

OFFICIAL PLAT

CIC NUMBER 125

VILLAGE AT CIRCLE PINES, A CONDOMINIUM

CIC PLAT

Blk 5 of CIC P33

This CIC plat is part of the Declaration recorded as Document No. 423768 on this 7th day of March, 2003.

CITY OF CIRCLE PINES COUNTY OF ANOKA SEC. 25, TWP. 31, RGE. 23

I, Terrence E. Rothenbacher, do hereby certify that the work was undertaken by or reviewed and approved by me for this CIC PLAT of CIC NUMBER 125, VILLAGE AT CIRCLE PINES, A CONDOMINIUM located upon:

Lots 3, 4, 5, 6, and 7, Block 2; VILLAGE AT CIRCLE PINES, Anoka County, Minnesota.

and the Additional Real Estate described as:

Lots 1, 2, and 8, Block 2; VILLAGE AT CIRCLE PINES, Anoka County, Minnesota.

AND

Block C, except that part of Block C described as follows: That part of Block C, Circle Pines, Part IV West, Anoka County, Minnesota, beginning at the East corner of said Block C, the coordinates of which are T. 7940.41, R. 1323.93, thence to the North corner, the coordinates of which are T. 8013.56, R. 1265.80, thence to West corner, the coordinates of which are T. 7975.60, R. 1218.05, thence to South corner, the coordinates of which are T. 7889.38, R. 1259.72 to the point of beginning;

AND EXCEPT

from Block C, Parcel 26, Anoka County Highway Right-of-Way Plat No. 54, according to the map or plat thereof on file and of record in the office of the Anoka County Recorder and Registrar of Titles.

AND EXCEPT

from Block C, that part NOW KNOWN AS Tracts A, B and C, Registered Land Survey No. 45, files of the Registrar of Titles, Anoka County, Minnesota, Circles Pines Part IV West, according to the plat thereof on file and of record in the Office of the Registrar of Titles of Anoka County, Minnesota.

AND

Tract A, Registered Land Survey No. 45, files of the Registrar of Titles, Anoka County, Minnesota.

AND

Tract B, Registered Land Survey No. 45, files of the Registrar of Titles, Anoka County, Minnesota.

AND

Tract C, Registered Land Survey No. 45, files of the Registrar of Titles, Anoka County, Minnesota.

AND

That part of Block C, Circle Pines Part IV West, Anoka County, Minnesota, beginning at the East corner of said Block C, the coordinates of which are T. 7940.41, R. 1323.93, thence to the North corner, the coordinates of which are T. 8013.56, R. 1265.80, thence to West corner, the coordinates of which are T. 7975.60, R. 1218.05, thence to South corner, the coordinates of which are T. 7889.38, R. 1259.72 to the point of beginning, according to the plat thereof on file and of record in the office of the Registrar of Titles of Anoka County, Minnesota.

AND

Lots One (1) to Forty-four (44) inclusive, Block "B", Circle Pines Part IV West.

AND

That part of Block "B" Circle Pines Part IV West, Anoka County, Minnesota, described as follows:

The road known as West Court according to the plat, which lies ten (10) feet on each side of the center line commencing at a point on the East line of Elwell Grade 185 feet South of the intersection of the South line of West Road and the East line of Elwell Grade and ending at a line extended from the Southeastly lines of Lots 25 and 32 in Block "B".

AND

All of the unlotted portion of Block "B" from a line extended from the Southeastly lines of said Lots 25 and 32, lying adjacent to and within the lot lines of Lots 12 through 24 inclusive and Lots 32 through 44 inclusive and limited by a straight line drawn from the Westerly corner of Lot 12 and the Easterly corner of Lot 44, all in Block "B".

AND

That part of vacated West Court, as dedicated in the plat of Circle Pines Part IV West, lying between the southwesterly extensions across it of the northwesterly line of Lot 28, Block B, Circle Pines Part IV West, and the southeasterly line of Lot 25, Block B, said plat, except that portion thereof which lies 10 feet on each side of the centerline of said West Court.

AND

All of the unlotted portion of Block "B" Circle Pines Part IV West not herein before described by reason of the street vacation of the road known as West Court.

EXCEPT from said Block B, Parcels 27, 28, 29, and 30 Anoka County Highway Right-of-Way Plat No. 54, according to the map or plat thereof on file and of record in the Office of the Anoka County Recorder (per Document No. 316279).

AND

That part of Block "D", Circle Pines, Part IV West described as follows to-wit:

That portion of the Northwest Quarter of the Southwest Quarter (NW 1/4 of SW 1/4) of Section Twenty-five (25), Township Thirty-one North (T31N), Range Three West (R23W), of the fourth principal meridian (4pm), described as follows:

Starting from a point on the West section line of said section a distance of 2200.0 feet North of the Southwest section corner thereof; then run East on a deflection angle of 90 degrees 0 minutes 0 seconds to the right, a distance of 33.0 feet to the point of beginning of the property to be described; thence deflect 0 degrees 0 minutes 0 seconds, a distance of 167.7 feet to a point; thence deflect to the right on an angle of 51 degrees 31 minutes 11 seconds a distance of 773.5 feet to a point; thence deflect to the right on an angle of 96 degrees 38 minutes 49 seconds to the tangent line of a curve, thence deflect to the left on a 1 degree 57 minutes 0 seconds curve (Delta angle 6 degrees 08 minutes 46 seconds) for a distance of 315.5 feet to a point; thence deflect to the right on an angle of 82 degrees 21 minutes 11 seconds from the tangent line of the above described curve, for a distance of 11.4 feet to a point; thence deflect to the right on an angle of 90 degrees 0 minutes 0 seconds, a distance of 84.0 feet to a point; thence deflect to the left on an angle of 90 degrees 0 minutes 0 seconds, a distance of 152.0 feet to a point; thence deflect to the right on an angle of 90 degrees 0 minutes 0 seconds, a distance of 60.0 feet to a point; thence deflect to the left on an angle of 90 degrees 0 minutes 0 seconds, a distance of 224.0 feet to a point; thence deflect to the left on an angle of 90 degrees 0 minutes 0 seconds, a distance of 67.0 feet to a point; thence deflect to the left on an angle of 51 degrees 31 minutes 11 seconds, a distance of 44.1 feet to a point; thence deflect to the right on an angle of 90 degrees 0 minutes 0 seconds to the tangent line of a curve; thence deflect to the left on a 62 degrees 50 minutes curve (Delta angle 49 degrees 11 minutes 45 seconds) for a distance of 78.3 feet to the point of beginning and there terminating.

EXCEPT from Block D, Parcel 31 Anoka County Highway Right-of-Way Plat No. 54, according to the map or plat thereof on file and of record in the Office of the Anoka County Recorder and Registrar of Titles.

All in Circle Pines Part IV West, according to the plat thereof on file and of record in the Office of the Registrar of Titles of Anoka County, Minnesota.

AND

Lot One (1), Block 1, Circle Pines Part IV West, according to the plat thereof on file and of record in the office of the Registrar of Titles of Anoka County, Minnesota.

EXCEPT Parcel 33, Anoka County Highway Right-of-Way Plat No. 54, according to the map or plat thereof on file and of record in the Office of the Anoka County Recorder and Registrar of Titles.

AND

Lot Two (2), Block 1, Circles Pines Part IV West, according to the plat thereof on file or of record in the Office of the Registrar of Titles of Anoka County, Minnesota.

AND

Block A, Circles Pines Part IV West, according to the plat thereof on file and of record in the Office of the Registrar of Titles of Anoka County, Minnesota.

AND

Block D, except that part described as follows: Starting from a point on the West section line of Section Twenty-five, Township Thirty-one, Range Twenty-three West, a distance of 2200.0 feet North of the Southwest section corner thereof; then run East on a deflection angle of 90 degrees 0 minutes 0 seconds to the right, a distance of 33.0 feet to the point of beginning of the property to be described; thence deflect 0 degrees 0 minutes 0 seconds, a distance of 167.7 feet to a point; thence deflect to the right on an angle of 51 degrees 31 minutes 11 seconds a distance of 773.5 feet to a point; thence deflect to the right on an angle of 96 degrees 38 minutes 49 seconds to the tangent line of a curve; thence deflect to the left on a 1 degree 57 minutes 0 seconds curve (Delta angle 6 degrees 08 minutes 46 seconds) for a distance of 315.5 feet to a point; thence deflect to the right on an angle of 82 degrees 21 minutes 11 seconds from the tangent line of the above described curve, for a distance of 11.4 feet to a point; thence deflect to the right on an angle of 90 degrees 0 minutes 0 seconds, a distance of 84.0 feet to a point; thence deflect to the left on an angle of 90 degrees 0 minutes 0 seconds, a distance of 152.0 feet to a point; thence deflect to the right on an angle of 90 degrees 0 minutes 0 seconds, a distance of 60.0 feet to a point; thence deflect to the left on an angle of 90 degrees 0 minutes 0 seconds, a distance of 224.0 feet to a point; thence deflect to the right on an angle of 90 degrees 0 minutes 0 seconds, a distance of 67.0 feet to a point; thence deflect to the left on an angle of 51 degrees 31 minutes 11 seconds, a distance of 44.1 feet to a point; thence deflect to the right on an angle of 90 degrees 0 minutes 0 seconds to the tangent line of a curve; thence deflect to the left on a 62 degrees 50 minutes curve (Delta angle 49 degrees 11 minutes 45 seconds) for a distance of 78.3 feet to the point of beginning and there terminating, Circle Pines Part IV West.

Also EXCEPT from said Block D, Parcel 32 Anoka County Highway Right-of-Way Plat No. 54, according to the map or plat thereof on file and of record in the Office of the Anoka County Recorder and Registrar of Titles.

The CIC Plat fully and accurately depicts all information required by Minnesota Statutes, Section 515B.2-110.

Dated this 13th day of February, 2003.

Signature of Terrence E. Rothenbacher, Licensed Land Surveyor, Minnesota License No. 20595.

COUNTY OF ANOKA STATE OF MINNESOTA

The foregoing instrument was acknowledged before me this 13th day of FEBRUARY, 2003, by Terrence E. Rothenbacher, a Licensed Land Surveyor.

Notary Public seal for Christopher E. Sharp, My Commission Expires January 31, 2005.

I, Paul J. Cheone, pursuant to Minnesota Statutes, Section 515B.2-101(c), do hereby certify that all the units and all structural components and mechanical systems of all buildings containing or comprising any units hereby created, are substantially completed.

Dated this 13th day of February, 2003.

Signature of Paul J. Cheone, Registered Professional Engineer, Minnesota Registration No. 19860.

COUNTY OF ANOKA STATE OF MINNESOTA

The foregoing certificate was acknowledged before me this 13th day of FEBRUARY, 2003, by PAUL J. CHEONE, a Registered Professional Engineer.

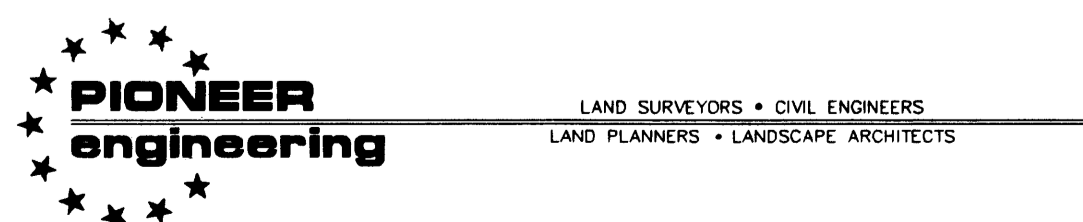
Notary Public seal for Christopher E. Sharp, My Commission Expires January 31, 2005.

Checked and approved this 7th day of MARCH, 2003.

Signature of Larry D. Stein, Anoka County Surveyor.

PROPERTY TAX ADMINISTRATOR stamp with signature of J. Culver, dated March 7, 2003.

Office of REGISTRAR OF TITLES stamp with signature of Maureen Devine, Registrar of Titles, dated 12:20 p.m.



