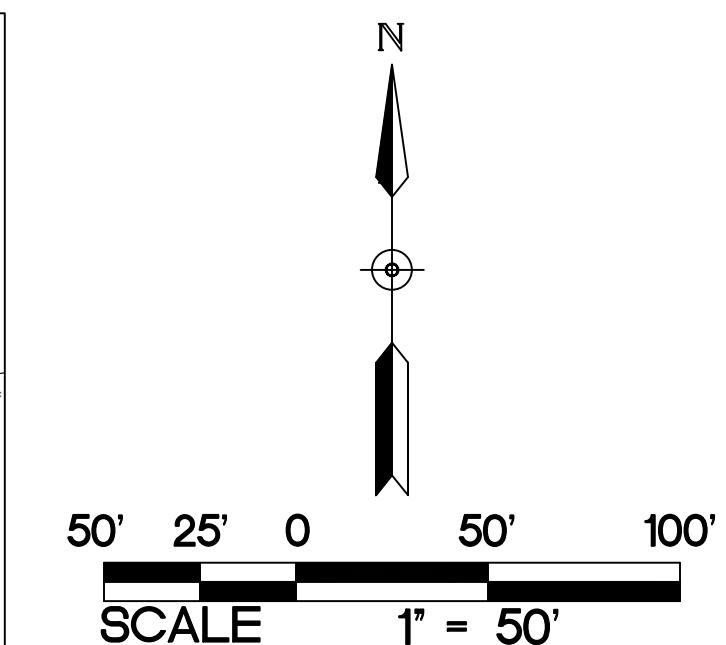
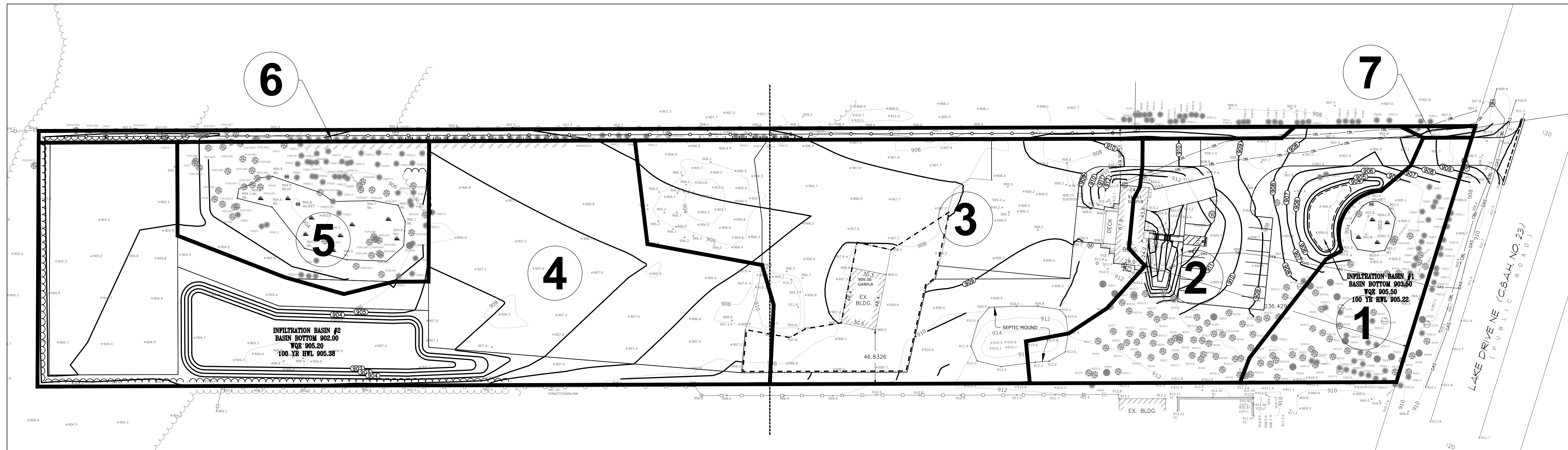
DATE: 2026-02-04
PROJECT # 26177.5
PROJECT STATUS: CITY SUBMITTAL

DRAWN BY: WH
CHECKED BY: SD

KEY PLAN

STORMWATER POLLUTION PREVENTION PLAN

C500



1 PROPOSED CONDITIONS
C501 1"=50'

NOTE:
EXISTING WETLANDS ARE TO HAVE A MINIMUM BUFFER WIDTH OF 16.5- FEET. CONTRACTOR SHALL INSTALL TWO ROWS OF SILT FENCE AROUND WETLANDS PRIOR TO THE START OF CONSTRUCTION.

