

OFFICIAL PLAT

COMMON INTEREST COMMUNITY NUMBER 129 BIRCH HILL LODGES, A CONDOMINIUM FIRST SUPPLEMENTAL CIC PLAT

Bk 7 of CIC, pg 32

This First Supplemental Condominium Plat is part of the Declaration recorded as Document No. **438888** on this 23rd day of July, 2003. CIC Book 7 page 32

CITY OF RAMSEY
COUNTY OF ANOKA
SEC. 25, T. 32, R. 25

I Harold C. Peterson do hereby certify that the work was undertaken by or reviewed and approved by me for this FIRST SUPPLEMENTAL CIC PLAT of COMMON INTEREST COMMUNITY NUMBER 129, BIRCH HILL LODGES, A CONDOMINIUM being located upon:

Lot 2, Block 2, BIRCH HILL LODGES, according to the plat of record thereof, Anoka County, Minnesota, and the additional real estate described as:

Lots 1, 2 and 3, Block 1, and Lots 3, 4 and 5, Block 2, BIRCH HILL LODGES, according to the plat of record thereof, Anoka County, Minnesota.

fully and accurately depicts all information required by Minnesota Statutes, Section 515B.2-110.

Dated this 1 day of JULY, 2003.

Harold C. Peterson
Harold C. Peterson, Land Surveyor
Minnesota License No. 12294

STATE OF MINNESOTA
COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me this 1 day of JULY, 2003, by Harold C. Peterson, a Licensed Surveyor.

Frank Hernandez
FRANK HERNANDEZ
Notary Public HENNEPIN County, Minnesota
My Commission Expires January 31, 2005



I, Joel G. Cooper pursuant to Minnesota Statutes, Section 515B.2-101, Subd. C, do hereby certify that all structural components and mechanical systems of all buildings containing or comprising any units thereby created, are substantially completed.

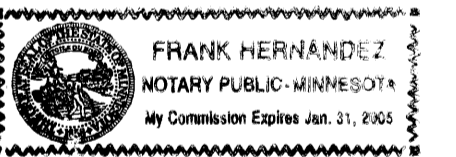
Dated this 15 day of JULY, 2003.

Joel G. Cooper
Joel G. Cooper, Registered Engineer
Minnesota Registration No. 18495

STATE OF MINNESOTA
COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me this 1 day of JULY, 2003, by Joel G. Cooper, a Registered Engineer.

Frank Hernandez
FRANK HERNANDEZ
Notary Public HENNEPIN County, Minnesota
My Commission Expires January 31, 2005



Checked and approved this 15th day of JULY, 2003.

Maureen J. Devine
Anoka County Surveyor

Office of REGISTRAR OF TITLES
STATE OF MINNESOTA
COUNTY OF HENNEPIN
438888.0
July 23, 2003
4:15 o'clock P.M.
JMD
Deputy Registrar of Titles

I HEREBY CERTIFY THAT THE CURRENT AND DELINQUENT TAXES ON THE LANDS DESCRIBED WITHIN ARE PAID AND THE TRANSFER IS ENTERED
7-23-03
MAUREEN J. DEVINE
PROPERTY TAX ADMINISTRATOR
BY *Maureen J. Devine*
DEPUTY PROPERTY TAX ADMINISTRATOR