2003031976 \$1,147.00

OFFICIAL PLAT

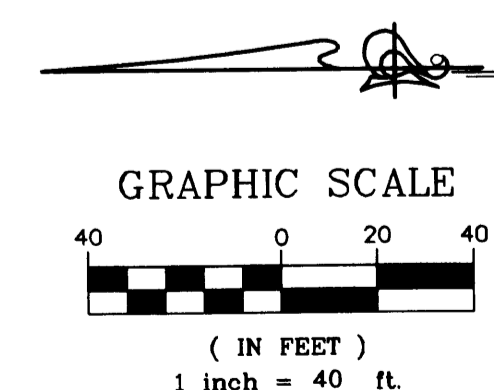
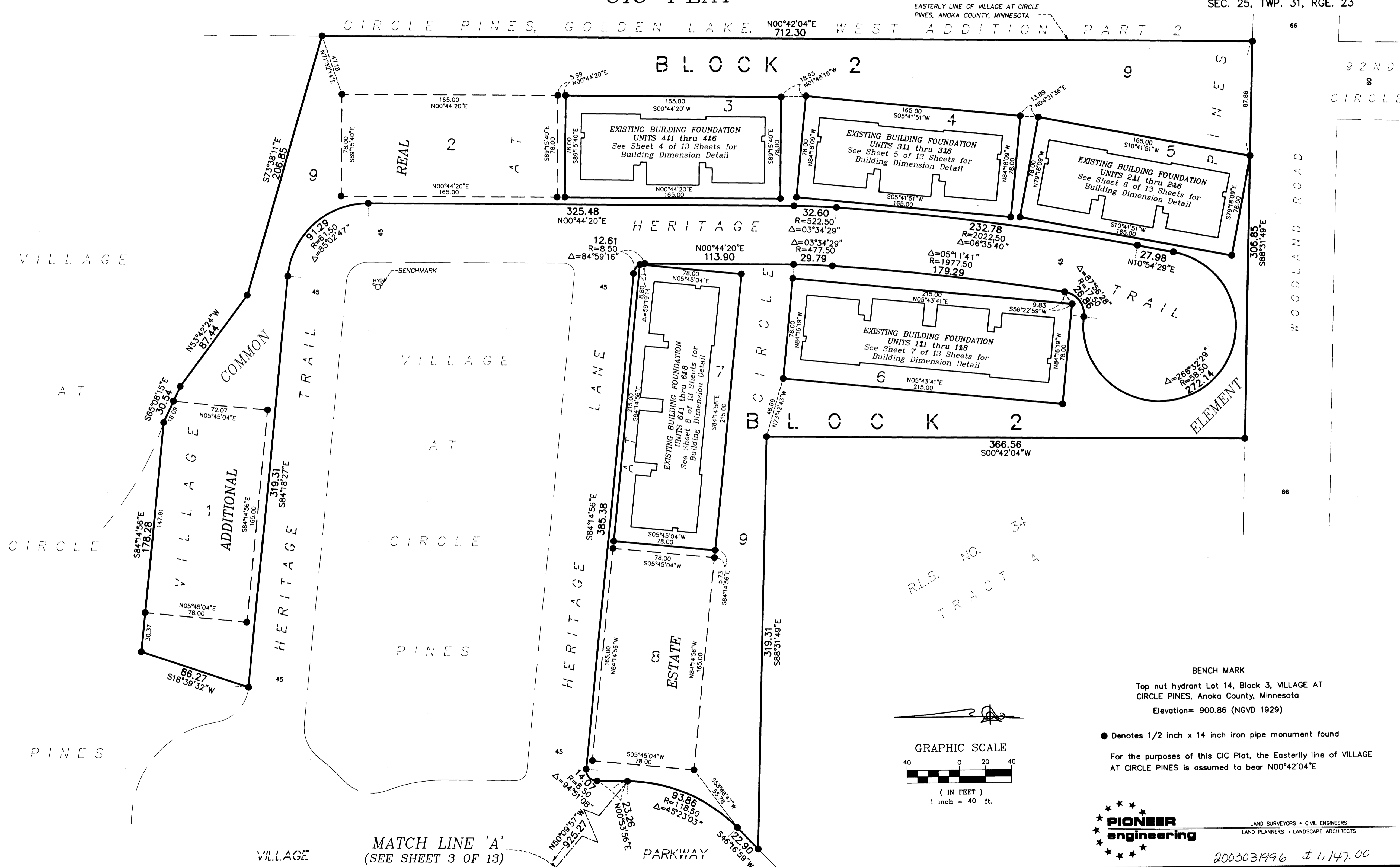
CIC NUMBER 125

Bk 5 of CIC pg 33

C.R. DOC. NO. 423768

VILLAGE AT CIRCLE PINES, A CONDOMINIUM CIC PLAT

CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23



BENCH MARK
Top nut hydrant Lot 14, Block 3, VILLAGE AT CIRCLE PINES, Anoka County, Minnesota
Elevation= 900.86 (NGVD 1929)

● Denotes 1/2 inch x 14 inch iron pipe monument found

For the purposes of this CIC Plat, the Easterly line of VILLAGE AT CIRCLE PINES is assumed to bear N00°42'04\"E

PIONEER engineering
LAND SURVEYORS • CIVIL ENGINEERS
LAND PLANNERS • LANDSCAPE ARCHITECTS

2003031996 \$ 1,147.00

MATCH LINE 'A'
(SEE SHEET 3 OF 13)

OFFICIAL PLAT

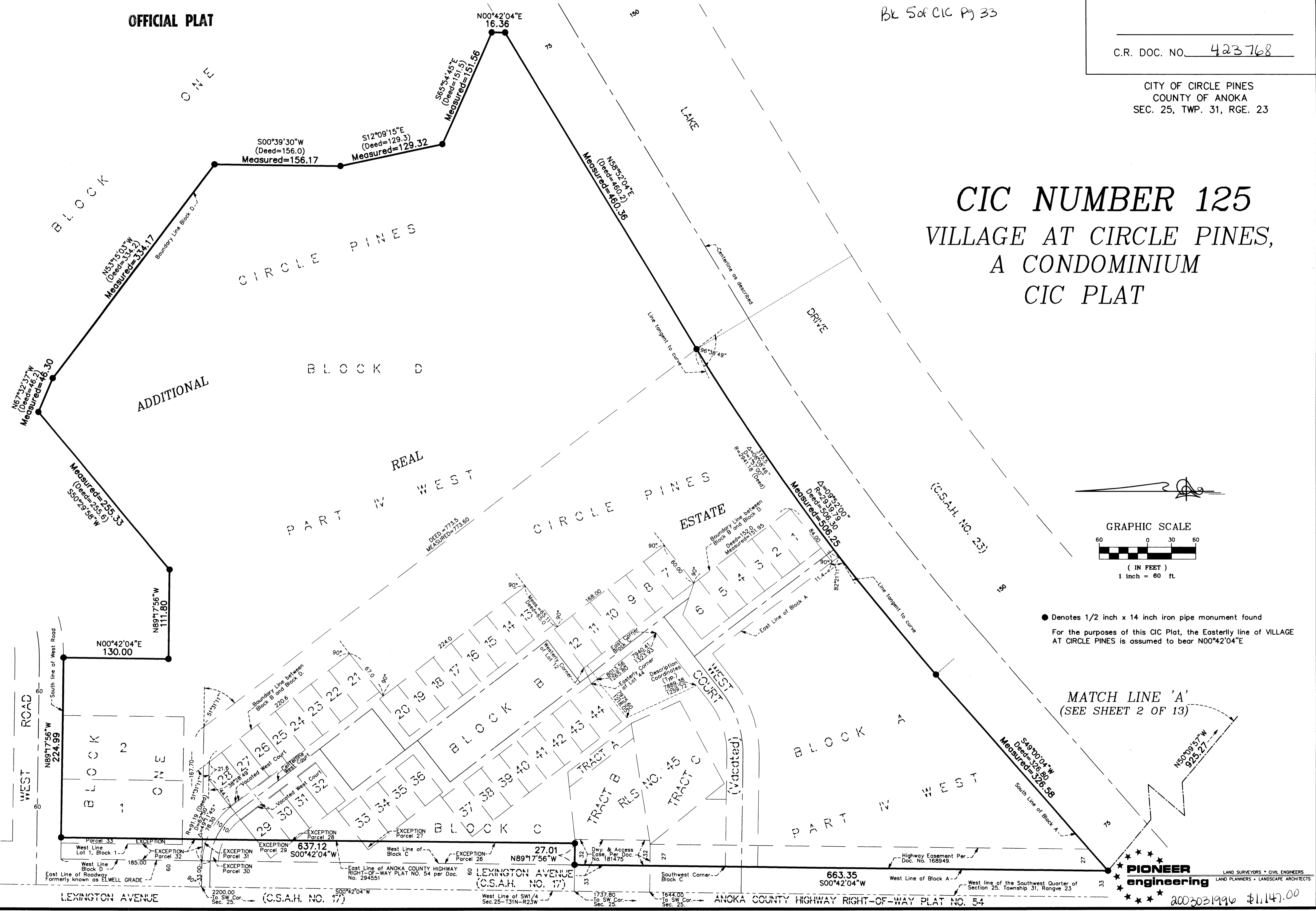
Bk 5 of CIC Pg 33

C.R. DOC. NO. 423768

CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23

CIC NUMBER 125

VILLAGE AT CIRCLE PINES, A CONDOMINIUM CIC PLAT



● Denotes 1/2 inch x 14 inch iron pipe monument found
For the purposes of this CIC Plat, the Easterly line of VILLAGE AT CIRCLE PINES is assumed to bear N00°42'04"E

MATCH LINE 'A'
(SEE SHEET 2 OF 13)

PIONEER engineering
LAND SURVEYORS • CIVIL ENGINEERS
LAND PLANNERS • LANDSCAPE ARCHITECTS
2003031996 \$1,147.00

Bk 5 of CIC pg 33

OFFICIAL PLAT

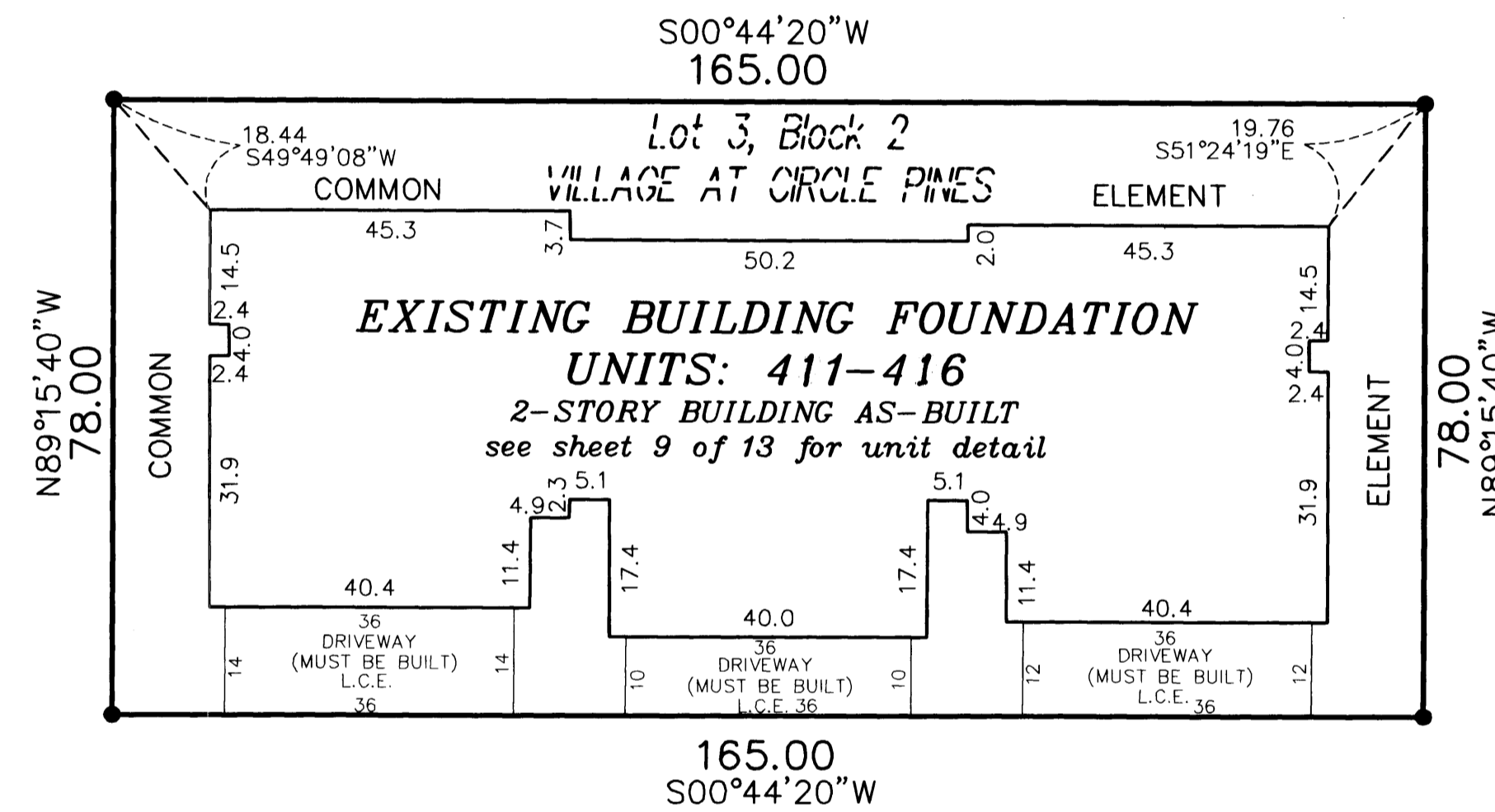
SITE PLAN (AS BUILT)