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT			ROUTING
				2-YEAR (2.81")	10-YEAR (4.18")	100-YEAR (7.09")	
				1	0.12	1.23	
2	0.04	0.41	0.44	0.15	0.23	0.74	OFFSITE TO THE NORTH
3	0.06	2.18	2.23	-	-	-	EXISTING DEPRESSION
4	0.01	1.71	1.72	-	-	-	EXISTING WEST WETLAND
5	0.00	0.39	0.39	0.00	0.00	0.36	OFFSITE TO THE SOUTH/WEST
EXISTING DEPRESSION	-	-	-	0.00	0.00	0.00	EXISTING WEST WETLAND
EXISTING EAST WETLAND	-	-	-	0.00	0.00	0.00	
EXISTING WEST WETLAND	-	-	-	0.00	0.00	0.00	
TOTAL	0.22	5.91	6.13	0.15	0.23	1.10	

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT			ROUTING
				2-YEAR (2.81")	10-YEAR (4.18")	100-YEAR (7.09")	
				1	0.02	0.43	
2	0.35	0.58	0.93	-	-	-	INFILTRATION BASIN #1
3	1.29	0.38	1.67	-	-	-	INFILTRATION BASIN #2
4	1.66	0.59	2.25	-	-	-	INFILTRATION BASIN #2
5	0.01	0.55	0.57	-	-	-	EXISTING WEST WETLAND
6	0.00	0.25	0.25	0.00	0.00	0.23	OFFSITE TO THE NORTH
7	0.00	0.01	0.01	0.00	0.00	0.01	OFFSITE TO THE NORTH
INFILTRATION BASIN #1	-	-	-	-	-	-	EXISTING EAST WETLAND
INFILTRATION BASIN #2	-	-	-	-	-	-	EXISTING WEST WETLAND
EXISTING EAST WETLAND	-	-	-	0.00	0.00	0.00	
EXISTING WEST WETLAND	-	-	-	0.00	0.00	0.00	
TOTAL	3.33	2.80	6.13	0.00	0.00	0.24	

STORMWATER RUNOFF SUMMARY			
	2-YR STORM (2.81") RUNOFF (CFS)	10-YR STORM (4.18") RUNOFF (CFS)	100-YR STORM (7.09") RUNOFF (CFS)
EXISTING SITE	0.15	0.23	1.10
PROPOSED SITE	0.00	0.00	0.24

WETLAND BOUNCE				
WETLAND	EXISTING/PROPOSED CONDITION	2-YR STORM (2.81")	10-YR STORM (4.18")	100-YR STORM (7.09")
EXISTING EAST WETLAND	EXISTING WATER LEVEL	903.08	903.49	904.80
	PROPOSED WATER LEVEL	902.29	903.47	905.04
EXISTING WEST WETLAND	EXISTING WATER LEVEL	903.68	904.01	904.46
	PROPOSED WATER LEVEL	903.73	903.86	904.88

URBAN COMPANIES PROPERTY LLC

13960 LAKE DRIVE NE
COLUMBUS, MN 55025

6120 Earle Brown Drive
Suite 700 Minneapolis,
MN 55430 Phone:
763.843.0420
bkrm.com

© 2026 BKRM Engineers
Bakke Kopp Ballou & McFarlin, Inc.
All rights reserved. This document is an instrument
of service and is the property of BKRM Engineers
and may not be used or copied without prior written
consent.