SITE PLAN

FOR THE PURPOSES OF THIS CIC PLAT THE NORTH LINE OF LOT 1, BLOCK 1, BIRCH HILL LODGES IS ASSUMED TO BEAR S 89°46'25" E

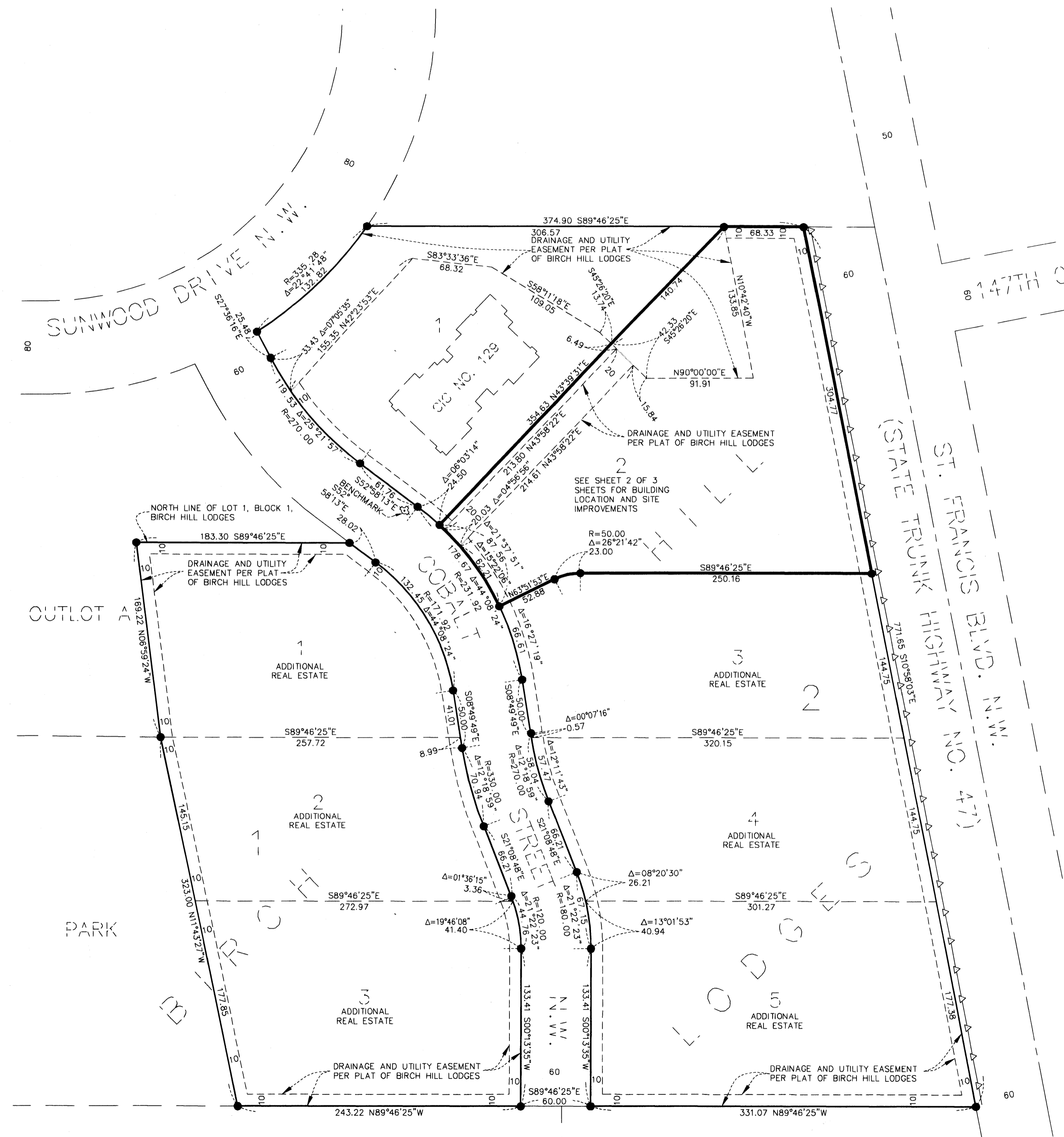
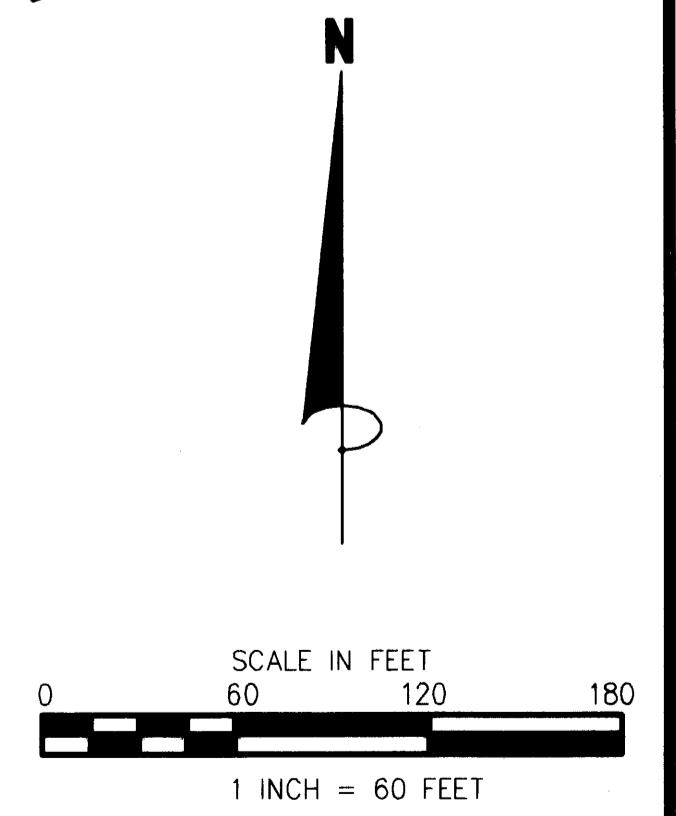
SEE SHEET 2 OF 3 SHEETS FOR BUILDING LOCATION AND SITE IMPROVEMENTS.