COMMON INTEREST COMMUNITY NUMBER 125

VILLAGE AT CIRCLE PINES, A CONDOMINIUM CIC PLAT

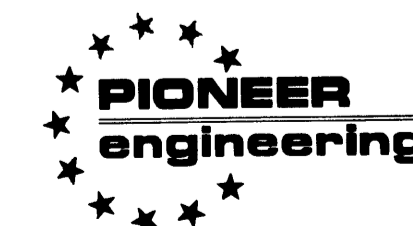
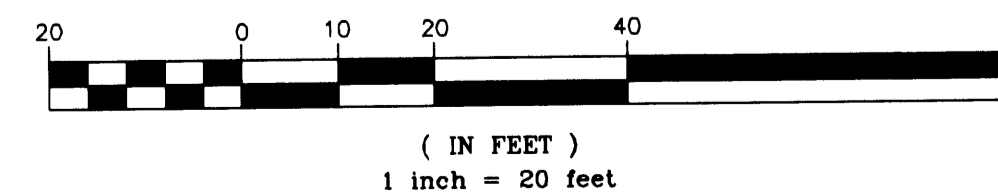
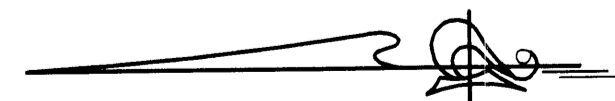
C.R. DOC. NO. 423768

CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23



● Denotes Monument Found

For the purposes of this CIC Plat, the Easterly line of VILLAGE AT CIRCLE PINES is assumed to bear N00°42'04"E



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2003031996 \$1,147.00

OFFICIAL PLAT

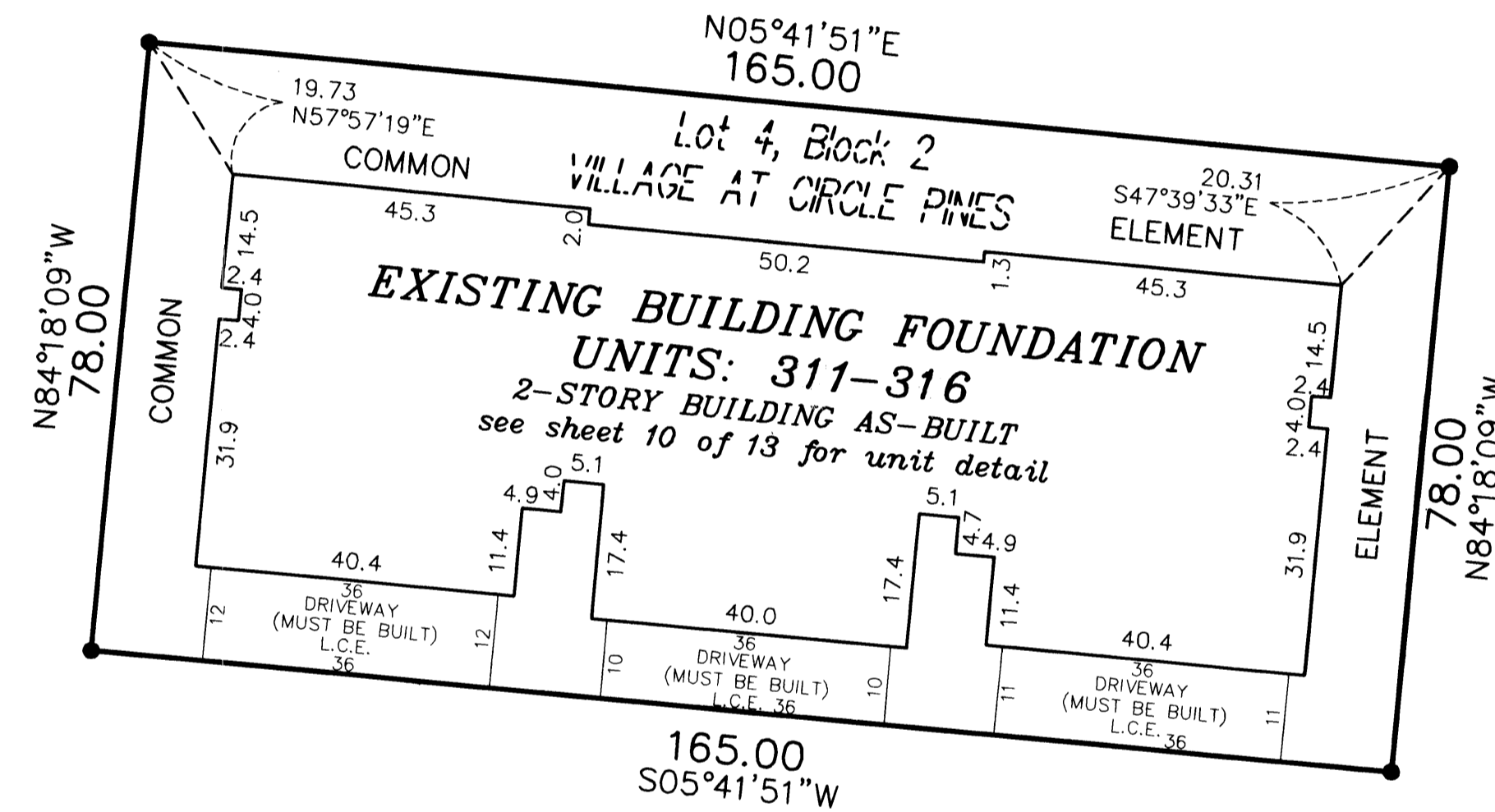
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COMMON INTEREST COMMUNITY NUMBER 125

VILLAGE AT CIRCLE PINES, A CONDOMINIUM CIC PLAT

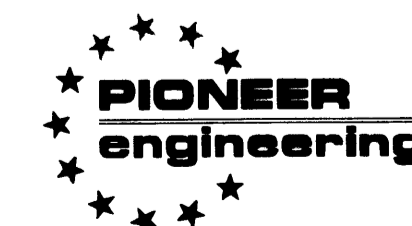
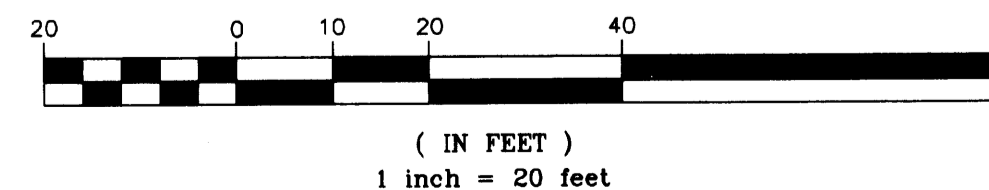
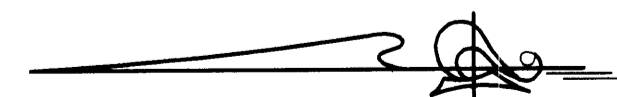
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CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23



● Denotes Monument Found

For the purposes of this CIC Plat, the Easterly line of VILLAGE AT CIRCLE PINES is assumed to bear N00°42'04"E



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2003031996 \$1,147.00

OFFICIAL PLAT

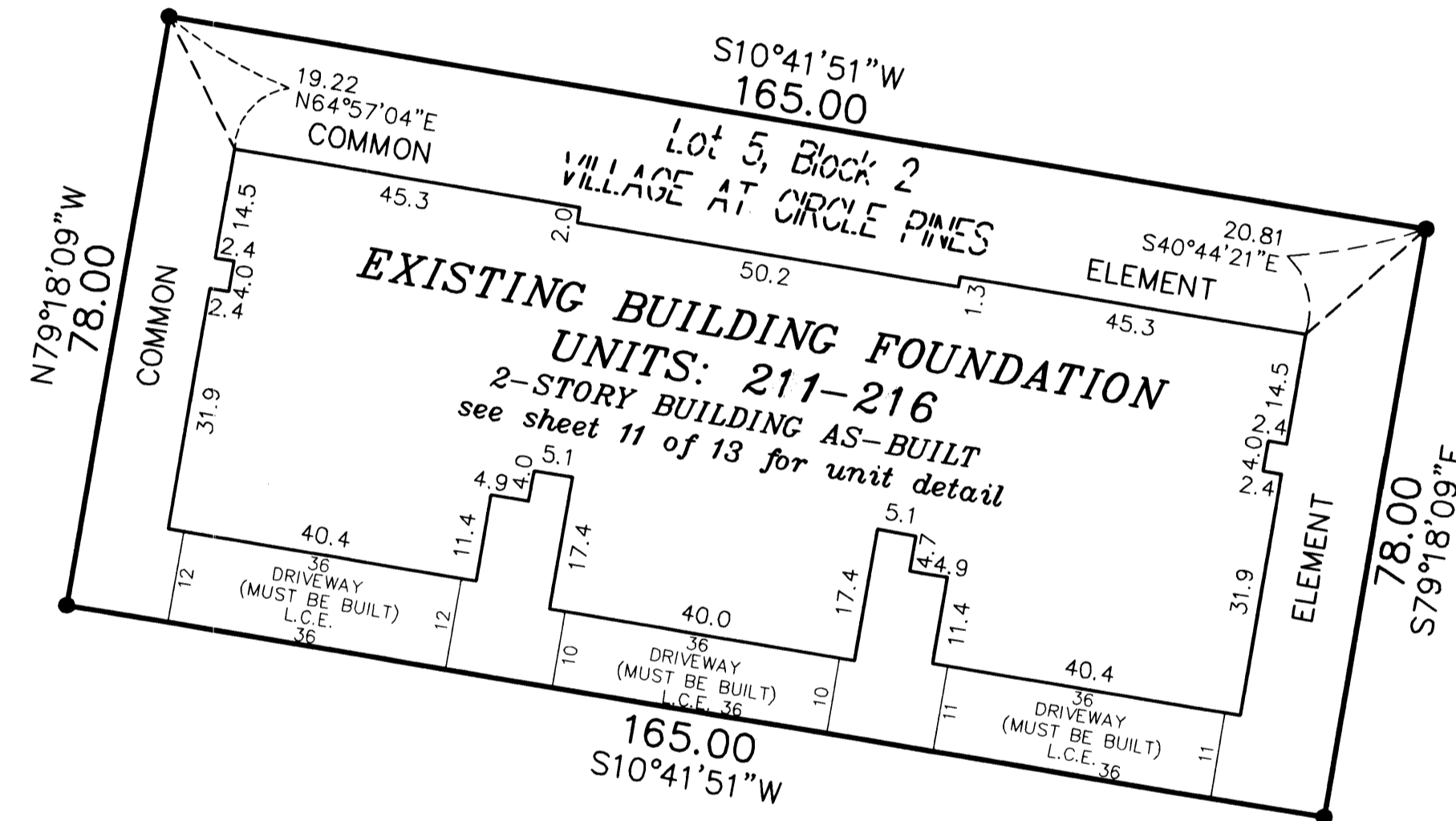
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COMMON INTEREST COMMUNITY NUMBER 125

VILLAGE AT CIRCLE PINES, A CONDOMINIUM CIC PLAT

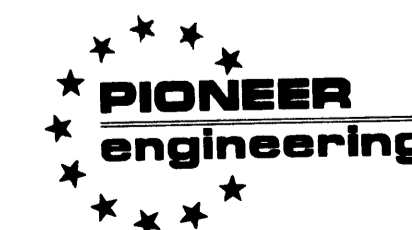
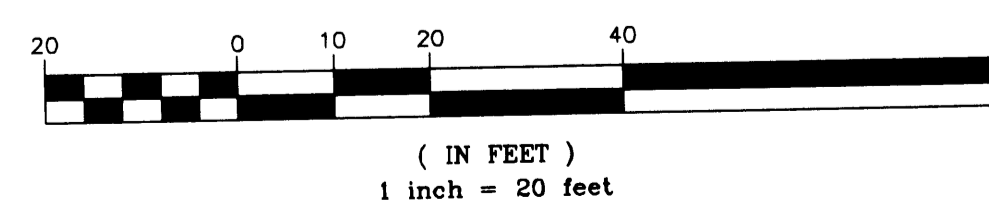
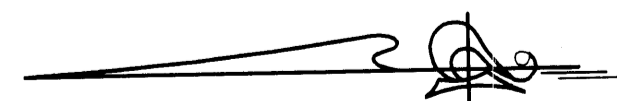
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CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23



● Denotes Monument Found

For the purposes of this CIC Plat, the Easterly line of VILLAGE AT CIRCLE PINES is assumed to bear N00°42'04\"E



LAND SURVEYORS • CIVIL ENGINEERS
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200303896 \$1,147.00

