



ANOKA COUNTY TRANSPORTATION DIVISION
1440 BUNKER LAKE BLVD NW
ANDOVER, MN 55304
763-324-3176
highwaypermits@anokacountymn.gov

PERMIT NUMBER

25-040

Residential Driveway Access Permit

This application must be accompanied by a sketch or site plan

Applicant Name **Brock Matthiesen**

Address **772 237th Ave NW**

City/State **St Francis, MN**

Phone **763-422-9900**

Email **brock@regencyhomesinc.net**

I, (we), the undersigned, herewith accept the terms and conditions of the regulations as laid down by the County of Anoka and agree to fully comply therewith to the satisfaction of the Anoka County Transportation Division. The County of Anoka, its officials, and employees, shall be held harmless, by the permit holder, from any demands, claims or suits arising out of granting of the permit.

Applicant Signature

Date

1/29/25

For office use only

Location of Driveway **PID 36-34-24-22-0002**

South side of **CSAH 24/237th Ave NW**

Completed:

Site review completed by ACTD **YES**

Site plan approved by city/township

Building permit issued

Property is **Platted**

City **St Francis**

Right of Access Dedication **NO**

(if yes, County Board action required)

Proposed width of driveway
Minimum 16', Maximum 24' **20'**

Is a culvert needed? **Yes, already in place.**

Length

Diameter

Surface Type **Asphalt**

Aprons

Bands

AUTHORIZATION OF PERMIT

In consideration of the applicant's agreement to comply in all respects with the regulations of the ACTD covering such operations, permission is hereby granted for the work to be done as described in the above application. Said work is to be done in accordance with the general conditions listed above and the special conditions required as hereby stated. It is expressly understood that this permit is conditioned upon replacement of, and restoration of the County Highway and its right of way to its original or to a satisfactory condition.

Approved By **Susan Burgmeier**

Date **01/29/2025**

THIS PERMIT COVERS THE RIGHT OF WAY IN ANOKA COUNTY ONLY
ACTD reserves the right to make changes to these special conditions.

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General Requirements

- No work under this application may be started until application is approved and the permit issued
- No changes or alterations to accesses may be made at any time without written permission from the ACTD
- Issuance of this Permit does not supersede any special permits or variances required by local agencies
- Fees, Bonds and Sureties:
 - A \$175.00 Filing Fee is required with each application at the time it is submitted
 - A L/P Bond is generally required of licensed general contractors working for the homeowner, the amount of which will be determined by nature of the work
- Upon completion of access and restoration of the highway right of way, notification shall be made to the permits office to initiate a site inspection
- This residential driveway access permit is only valid if a Right of Way permit is obtained within 30 days from the approval date on this permit.