BENCH MARK:

TOP NUT OF HYDRANT SOUTHWEST OF LOT 1, BLOCK 2, BIRCH HILL LODGES.
ELEVATION = 877.51 FEET (N.G.V.D.-1929)

● DENOTES 1/2 INCH x 14 INCH IRON PIPE FOUND AND MARKED BY R.L.S. NO. 12294.

—△—△— DENOTES RIGHT OF ACCESS DEDICATED TO THE STATE OF MINNESOTA AS SHOWN ON THE PLAT OF BIRCH HILL LODGES



2003098688 \$415.00

JAMES R. HILL, INC.
SHEET 1 OF 3 SHEETS

COMMON INTEREST COMMUNITY NUMBER 129 BIRCH HILL LODGES, A CONDOMINIUM FIRST SUPPLEMENTAL CIC PLAT

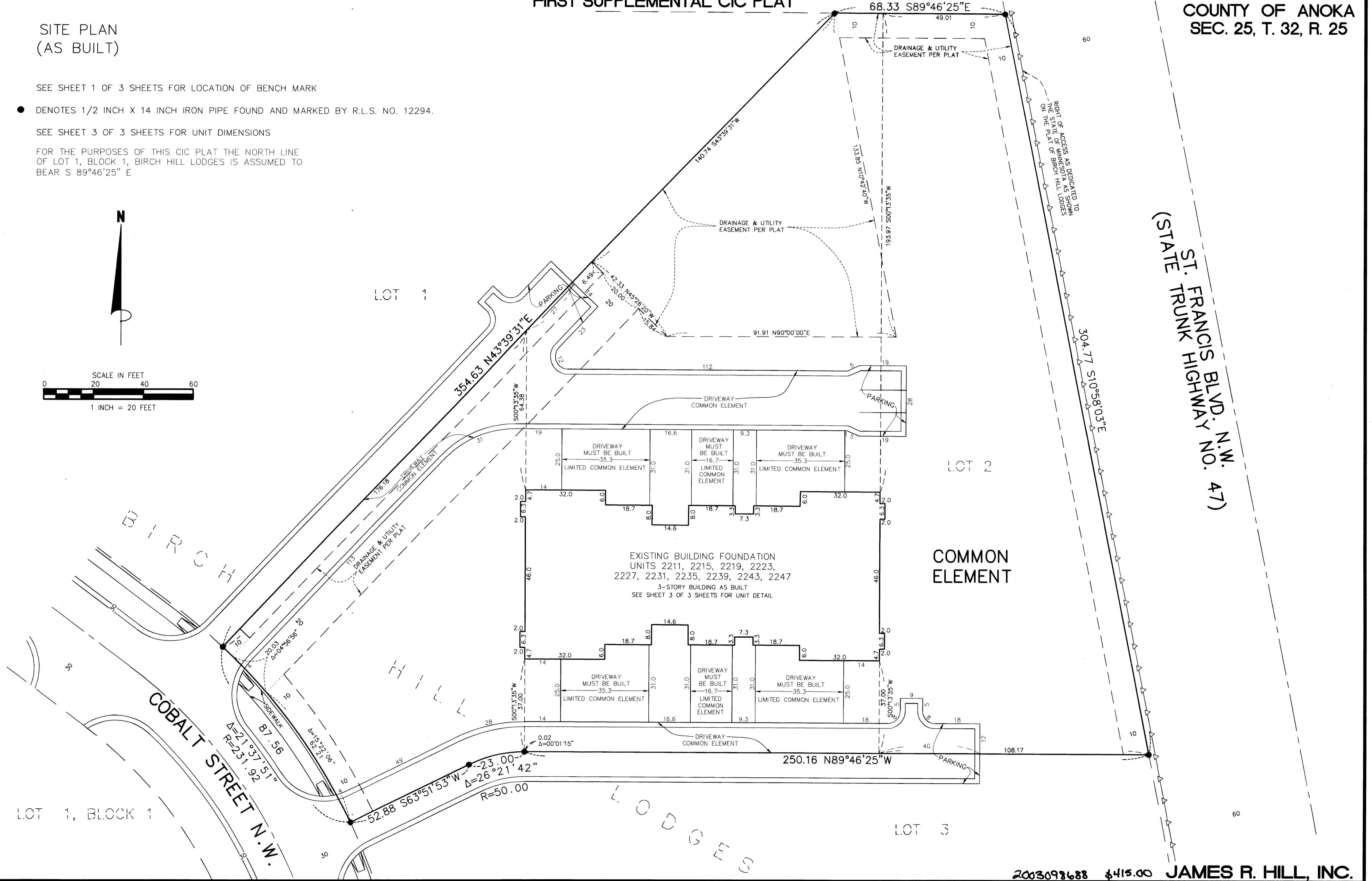
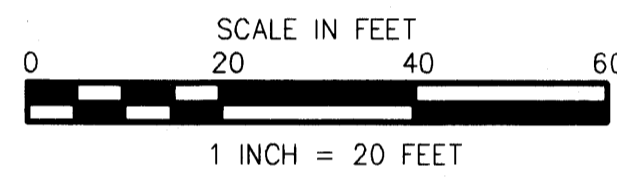
SITE PLAN (AS BUILT)