OFFICIAL PLAT

BK 5 OF CIC P5 33

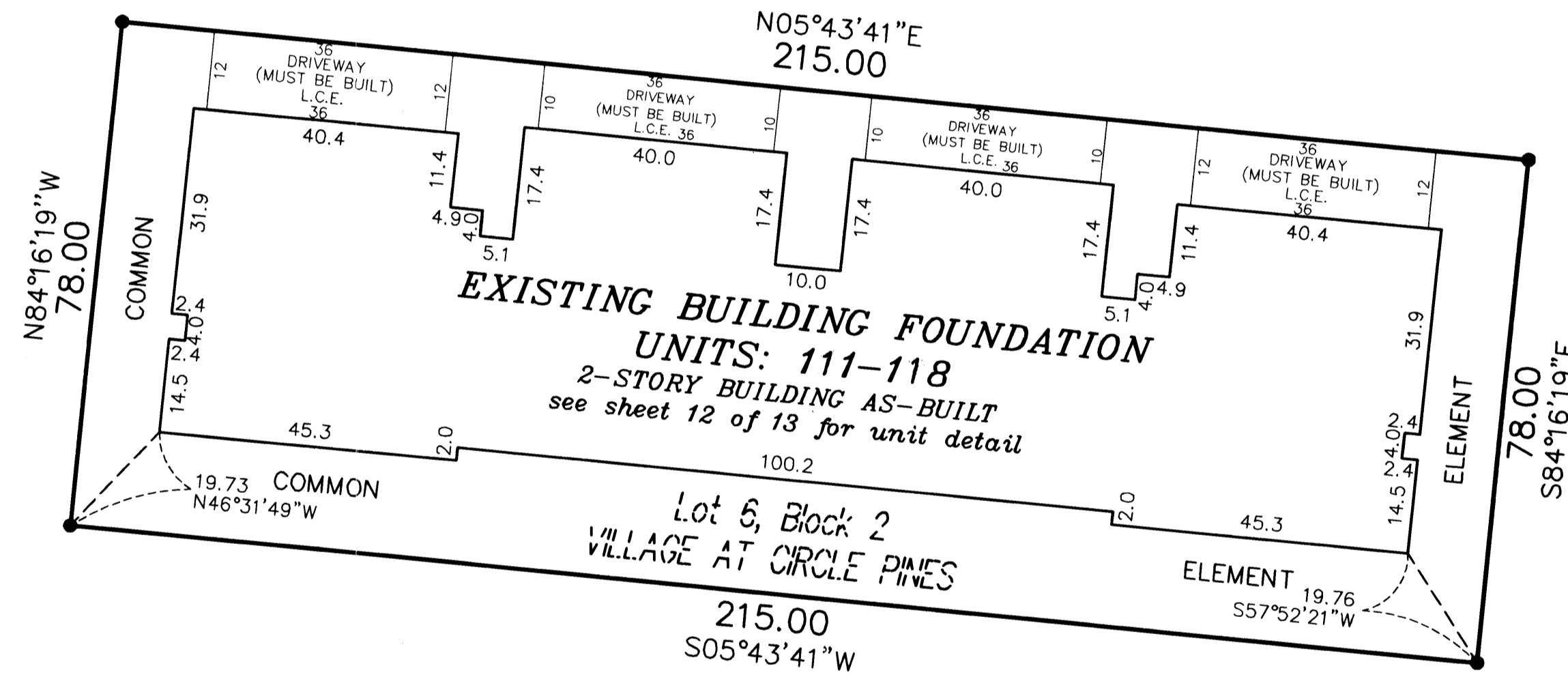
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COMMON INTEREST COMMUNITY NUMBER 125

VILLAGE AT CIRCLE PINES, A CONDOMINIUM CIC PLAT

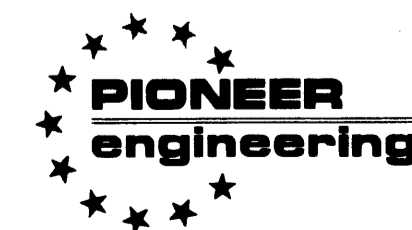
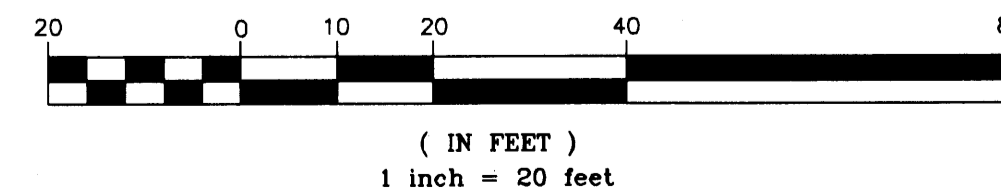
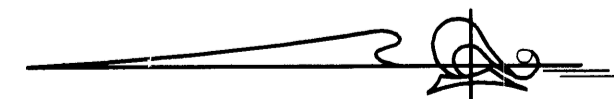
C.R. DOC. NO. 423768

CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23



● Denotes Monument Found

For the purposes of this CIC Plat, the Easterly line of VILLAGE AT CIRCLE PINES is assumed to bear N00°42'04"E



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LAND PLANNERS • LANDSCAPE ARCHITECTS

2003031996 \$ 1147.00

OFFICIAL PLAT

DK 5 of CIC P9 33

SITE PLAN (AS BUILT)

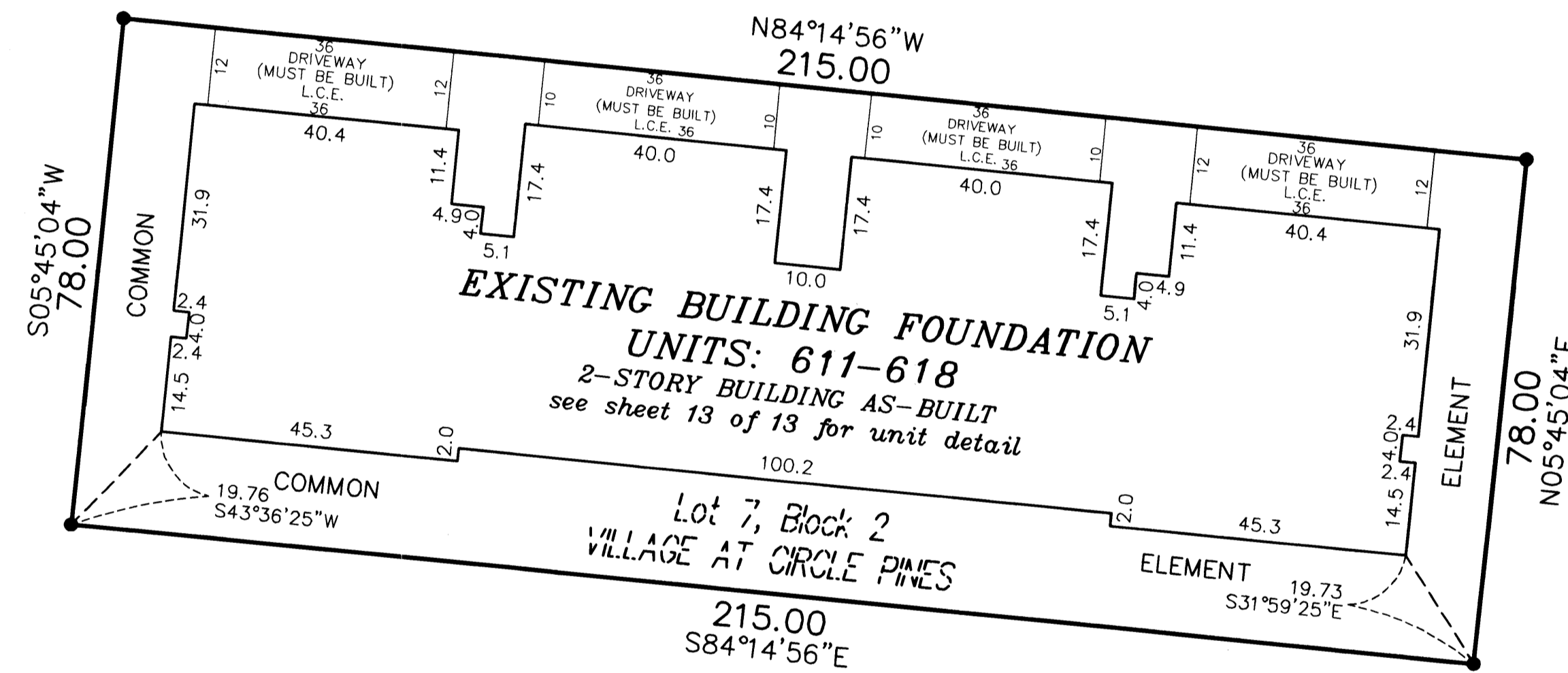
COMMON INTEREST COMMUNITY NUMBER 125

VILLAGE AT CIRCLE PINES, A CONDOMINIUM

CIC PLAT

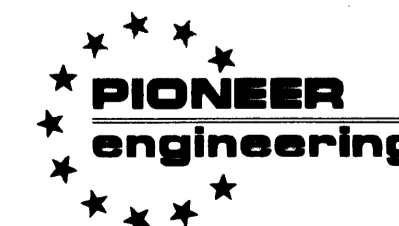
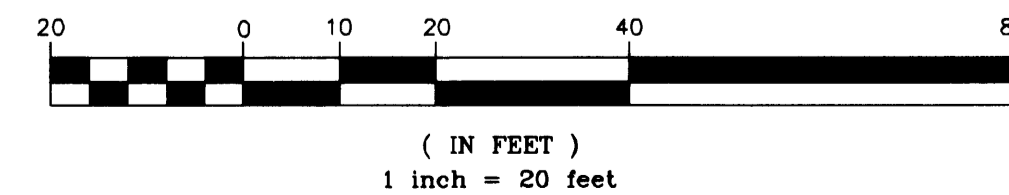
C.R. DOC. NO. 423768

CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23



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For the purposes of this CIC Plat, the Easterly line of VILLAGE AT CIRCLE PINES is assumed to bear N00°42'04\"E



LAND SURVEYORS • CIVIL ENGINEERS
LAND PLANNERS • LANDSCAPE ARCHITECTS

2003031996 \$ 1147.00

UNIT DETAIL
(AS-BUILT)

OFFICIAL PLAT

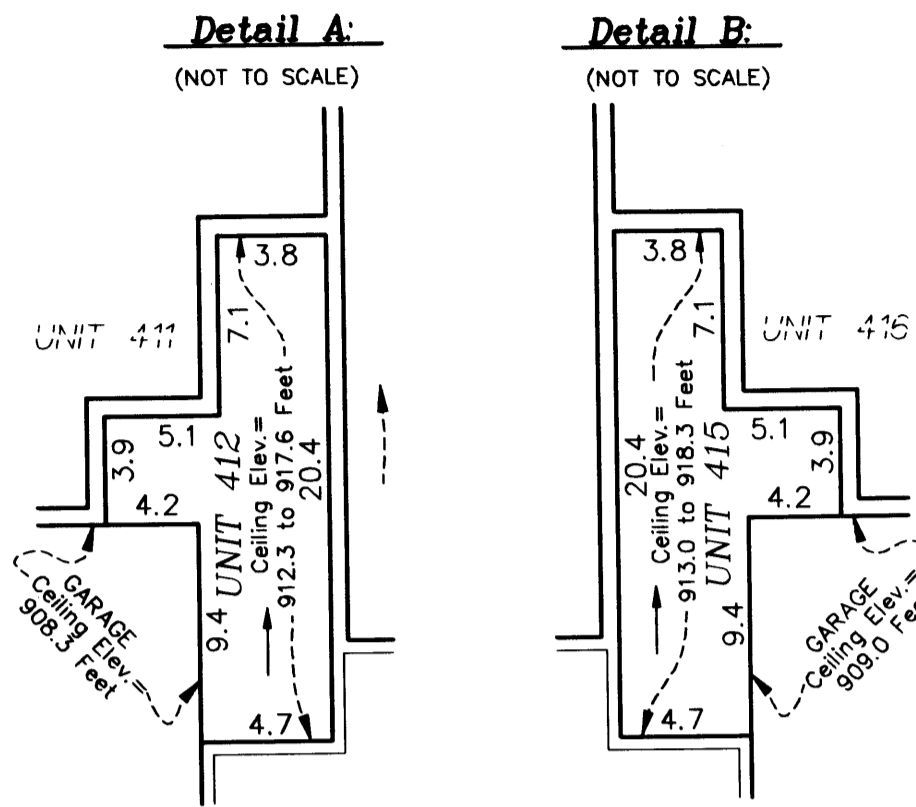
COMMON INTEREST COMMUNITY NUMBER 125

VILLAGE AT CIRCLE PINES, A CONDOMINIUM

CIC PLAT

C.R. DOC. NO. 423768

CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23



Lower Level Elevations

- Units 411 and 412 garage floor elevation = 898.6 feet
- Units 411 and 412 garage ceiling elevation = 908.3 feet
- Units 411 and 412 lower level floor elevation = 899.3 feet
- Unit 411 lower level ceiling elevation = 908.3 feet
- Unit 412 lower level ceiling elevation varies from 912.3 feet to 921.9 feet
- Units 413, 414, 415, and 416 garage floor elevation = 899.3 feet
- Units 413, 414, 415, and 416 garage ceiling elevation = 909.0 feet
- Units 413, 414, 415, 416 lower level floor elevations = 900.0 feet
- Units 413 and 414 lower level ceiling elevation varies from 909.0 feet to 918.5 feet
- Unit 415 lower level ceiling elevations varies from 913.0 feet to 922.6 feet
- Unit 416 lower level ceiling elevation = 909.0 feet

