

OFFICIAL PLAT

COMMON INTEREST COMMUNITY NUMBER 129

BIRCH HILL LODGES, A CONDOMINIUM
FOURTH SUPPLEMENTAL CIC PLAT

Bk 7 of CIC, pg 6

This Fourth Supplemental Condominium Plat is part of the Declaration recorded as Document No. 469310 on this 16th day of June, 2004. CIC Book 7 page 6

CITY OF RAMSEY
COUNTY OF ANOKA
SEC. 25, T. 32, R. 25

Office of REGISTRAR OF TITLES
STATE OF MINNESOTA
COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office on June 16, 2004 at 4:15 o'clock P.M.
Maureen J. Devine, Registrar of Titles
By TAP Deputy Registrar of Titles

I Harold C. Peterson do hereby certify that the work was undertaken by or reviewed and approved by me for this FOURTH SUPPLEMENTAL CIC PLAT of COMMON INTEREST COMMUNITY NUMBER 129, BIRCH HILL LODGES, A CONDOMINIUM being located upon:

Lot 5, Block 2, BIRCH HILL LODGES, according to the plat of record thereof, Anoka County, Minnesota.

and the additional real estate described as:

Lots 1, 2 and 3, Block 1, BIRCH HILL LODGES, according to the plat of record thereof, Anoka County, Minnesota.

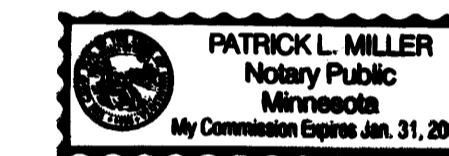
fully and accurately depicts all information required by Minnesota Statutes, Section 515B.2-110.

Dated this 23rd day of April, 2004.

Harold C. Peterson
Harold C. Peterson, Land Surveyor
Minnesota License No. 12294

STATE OF MINNESOTA
COUNTY OF Scott

The foregoing instrument was acknowledged before me this 23rd day of April, 2004 by Harold C. Peterson, a Licensed Surveyor.



Patrick Miller
Patrick Miller
Notary Public Scott County, Minnesota
My Commission Expires January 31, 2009

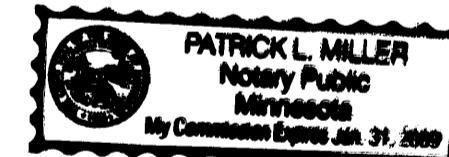
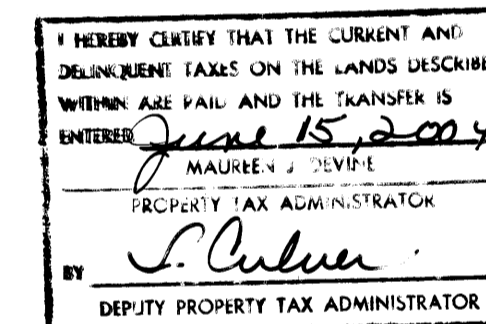
I, Joel G. Cooper pursuant to Minnesota Statutes, Section 515B.2-101, Subd. C, do hereby certify that all structural components and mechanical systems of all buildings containing or comprising any units thereby created, are substantially completed.

Dated this 23rd day of April, 2004.

Joel G. Cooper
Joel G. Cooper, Registered Engineer
Minnesota Registration No. 18495

STATE OF MINNESOTA
COUNTY OF Scott

The foregoing instrument was acknowledged before me this 23rd day of April, 2004 by Joel G. Cooper, a Registered Engineer.



Patrick Miller
Patrick Miller
Notary Public Scott County, Minnesota
My Commission Expires January 31, 2009

Checked and approved this 10th day of June, 2004.

Lanny O. Hoium
Lanny O. Hoium
Anoka County Surveyor
by *Charles F. Nelson*
Deputy