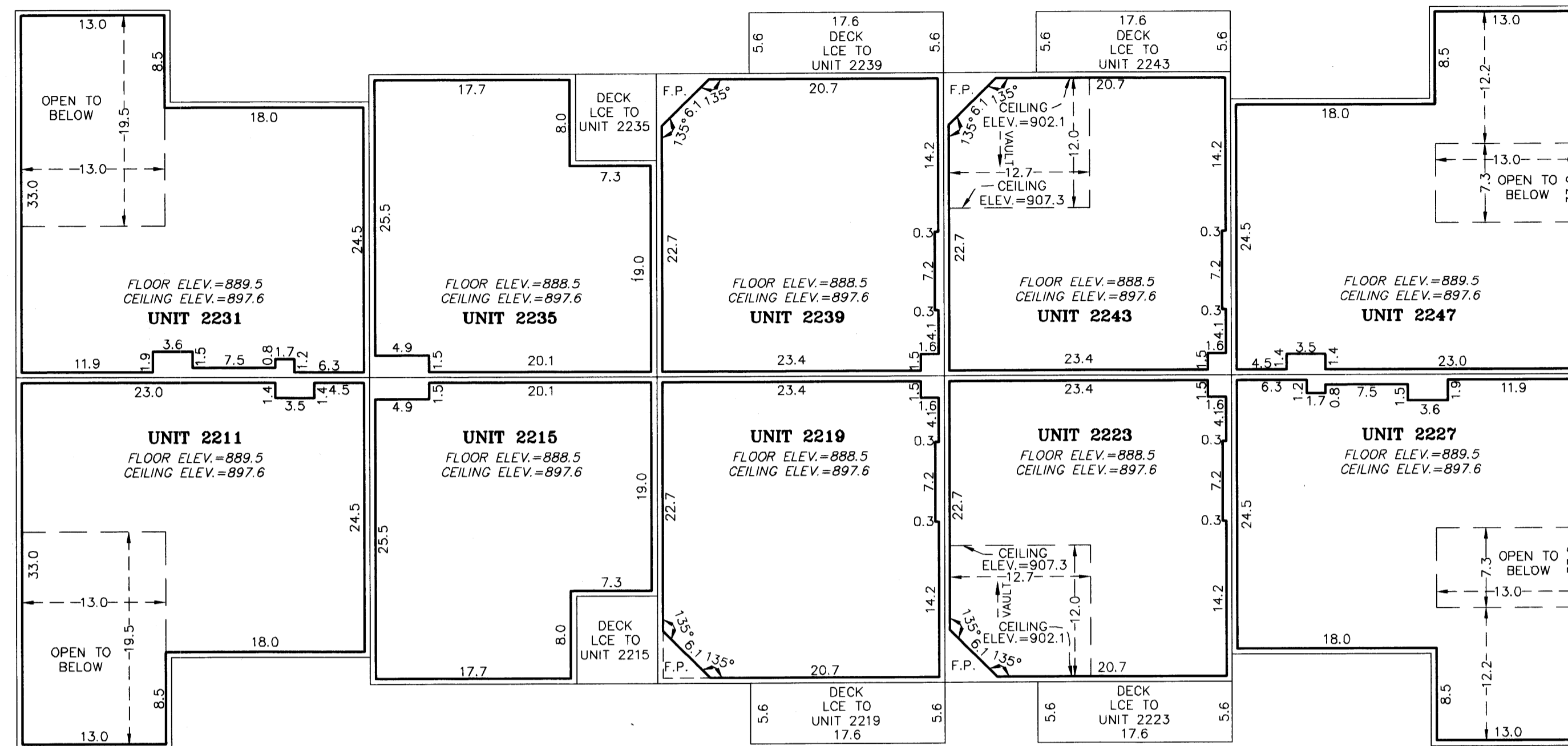
SEE SHEET 1 OF 3 SHEETS FOR LOCATION OF BENCH MARK

● DENOTES 1/2 INCH X 14 INCH IRON PIPE FOUND AND MARKED BY R.L.S. NO. 12294.