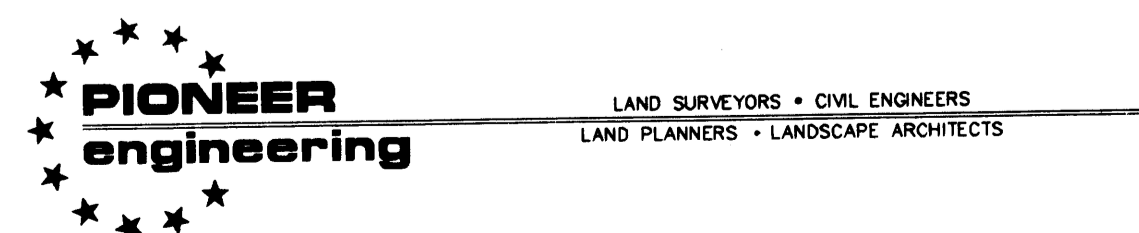
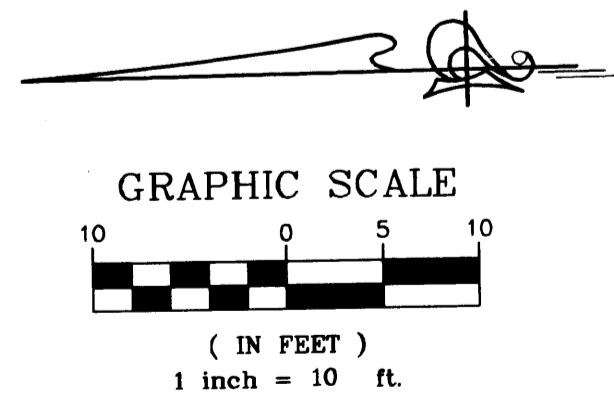
Upper Level Elevations

- Unit 412 upper level floor elevation = 909.5 feet
- Unit 412 upper level ceiling elevation varies from 912.3 feet to 921.9 feet
- Unit 413, 414, 415 upper level floor elevation = 910.2 feet
- Unit 413 upper level ceiling elevation = 918.3 feet
- Unit 414 upper level ceiling elevation varies from 918.3 feet to 922.0 feet
- Unit 415 upper level ceiling elevation varies from 913.0 feet to 922.6 feet

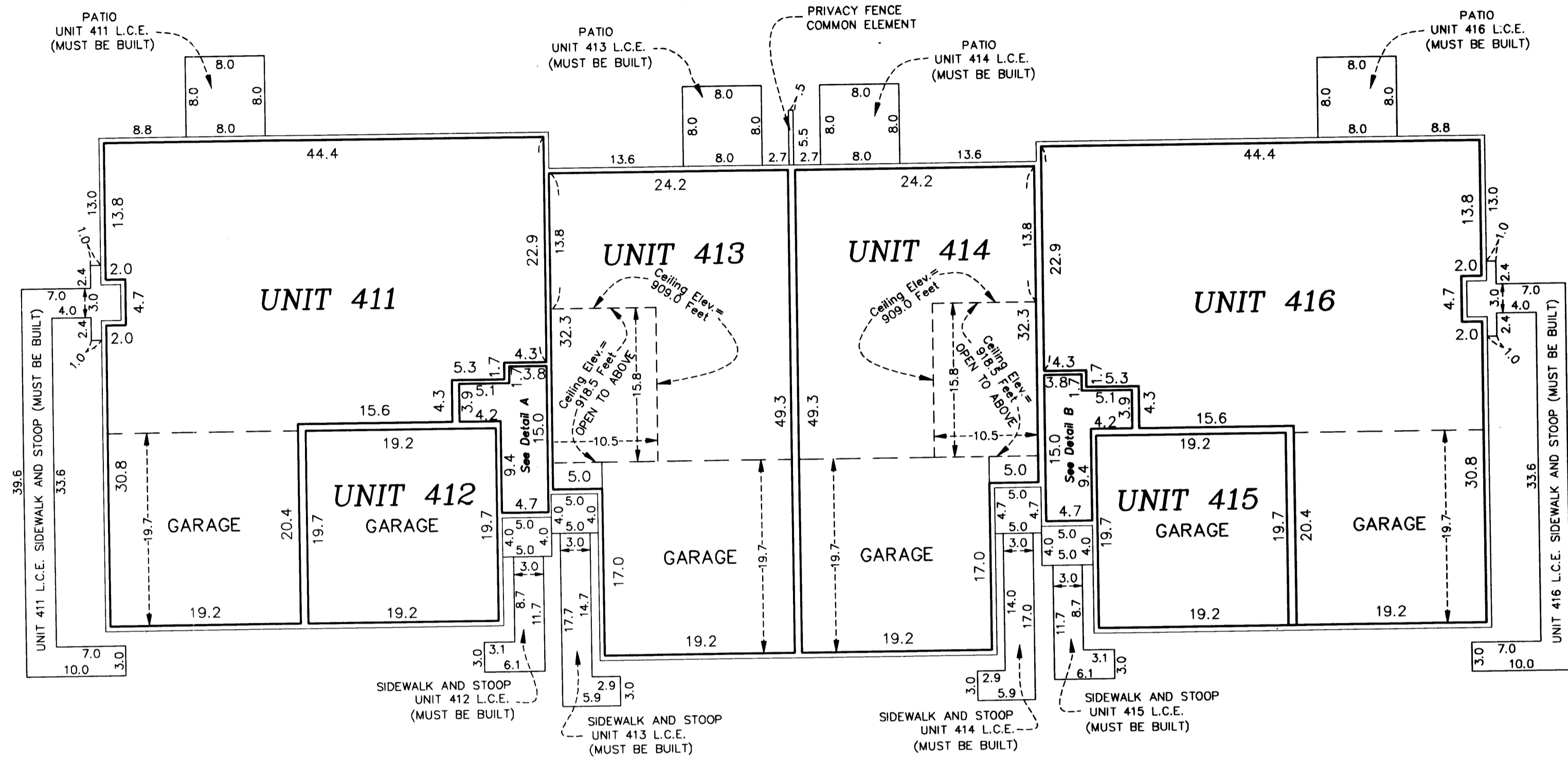
Elevations are referred to a benchmark as noted on the site plan on Sheet 2 of 13 Sheets and are shown in feet and tenths of a foot.

L.C.E. = Limited Common Element

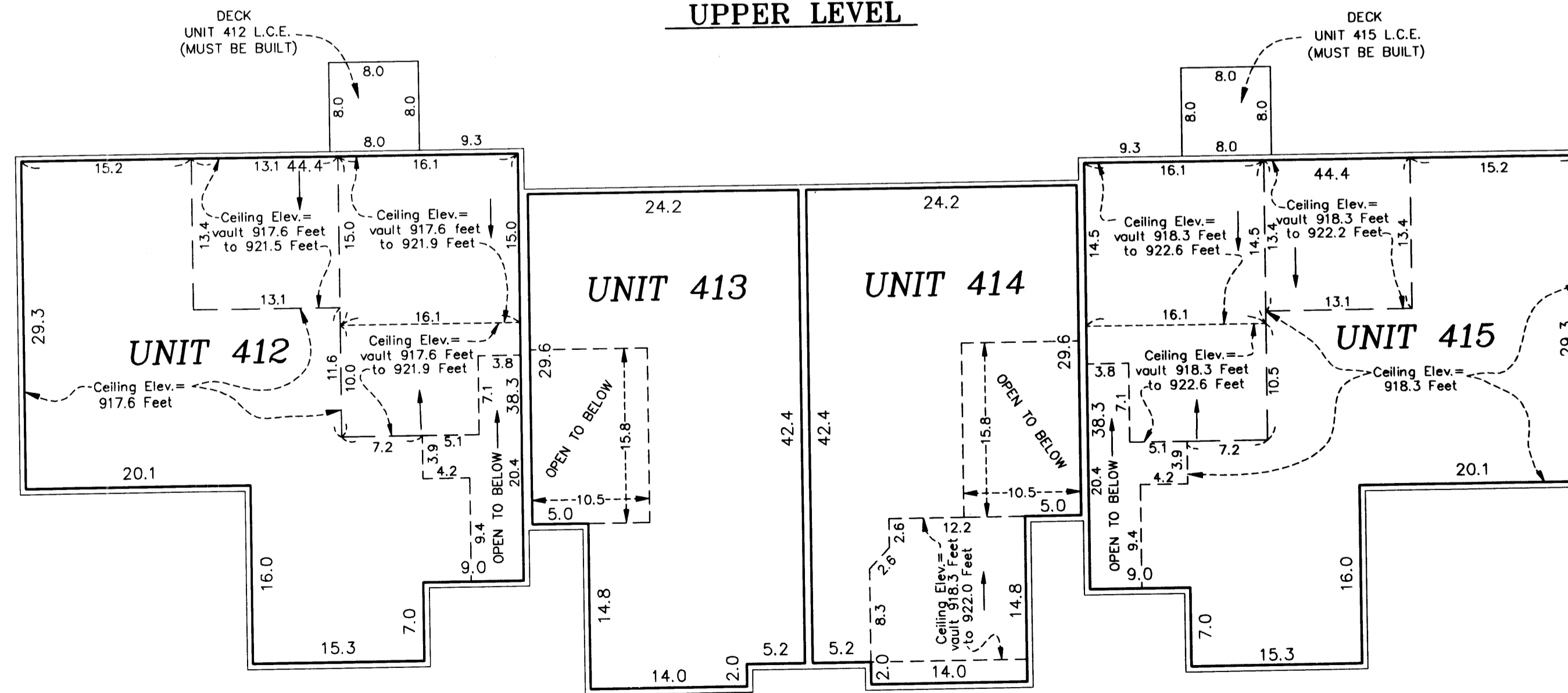
Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.



LOWER LEVEL



UPPER LEVEL



200303/996 \$ 1147.00

UNIT DETAIL
(AS-BUILT)

OFFICIAL PLAT

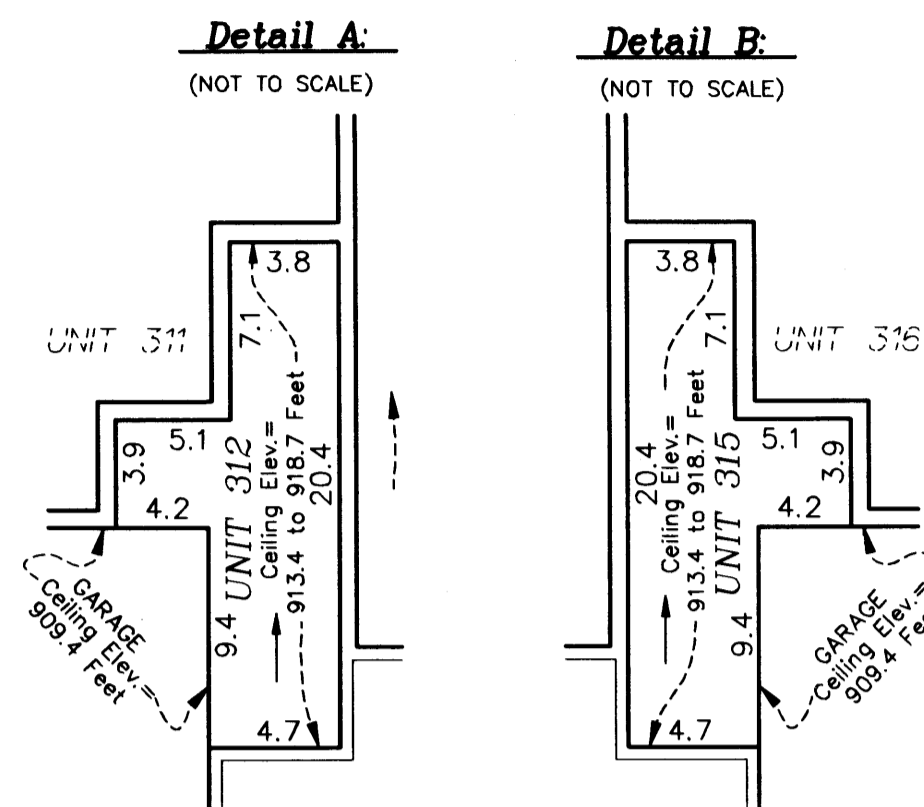
COMMON INTEREST COMMUNITY NUMBER 125

VILLAGE AT CIRCLE PINES, A CONDOMINIUM

CIC PLAT

C.R. DOC. NO. 423768

CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23



Lower Level Elevations

Units 311, 312, 313, 314, 315, and 316 garage floor elevation = 899.7 feet
 Units 311, 312, 313, 314, 315, and 316 garage ceiling elevation = 909.4 feet
 Units 311, 312, 313, 314, 315, and 316 lower level floor elevation = 900.4 feet
 Units 311 and 316 lower level ceiling elevation = 909.4 feet
 Units 312 and 315 lower level ceiling elevation varies from 913.4 feet to 923.0 feet
 Units 313 and 314 lower level ceiling elevation varies from 909.4 feet to 918.9 feet