SITE PLAN

FOR THE PURPOSES OF THIS CIC PLAT THE NORTH LINE OF LOT 1, BLOCK 1, BIRCH HILL LODGES IS ASSUMED TO BEAR S 89°46'25" E

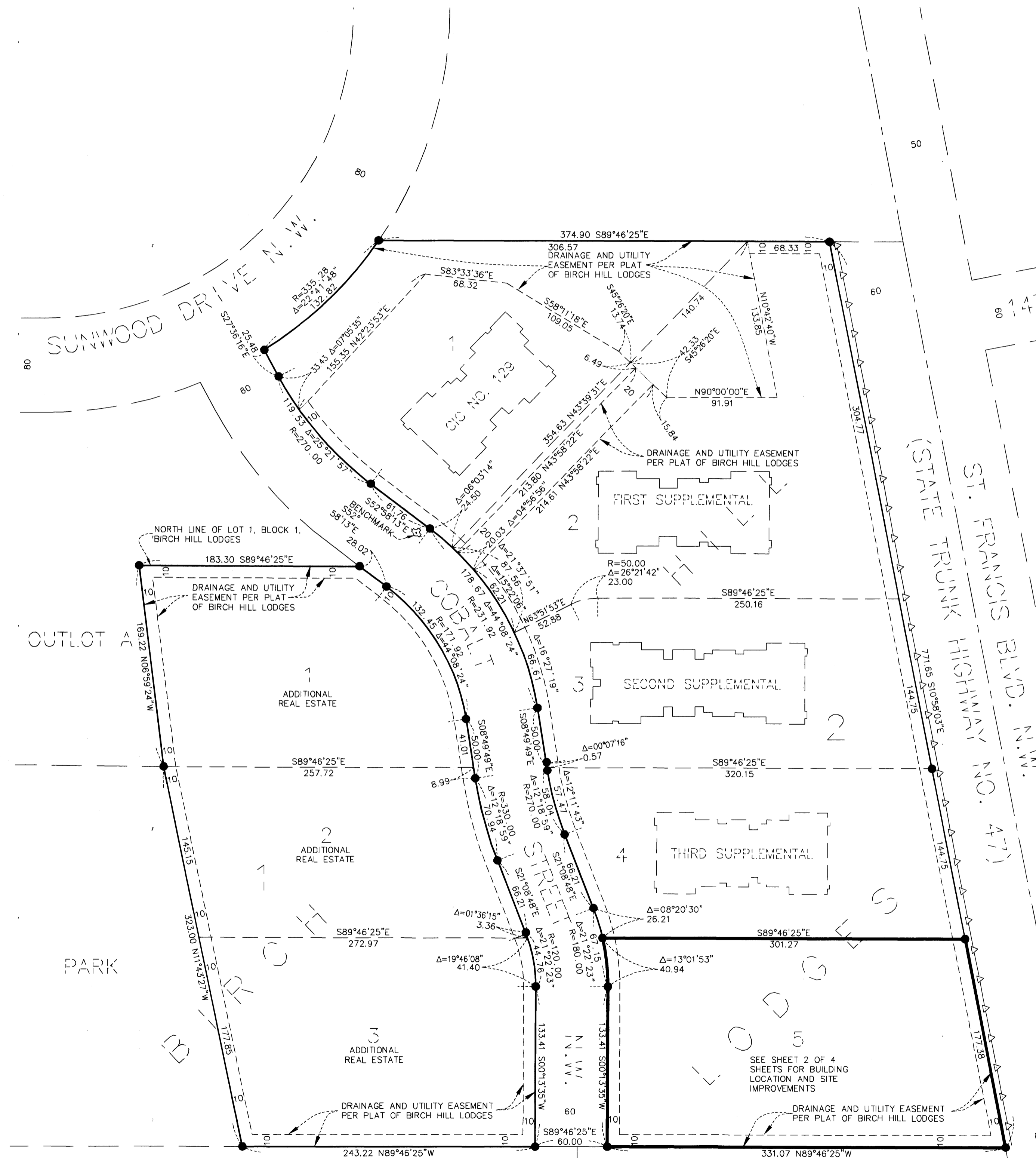
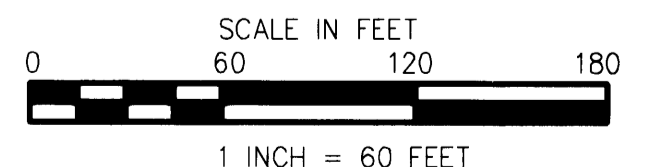
SEE SHEET 2 OF 4 SHEETS FOR BUILDING LOCATION AND SITE IMPROVEMENTS.

BENCH MARK:

TOP NUT OF HYDRANT SOUTHWEST OF LOT 1, BLOCK 2, BIRCH HILL LODGES.
ELEVATION = 877.51 FEET (N.G.V.D.-1929)

● DENOTES 1/2 INCH x 14 INCH IRON PIPE FOUND AND MARKED BY R.L.S. NO. 12294.