BKRM Project No. 26177.5

NOT FOR CONSTRUCTION

Revisions		
No.	Description	Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Date 2026-02-04 Licensee Lic. No. XXXX

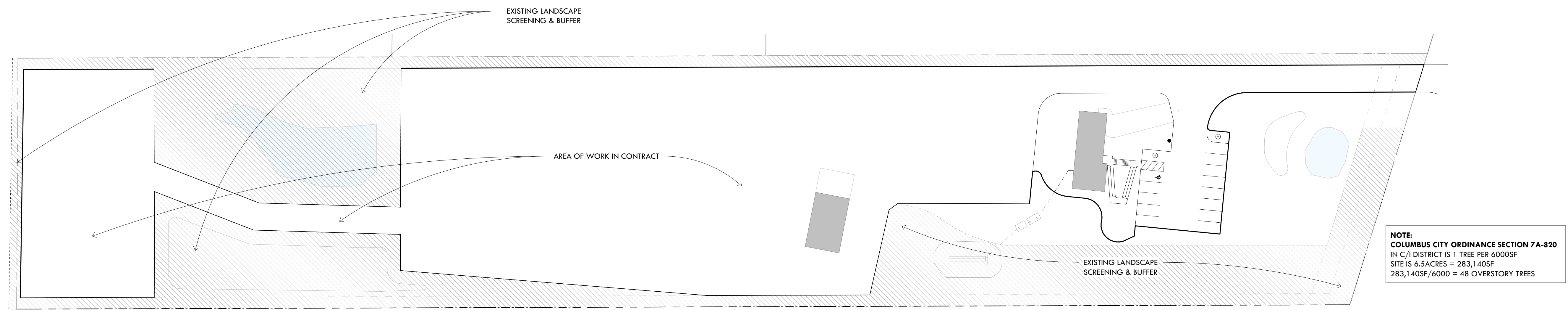
DATE 2026-02-04
PROJECT # 26177.5
PROJECT STATUS CITY SUBMITTAL

DRAWN BY WH
CHECKED BY SD

KEY PLAN

STORMWATER POLLUTION PREVENTION PLAN

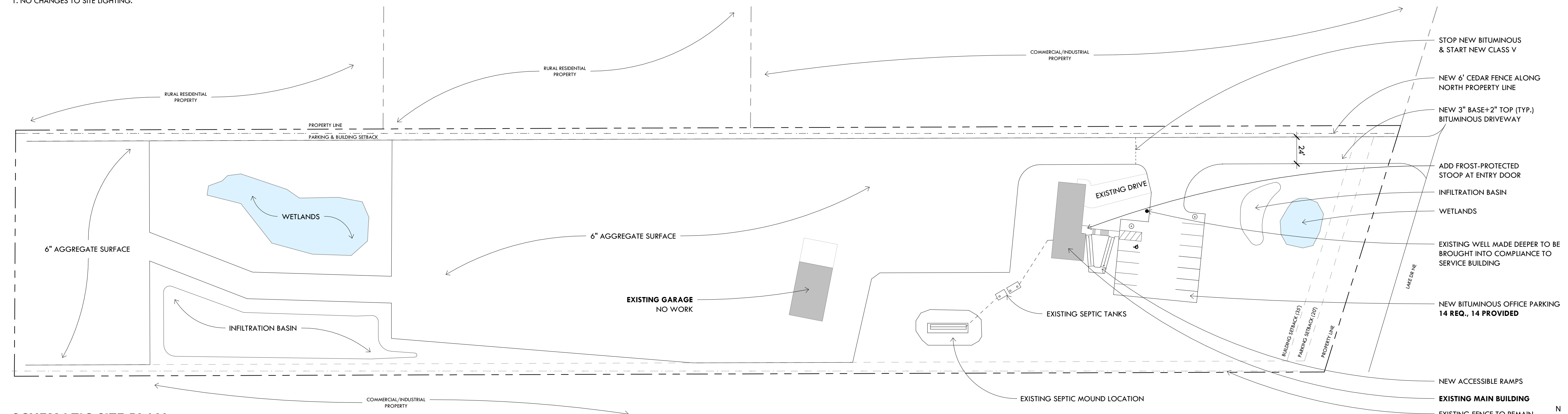
C501



**PRELIMINARY
DRAWINGS**
• NOT FOR CONSTRUCTION

2 LANDSCAPE, TREE MAINTNENCE & SCREENING PLAN
1" = 50'-0"

SITE PLAN GENERAL NOTES
1. NO CHANGES TO SITE LIGHTING.