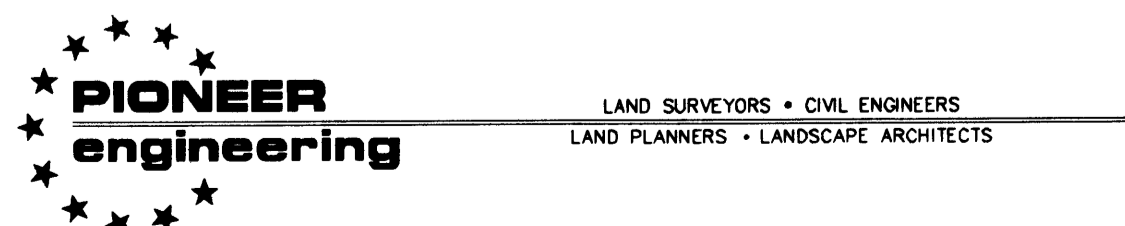
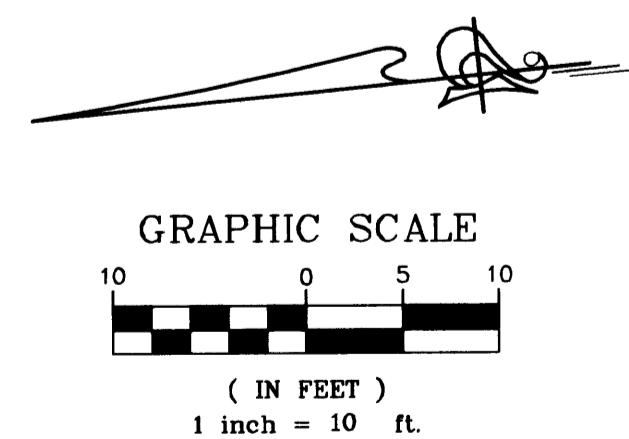
Upper Level Elevations

Units 312, 313, 314, and 315 upper level floor elevation = 910.6 feet
 Unit 312 upper level ceiling elevation varies from 913.4 feet to 918.7 feet
 Unit 315 upper level ceiling elevation varies from 913.4 feet to 923.0 feet
 Units 313 and 314 upper level ceiling elevation = 918.7 feet

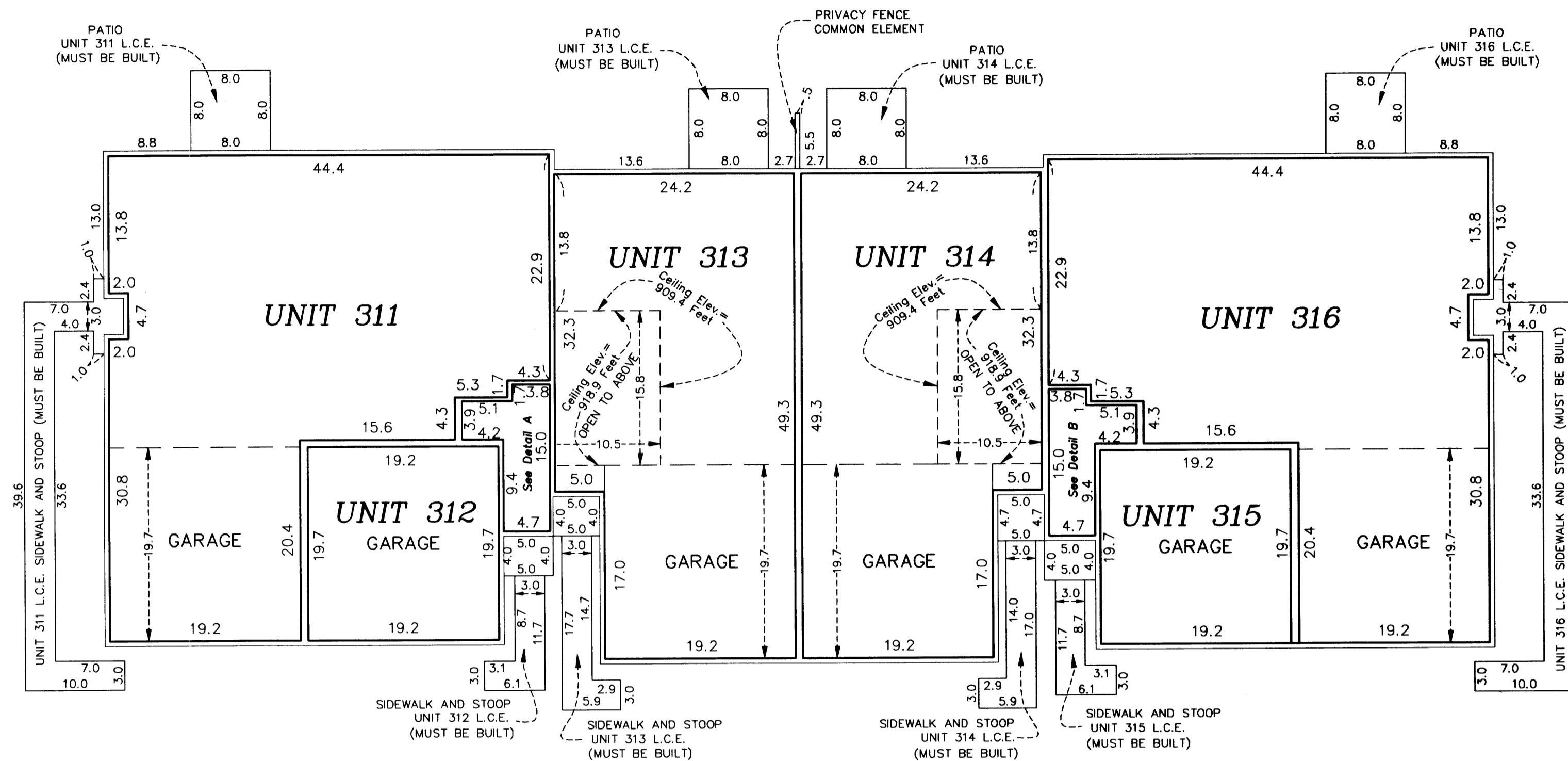
Elevations are referred to a benchmark as noted on the site plan on Sheet 2 of 13 Sheets and are shown in feet and tenths of a foot.

L.C.E. = Limited Common Element

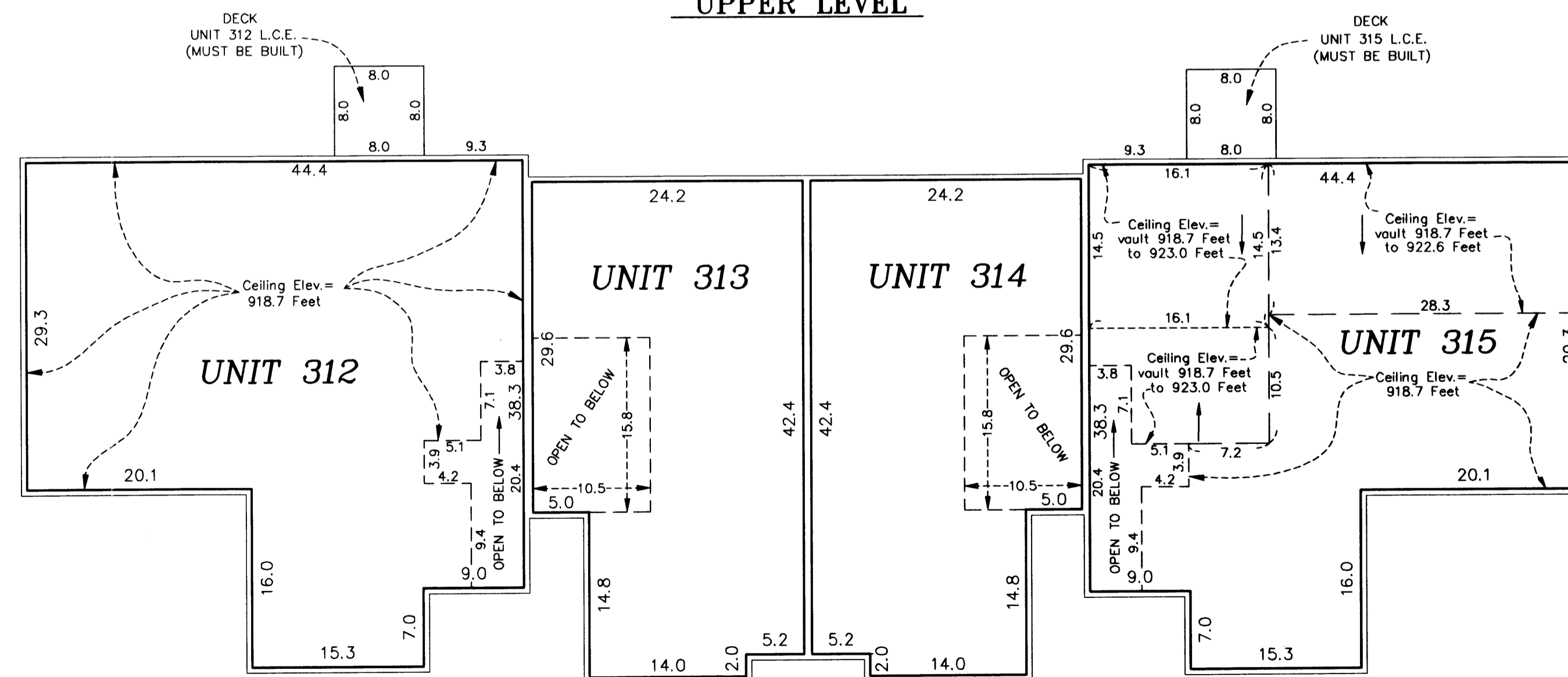
Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.



LOWER LEVEL



UPPER LEVEL



2003031996 \$1147.00

UNIT DETAIL
(AS-BUILT)

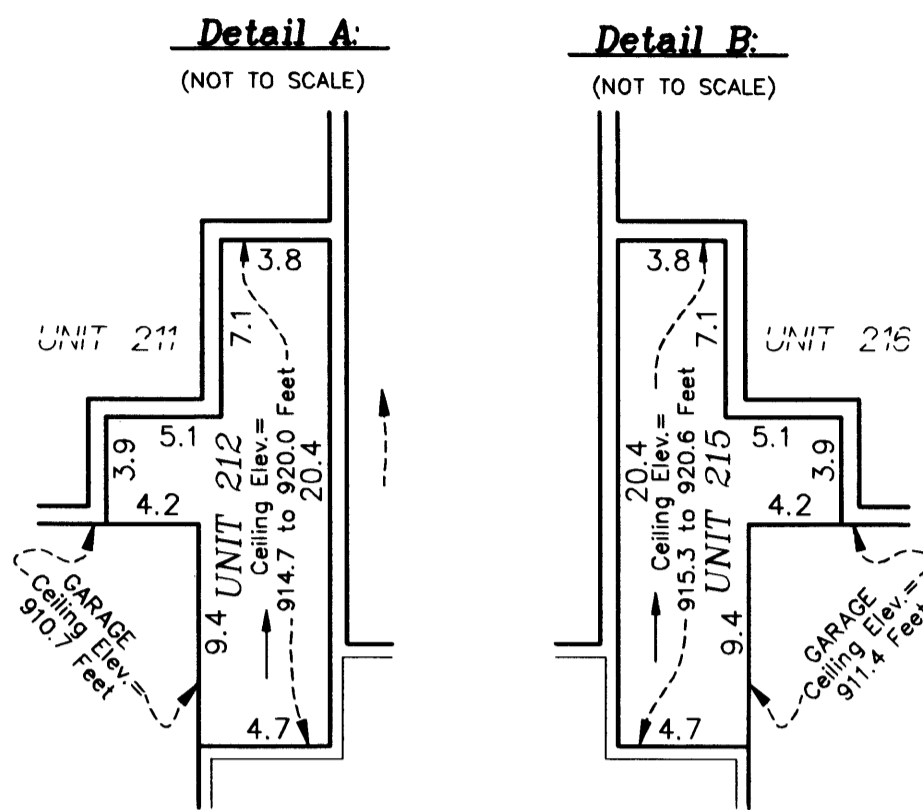
OFFICIAL PLAT

COMMON INTEREST COMMUNITY NUMBER 125
VILLAGE AT CIRCLE PINES, A CONDOMINIUM
CIC PLAT

BK 506 C.I.C. 33

C.R. DOC. NO. 403768

CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23



Lower Level Elevations

- Units 211, 212, 213, and 214 garage floor elevation = 901.0 feet
- Units 211, 212, 213, and 214 garage ceiling elevation = 910.7 feet
- Units 211, 212, 213, and 214 lower level floor elevation = 901.7 feet
- Unit 211 lower level ceiling elevation = 910.7 feet
- Unit 212 lower level ceiling elevation varies from 914.7 feet to 924.3 feet
- Units 213 and 214 lower level ceiling elevation varies from 910.7 feet to 920.2 feet
- Units 215 and 216 garage floor elevation = 901.6 feet
- Units 215 and 216 garage ceiling elevation = 911.3 feet
- Units 215 and 216 lower level floor elevations = 902.3 feet
- Unit 215 lower level ceiling elevations varies from 915.3 feet to 924.9 feet
- Unit 216 lower level ceiling elevation = 911.3 feet