△—△—△ DENOTES RIGHT OF ACCESS DEDICATED TO THE STATE OF MINNESOTA AS SHOWN ON THE PLAT OF BIRCH HILL LODGES



2004080999 \$476.00

JAMES R. HILL, INC.
SHEET 1 OF 4 SHEETS

COMMON INTEREST COMMUNITY NUMBER 129
BIRCH HILL LODGES, A CONDOMINIUM
FOURTH SUPPLEMENTAL CIC PLAT

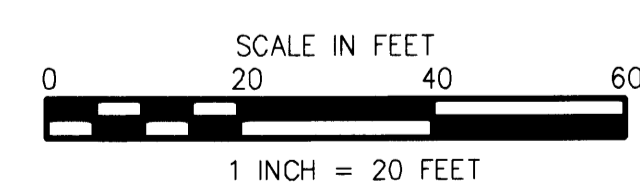
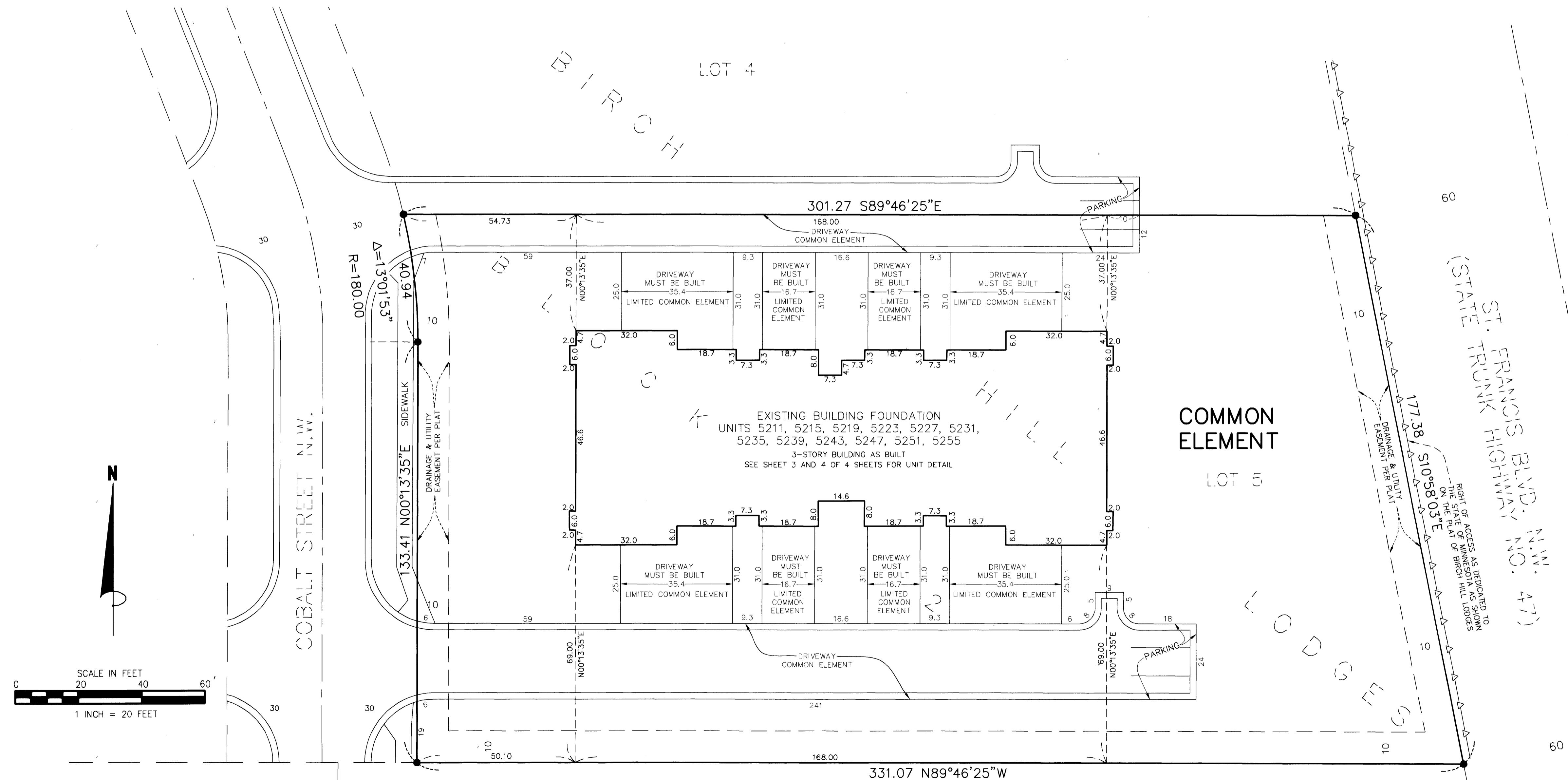
SITE PLAN
(AS BUILT)

SEE SHEET 1 OF 4 SHEETS FOR LOCATION OF BENCH MARK

- DENOTES 1/2 INCH X 14 INCH IRON PIPE FOUND AND MARKED BY R.L.S. NO. 12294.