1 SCHEMATIC SITE PLAN
1" = 50'-0"

ISSUES / REVISIONS
02/04/2026 CUP SET

EXISTING CONDITIONS
VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

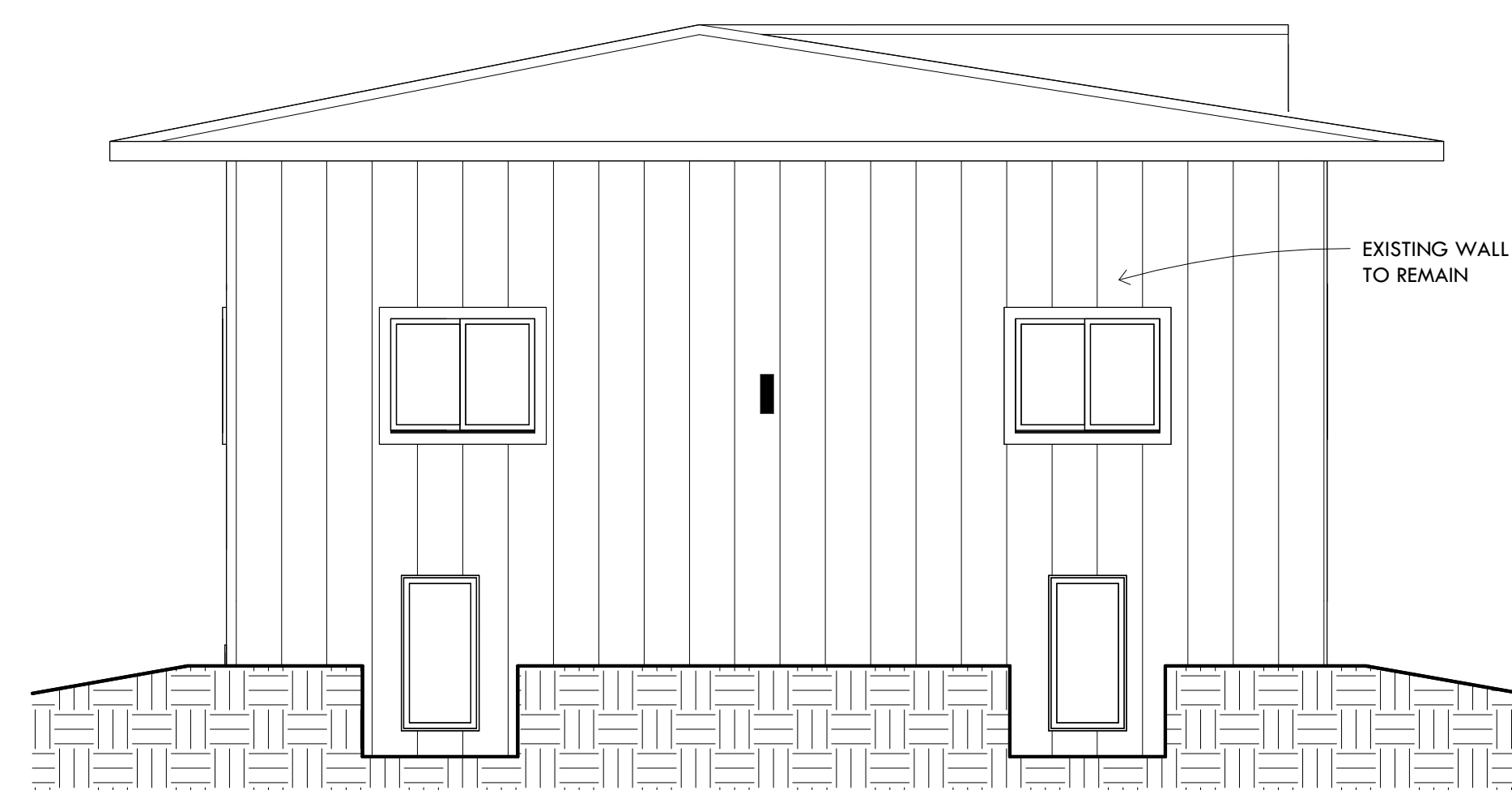
URBAN COMPANIES

13960 LAKE DR. NE
COLUMBUS, MN 55025

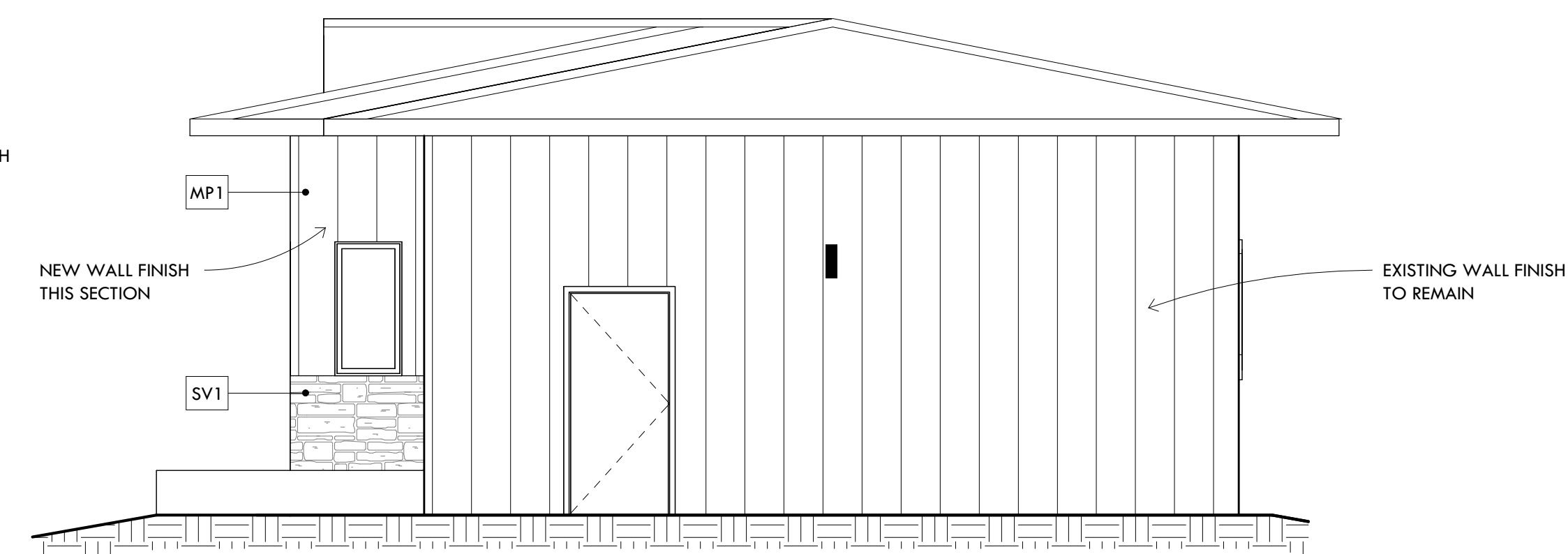
B/A PROJECT NUMBER: **625-49**
SITE PLAN