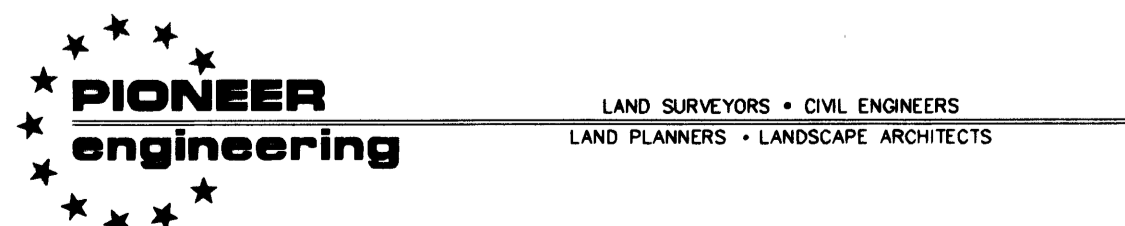
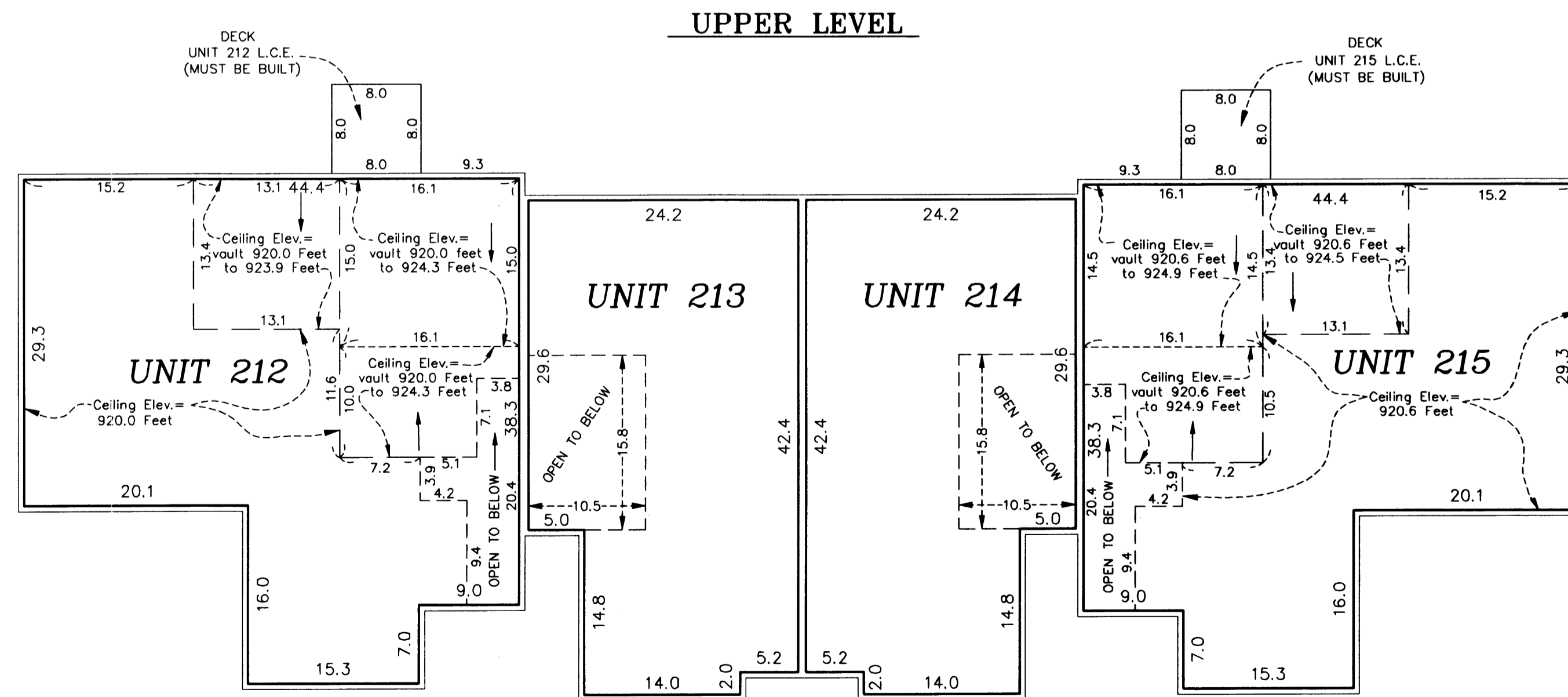
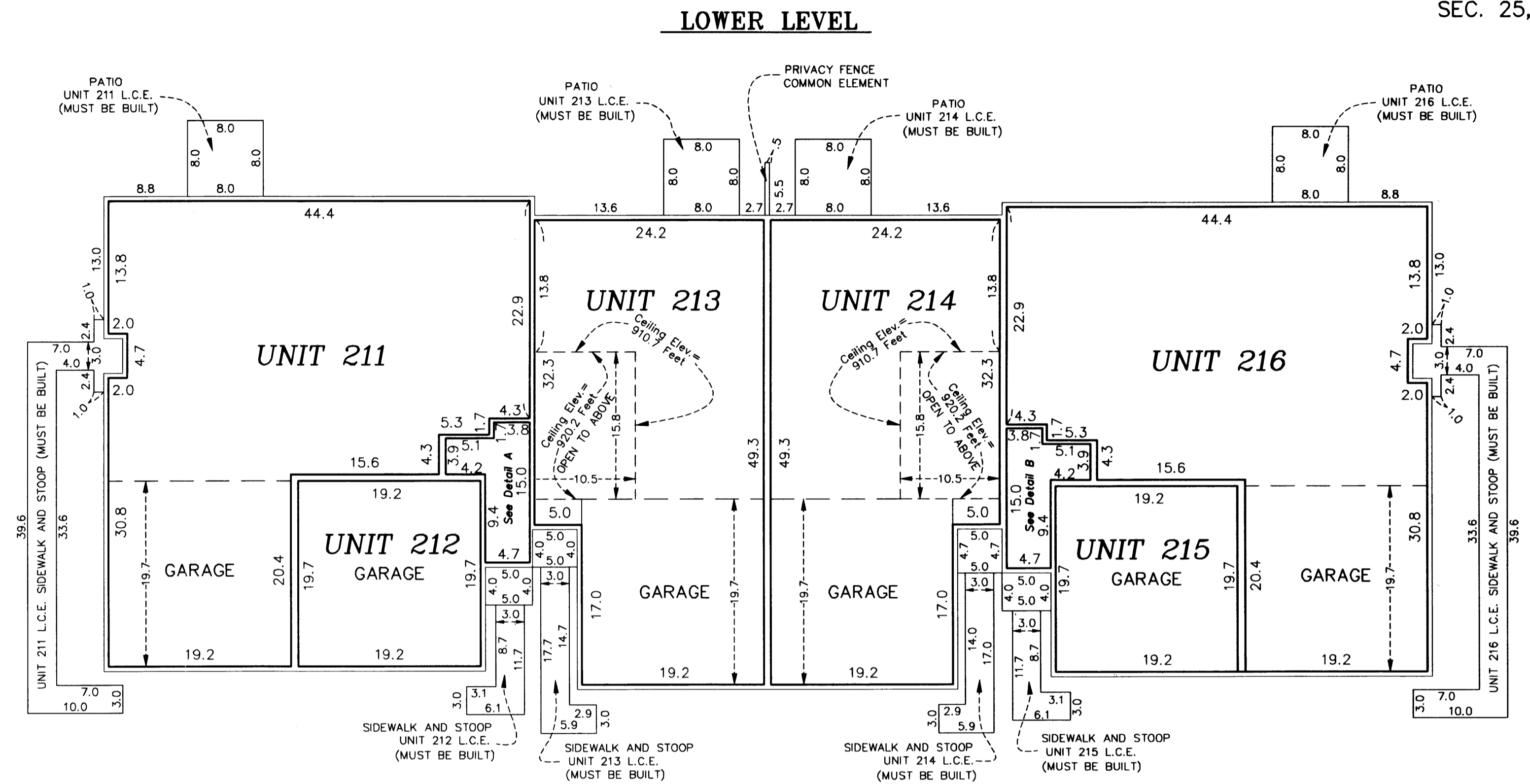
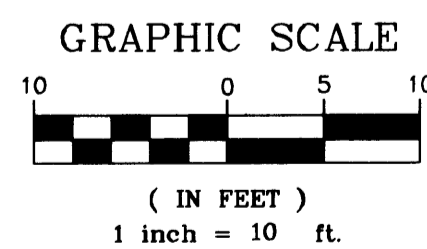
Upper Level Elevations

- Units 212, 213, and 214 upper level floor elevation = 911.9 feet
- Unit 212 upper level ceiling elevation varies from 914.7 feet to 924.3 feet
- Units 213 and 214 upper level ceiling elevation = 920.0 feet
- Unit 215 upper level floor elevation = 912.5 feet
- Unit 215 upper level ceiling elevation varies from 915.3 feet to 924.9 feet

Elevations are referred to a benchmark as noted on the site plan on Sheet 2 of 13 Sheets and are shown in feet and tenths of a foot.

L.C.E. = Limited Common Element

Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.



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UNIT DETAIL
(AS-BUILT)

OFFICIAL PLAT

COMMON INTEREST COMMUNITY NUMBER 125

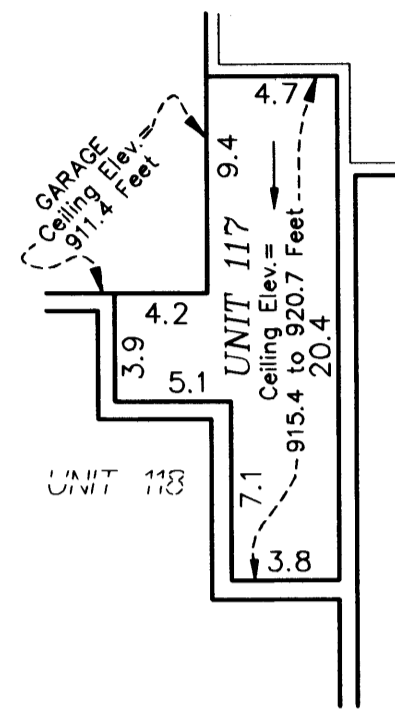
VILLAGE AT CIRCLE PINES, A CONDOMINIUM

CIC PLAT

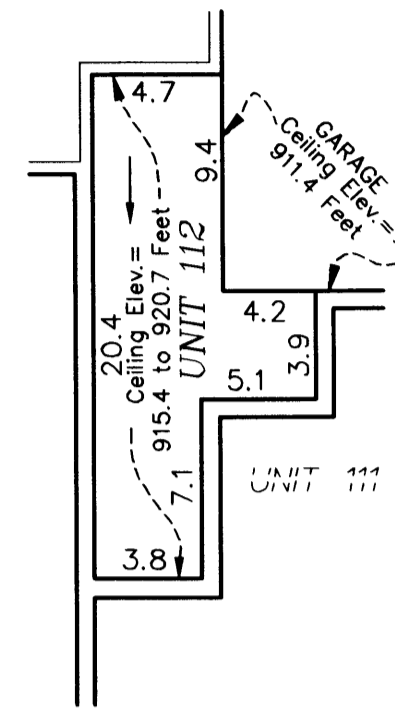
C.R. DOC. NO. 423768

CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23

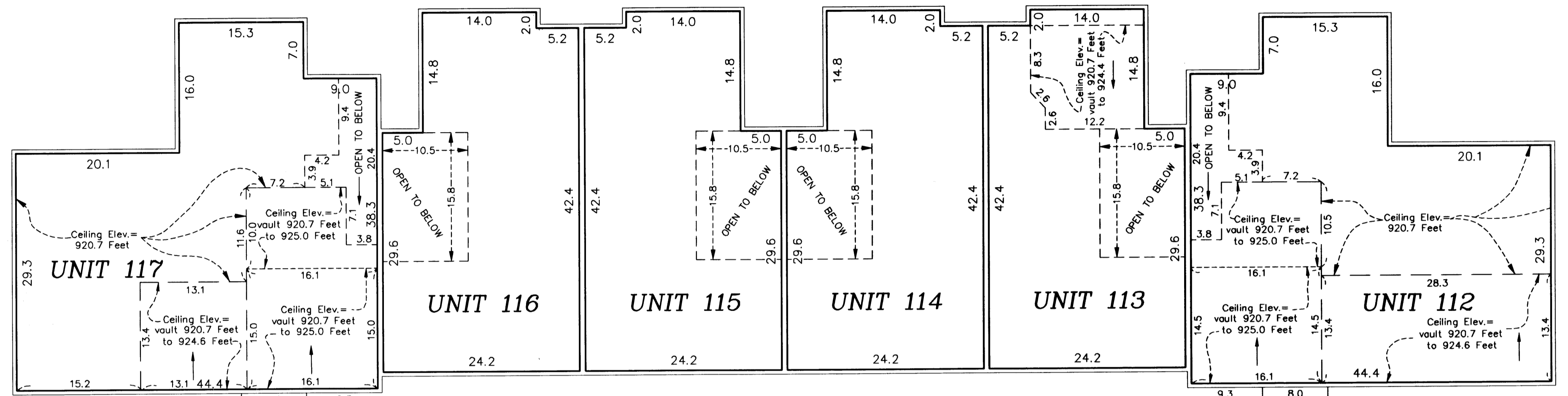
Detail A:
(NOT TO SCALE)



Detail B:
(NOT TO SCALE)



UPPER LEVEL



Lower Level Elevations

Units 111, 112, 113, 114, 115, 116, 117, and 118 garage floor elevation = 901.7 feet
 Units 111, 112, 113, 114, 115, 116, 117, and 118 garage ceiling elevation = 911.4 feet
 Units 111, 112, 113, 114, 115, 116, 117, and 118 lower level floor elevation = 902.4 feet
 Units 111 and 118 lower level ceiling elevation = 911.4 feet
 Units 112 and 117 lower level ceiling elevation varies from 915.4 feet to 925.0 feet
 Units 113, 114, 115, and 116 lower level ceiling elevation varies from 911.4 feet to 920.9 feet