Special Conditions

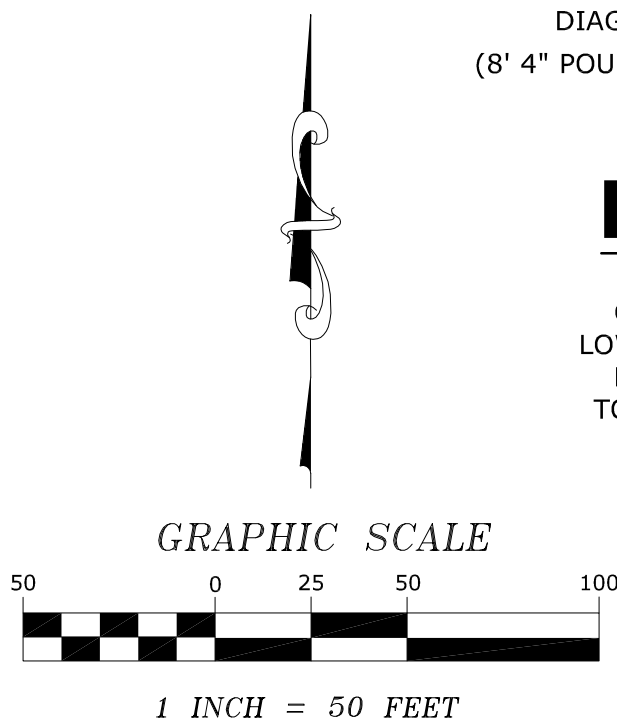
- Where work on traveled roadway is necessary, proper Traffic Control Devices and Procedures must be used. All traffic control devices, barricades, flashers, etc. shall be furnished by the applicant and shall be in accordance with the most recent edition of the Minnesota Manual On Uniform Traffic Control Devices and the most recent edition of the Temporary Traffic Control Zone Layouts Field Manual of the same manual.
- Neither supplies nor excavated materials shall be placed on the bituminous or concrete surface at any time.
- Driveway fill and ditch entrance slopes shall be in Accordance with Figure E 5-892.210 of the MnDOT State Aid Manual.
- All culverts, ditches, shoulders, and back slopes, shall be restored to their original condition unless otherwise directed by ACTD. Shoulders which have been previously constructed or reconstructed with special materials shall be replaced in kind.
- Restoration of signs, guardrails, guard posts, etc. are the sole responsibility of the applicant and shall be restored to their original condition or to the satisfaction of the ACTD Maintenance Superintendent.
- Any mailbox support installed for this property must meet the guidelines described in Anoka County's mailbox policy.
- Any culverts or drainage devices deemed necessary by ACTD, are to be furnished and installed by the applicant.
- The Applicant shall be held responsible to correct any settling or erosion problems caused by construction of this access for a period of one year following the completion of work.
- Section Corner Monuments
 - Driveway locations shall not interfere with the location of any section, quarter, witness or ROW monuments. For assistance in locations, contact the Anoka County Surveyor's Office.
 - The applicant shall be responsible for replacement of any existing property irons disturbed during construction.
 - The applicant shall notify the Anoka County Surveyor's Office 3 working days in advance of any anticipated disturbance of any Benchmarks or section, quarter, witness or ROW monuments.
 - Any monuments disturbed during the course of construction shall be reset by the Anoka County Surveyor's Office at the expense of the applicant.

Additional Comments:

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CERTIFICATE OF SURVEY

~for~ KIM HIRSCH
~of~ XXXX 237TH AVENUE NW
ST. FRANCIS, MN



LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- ⊙ DENOTES ANOKA COUNTY CAST IRON MONUMENT
- x 952.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES GUY WIRE
- ⊕ DENOTES POWER POLE
- ⊗ 800.0 DENOTES PROPOSED ELEVATION
- DENOTES DIRECTION OF DRAINAGE
- ⊠ DENOTES WOOD HUB/METAL SPIKE AT 11 FOOT OFFSET (UNLESS OTHERWISE NOTED)
- DENOTES SOIL BORING. (BY MARK TRADEWELL)
- DENOTES EXISTING CONTOURS
- - - DENOTES EXISTING STORM SEWER
- - - DENOTES TREE LINE
- - - DENOTES OVERHEAD UTILITY
- - - DENOTES BITUMINOUS SURFACE
- - - DENOTES PROPOSED RETAINING WALL
- - - DENOTES PROPOSED CONTOURS
- - - DENOTES SILT FENCE

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 10/15/24 and 12/17/24.
- Bearings shown are on Anoka County datum.
- Parcel ID Number: 36-34-24-22-0002.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Total parcel area = 395,993 SF (9.1 ACRES)
- Septic Design by Tradewell Soil Testing.
- Wetland delineation provided by Jacobson Environmental.