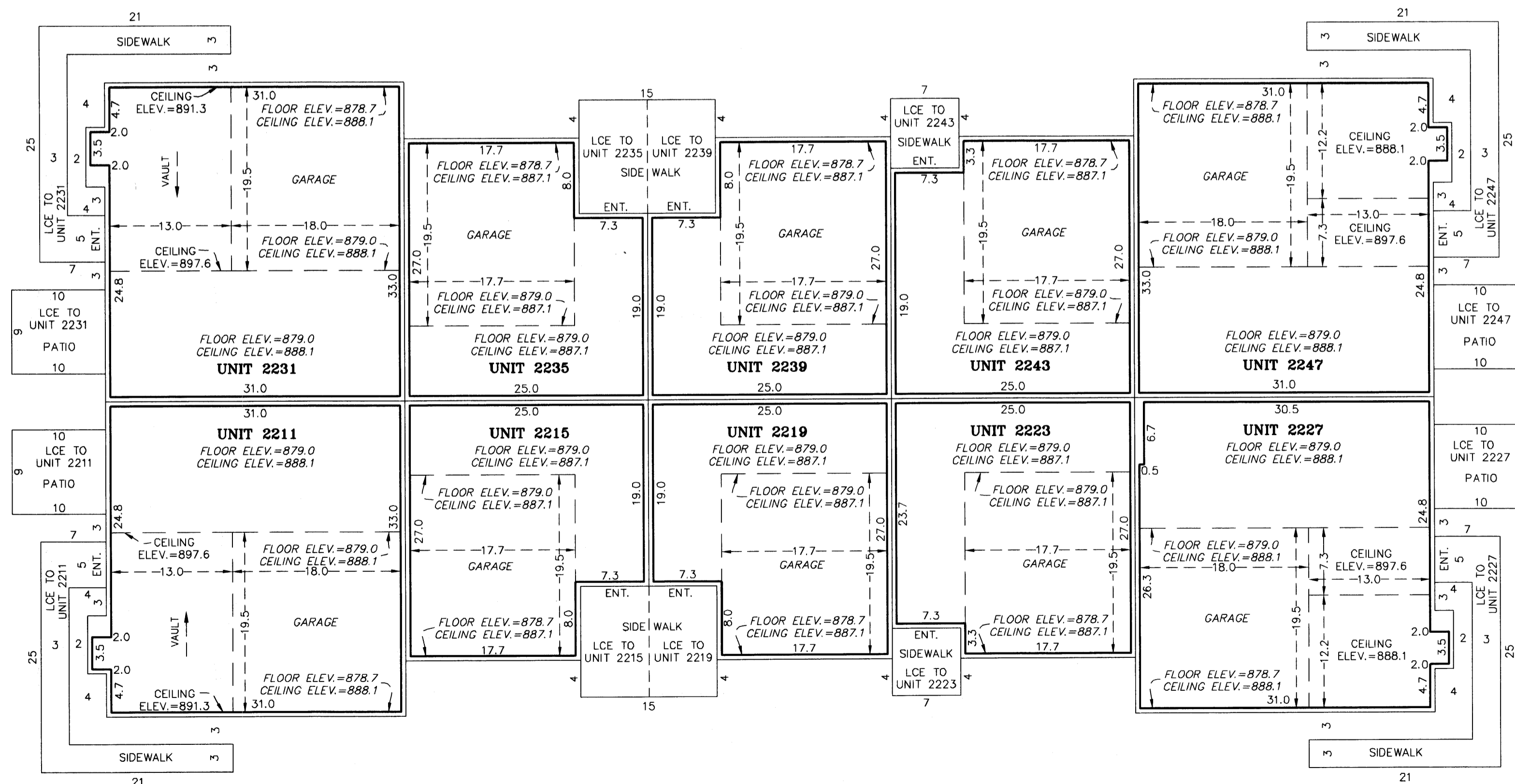
SEE SHEET 3 OF 3 SHEETS FOR UNIT DIMENSIONS