LOWER LEVEL

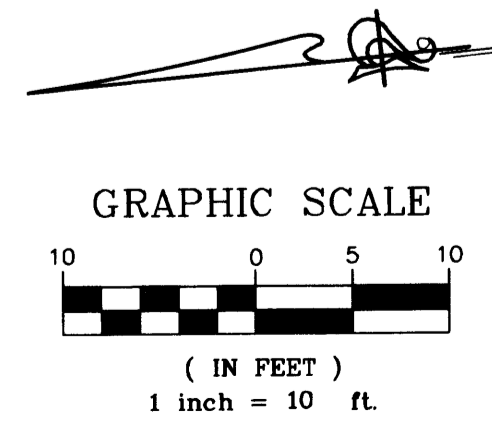
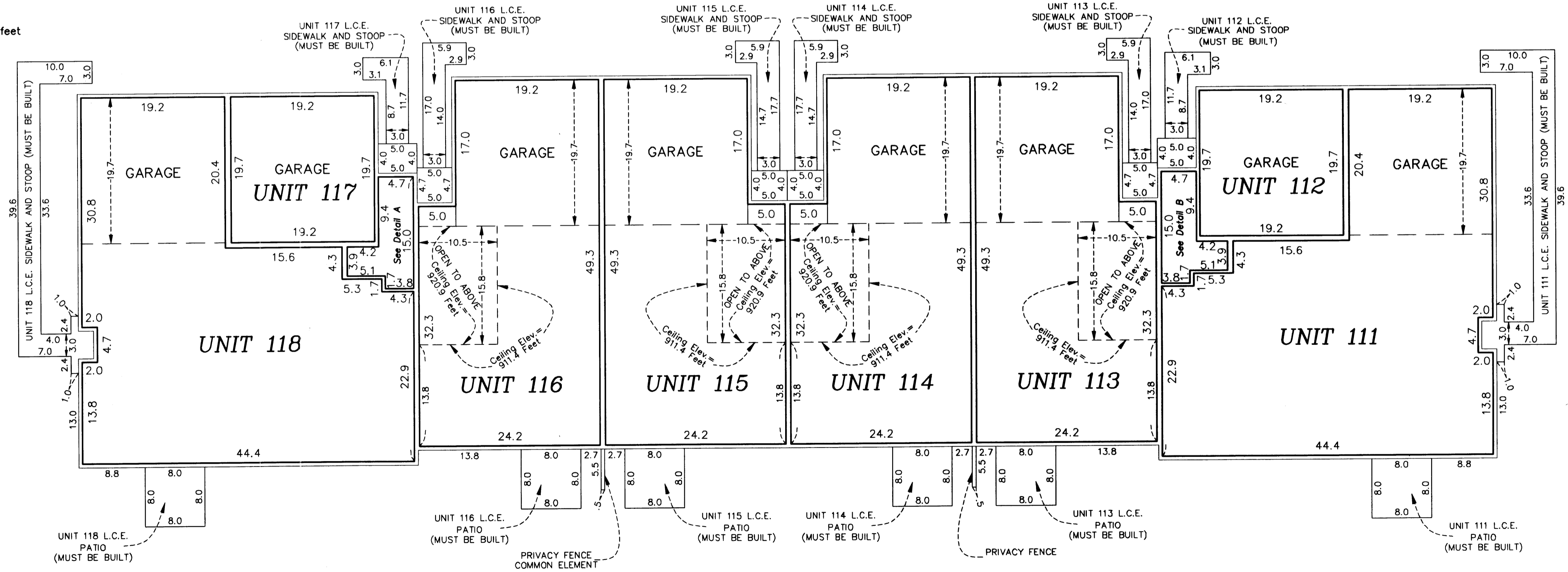
Upper Level Elevations

Units 112, 113, 114, 115, 116, and 117 upper level floor elevation = 912.6 feet
 Units 112 and 117 upper level ceiling elevation varies from 915.4 feet to 925.0 feet
 Unit 113 upper level ceiling elevation varies from = 920.7 feet and 924.4 feet
 Units 114, 115, and 116 upper level ceiling elevation = 920.7 feet

Elevations are referred to a benchmark as noted on the site plan on Sheet 2 of 13 Sheets and are shown in feet and tenths of a foot.

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200363296 \$ 1147.00

UNIT DETAIL
(AS-BUILT)

OFFICIAL PLAT

BKS of CIC A 33

COMMON INTEREST COMMUNITY NUMBER 125

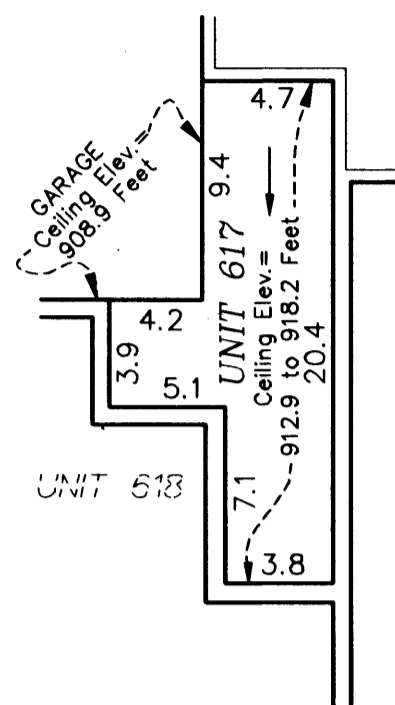
VILLAGE AT CIRCLE PINES, A CONDOMINIUM

CIC PLAT

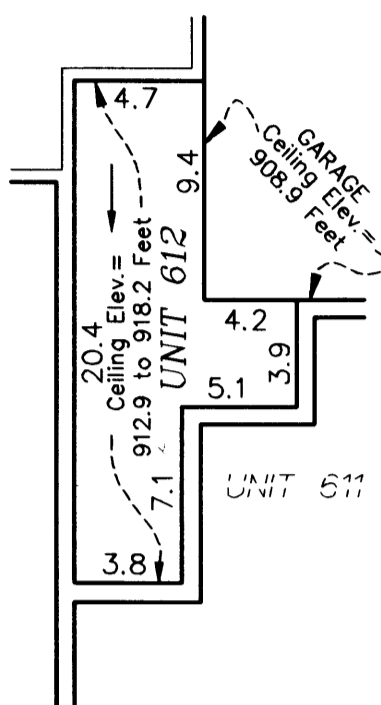
C.R. DOC. NO. 423768

CITY OF CIRCLE PINES
COUNTY OF ANOKA
SEC. 25, TWP. 31, RGE. 23

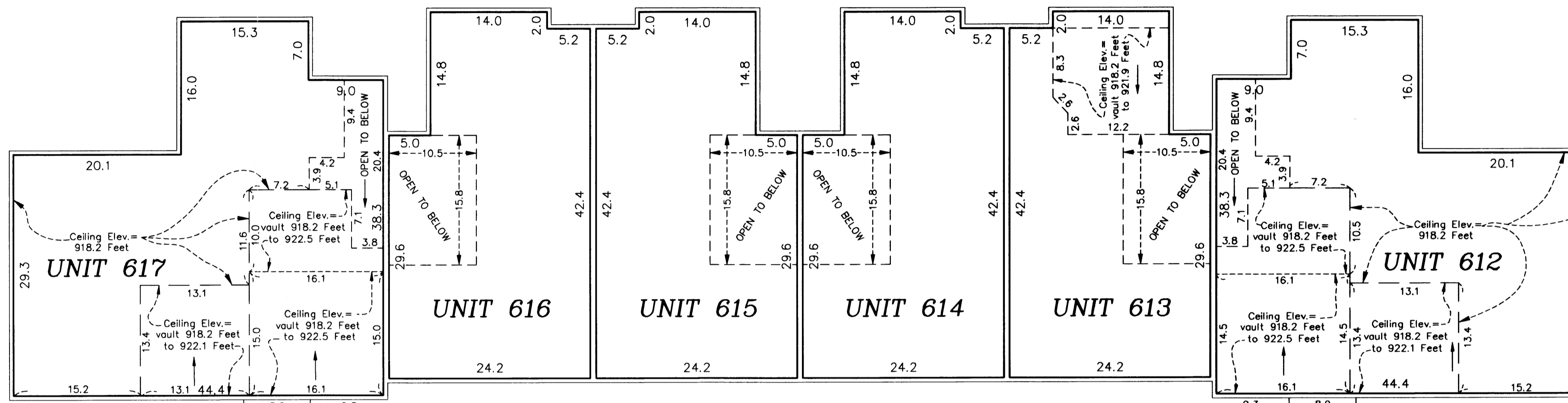
Detail A:
(NOT TO SCALE)



Detail B:
(NOT TO SCALE)



UPPER LEVEL



Lower Level Elevations

Units 611, 612, 613, 614, 615, 616, 617, and 618 garage floor elevation = 899.2 feet
 Units 611, 612, 613, 614, 615, 616, 617, and 618 garage ceiling elevation = 908.9 feet
 Units 611, 612, 613, 614, 615, 616, 617, and 618 lower level floor elevation = 899.9 feet
 Units 611 and 618 lower level ceiling elevation = 908.9 feet
 Units 612 and 617 lower level ceiling elevation varies from 912.9 feet to 922.5 feet
 Units 613, 614, 615, and 616 lower level ceiling elevation varies from 908.9 feet to 918.4 feet

LOWER LEVEL

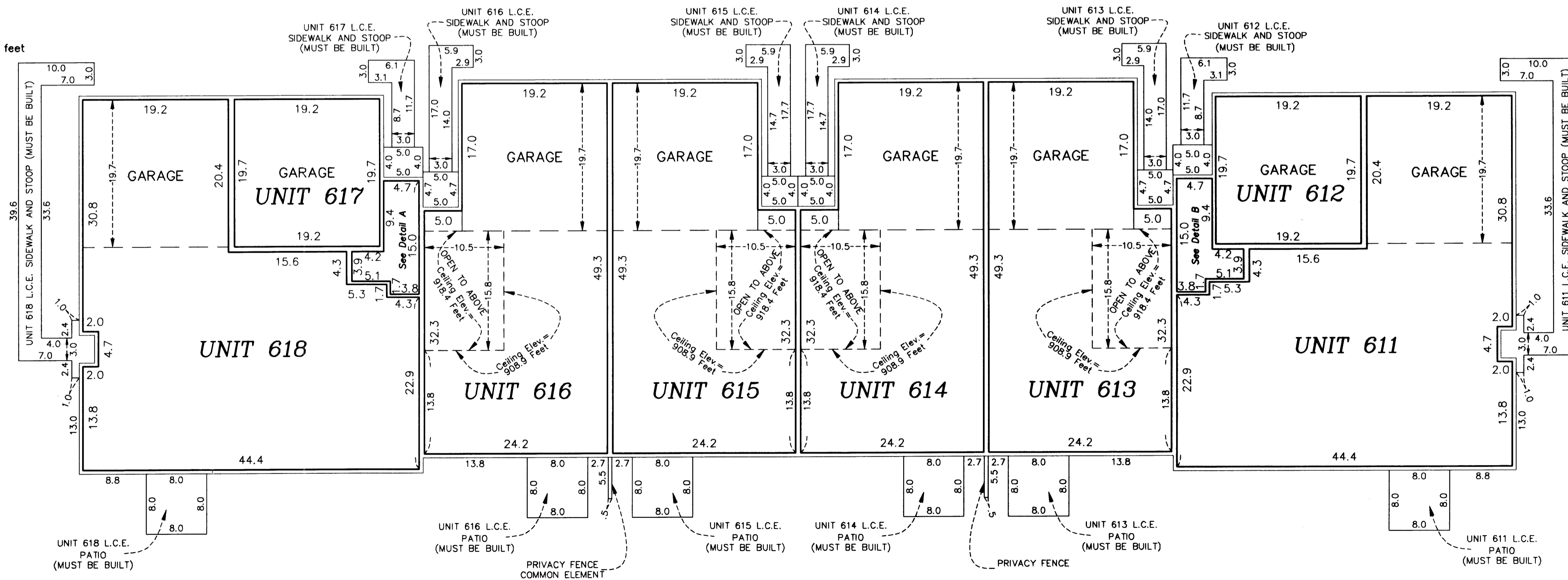
Upper Level Elevations

Units 612, 613, 614, 615, 616, and 617 upper level floor elevation = 910.1 feet
 Units 612 and 617 upper level ceiling elevation varies from 912.9 feet to 922.5 feet
 Unit 613 upper level ceiling elevation varies from = 918.2 feet and 921.9 feet
 Units 614, 615, and 616 upper level ceiling elevation = 918.2 feet

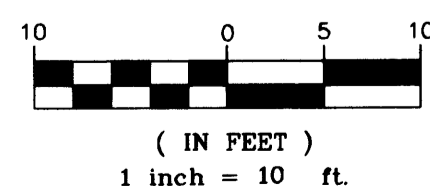
Elevations are referred to a benchmark as noted on the site plan on Sheet 2 of 13 Sheets and are shown in feet and tenths of a foot.

L.C.E. = Limited Common Element

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GRAPHIC SCALE



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