BENCHMARK

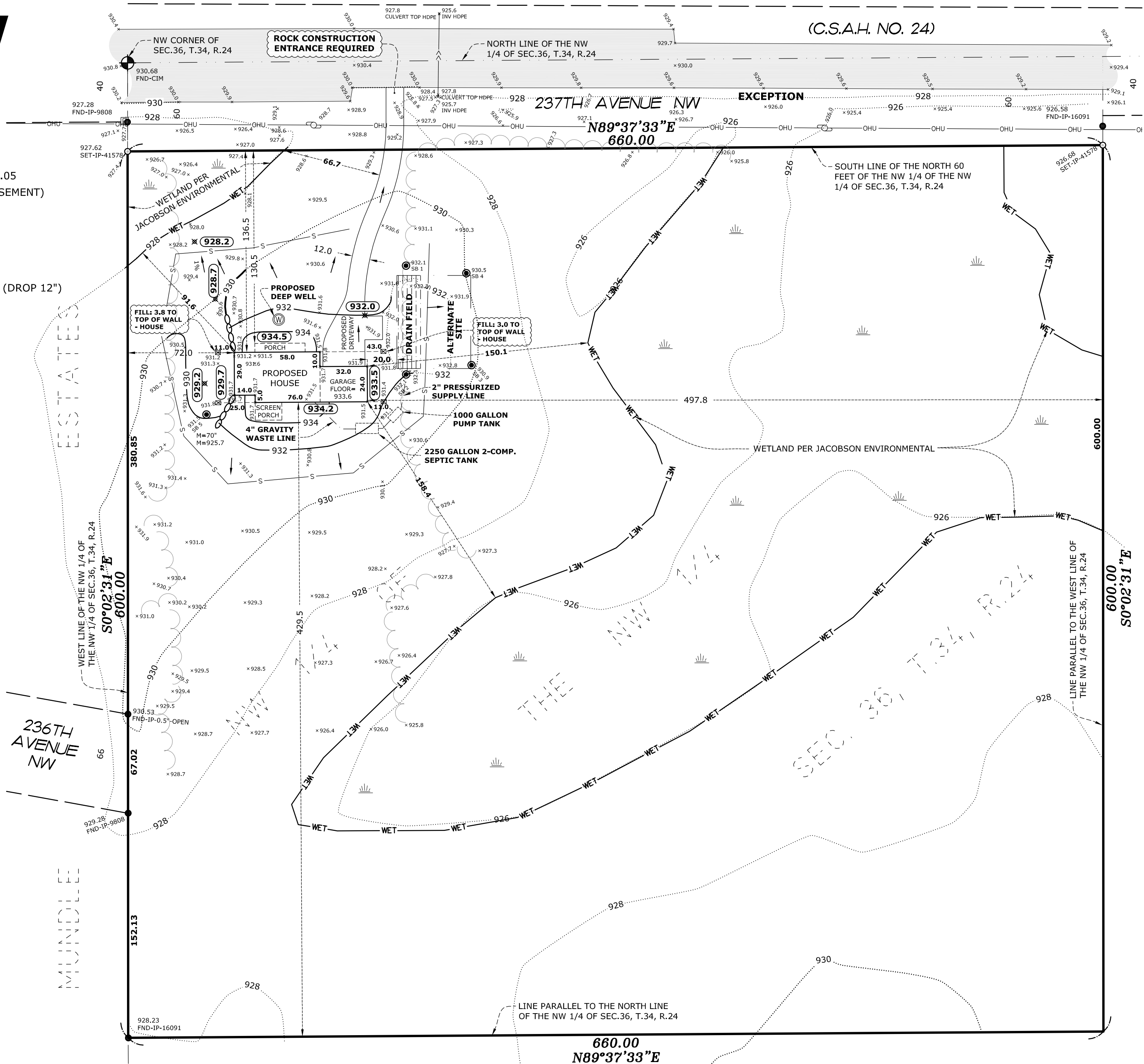
MNDOT BM: 0206 AB 11
ELEVATION: 927.72
DATUM: NAVD 88



E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

www.egrud.com

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LEGAL DESCRIPTION

(PER DOC. NO. 1529482)

All that part of the Northwest Quarter of the Northwest Quarter of Section 36, Township 34, Range 24, described as follows: Commencing at the Northwest corner of said Northwest Quarter of the Northwest Quarter; thence South along the West line of said Northwest Quarter of the Northwest Quarter a distance of 660 feet; thence East and parallel to the North line of said Northwest Quarter of the Northwest Quarter a distance of 660 feet; thence North and parallel to the West line of said Northwest Quarter of the Northwest Quarter a distance of 660 feet and to the North line of said Northwest Quarter of the Northwest Quarter; thence West along said North line a distance of 660 feet and to the Northwest corner of said Northwest Quarter of the Northwest Quarter, being the point of beginning and there to terminate.

EXCEPT The North 60 feet thereof.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
JASON E. RUD

Date: 01/07/2025 License No. 41578

DRAWN BY:	BCD	JOB NO:	241137BT	DATE:	10/18/24
CHECK BY:	JER	FIELD CREW:	RW/MR		
1	11-01-24	ADD PROPOSED HOUSE	BCD		
2	12-12-24	ADDED STAKING INFO.	BCD		
3	12-19-24	ADDED STAKING INFO.	BCD		
4	12-20-24	ADDED SEPTIC INFO.	JEN		
4	01-07-25	ADDED WETLAND LINE	BCD		

241137BT