FOR THE PURPOSES OF THIS CIC PLAT THE NORTH LINE OF LOT 1, BLOCK 1, BIRCH HILL LODGES IS ASSUMED TO BEAR S 89°46'25" E

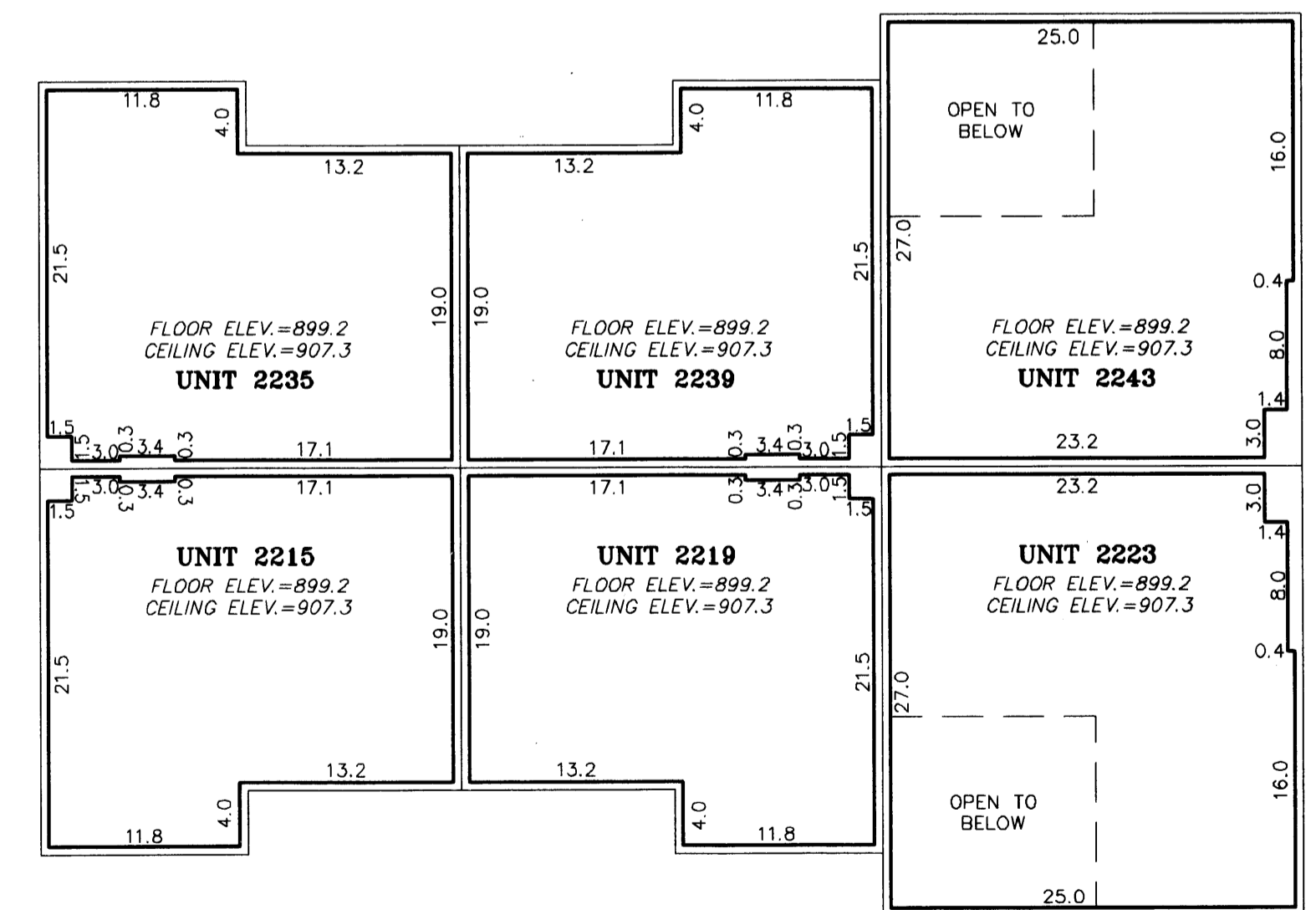




SECOND FLOOR



FIRST FLOOR



THIRD FLOOR

FLOOR PLAN

DECKS, PATIOS AND SIDEWALKS ARE LIMITED COMMON ELEMENTS - MUST BE BUILT

LCE = LIMITED COMMON ELEMENT

ELEVATIONS ARE REFERRED TO A BENCHMARK AS NOTED ON SHEET 1 OF 4 SHEETS AND ARE SHOWN IN FEET AND TENTHS OF A FOOT

INTERIOR DIMENSIONS SHOWN ARE TO UNFINISHED PERIMETER WALLS, FLOORS AND CEILINGS

F.P. DENOTES FIREPLACE, A LIMITED COMMON ELEMENT ASSIGNED TO ADJOINING UNIT