A101

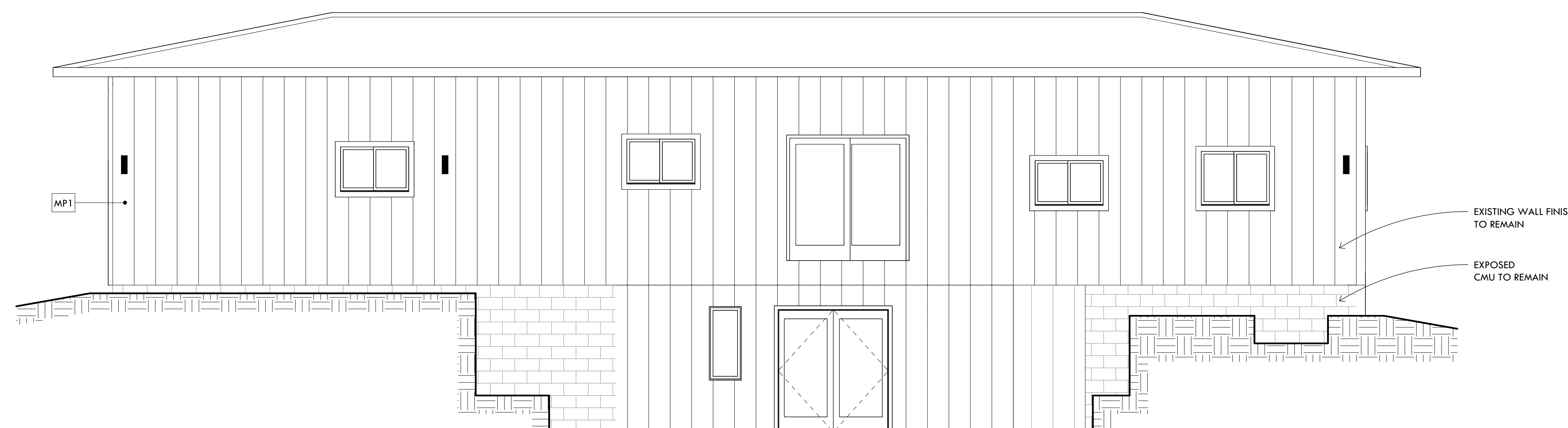
EXTERIOR MATERIAL ID SCHEDULE			
COMMON AREA FINISHES			
ID	IMAGE	DESCRIPTION	NOTES
MP1		Product: Metal Wall Panel Mfr: EDCCO Collection: Steel-Kore Vertical Siding Color: TBD Installation: Vertical	Exterior siding
SV1		Product: Stone Veneer Mfr: Trilite Stone Inc. Collection: Super-Stack Mortarless Style: Mountain Ledge Color: Silverado	Main Building front façade



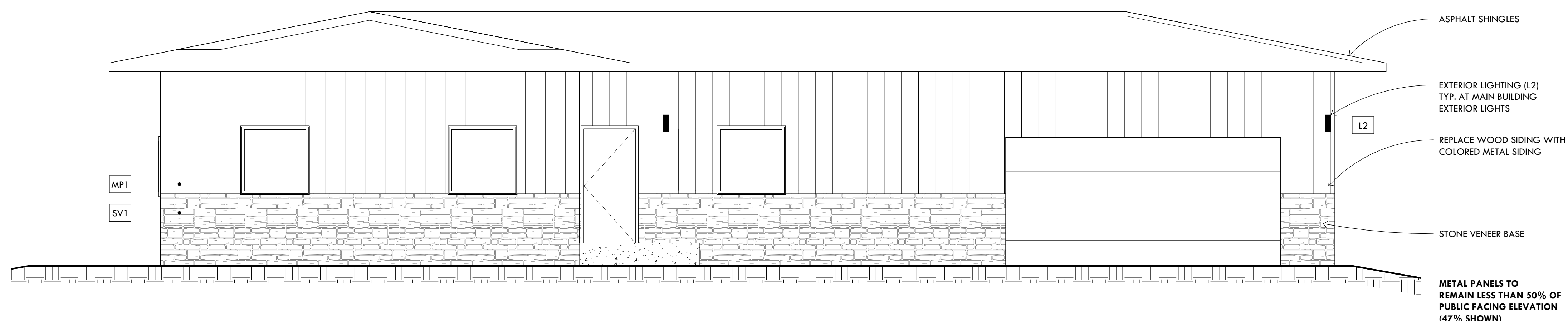
4 MAIN BUILDING SOUTH ELEVATION
1/4" = 1'-0"



3 MAIN BUILDING NORTH ELEVATION
1/4" = 1'-0"



2 MAIN BUILDING WEST ELEVATION
1/4" = 1'-0"



1 MAIN BUILDING EAST ELEVATION
1/4" = 1'-0"

**PRELIMINARY
DRAWINGS**
• NOT FOR CONSTRUCTION

ISSUES / REVISIONS
02/04/2026 CUP SET

EXISTING CONDITIONS
VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

URBAN COMPANIES
13960 LAKE DR. NE
COLUMBUS, MN 55025

B/A PROJECT NUMBER: **625-49**
MAIN BUILDING ELEVATIONS

A401