SEE SHEETS 3 AND 4 OF 4 SHEETS FOR UNIT DIMENSIONS

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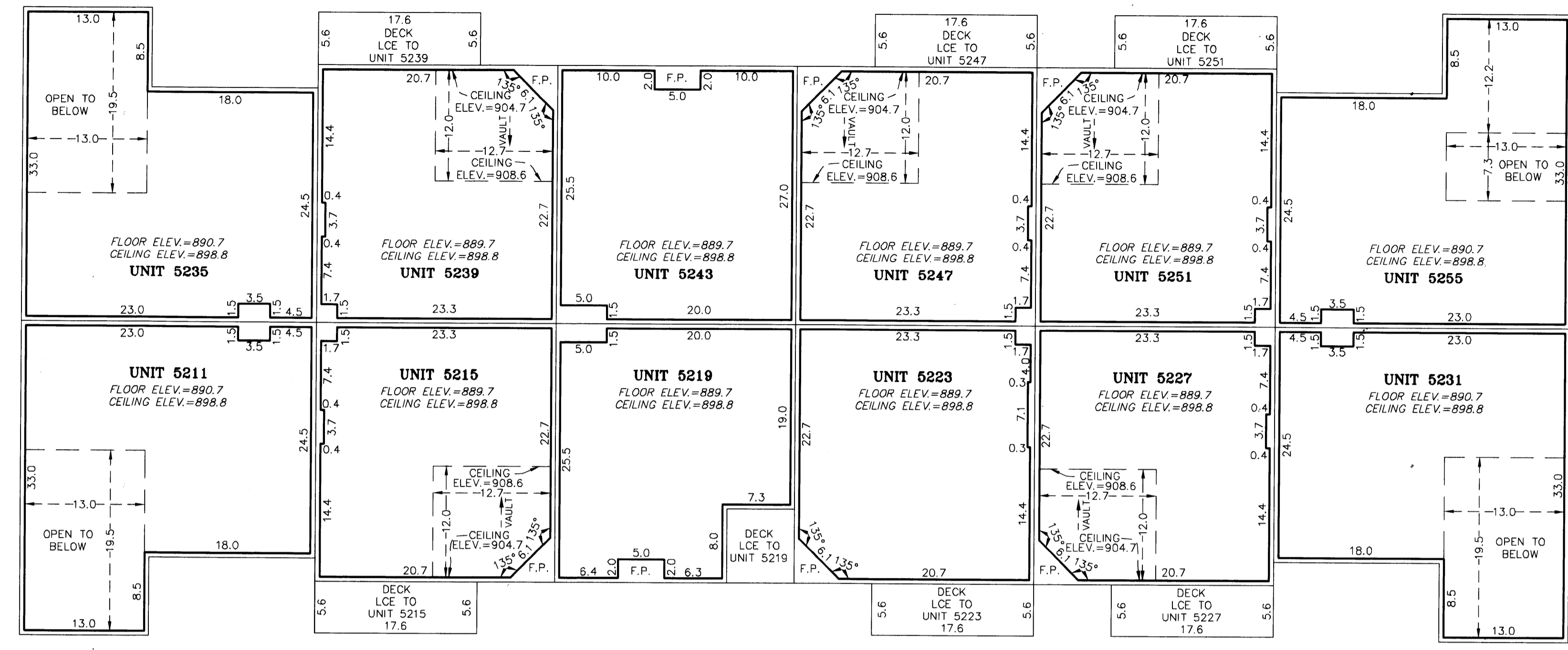


COMMON INTEREST COMMUNITY NUMBER 129

BIRCH HILL LODGES, A CONDOMINIUM

FOURTH SUPPLEMENTAL CIC PLAT

C.R. DOC. NO. 469310
CITY OF RAMSEY
COUNTY OF ANOKA
SEC. 25, T. 32, R. 25



FLOOR PLAN

DECKS, PATIOS AND SIDEWALKS ARE LIMITED COMMON ELEMENTS - MUST BE BUILT

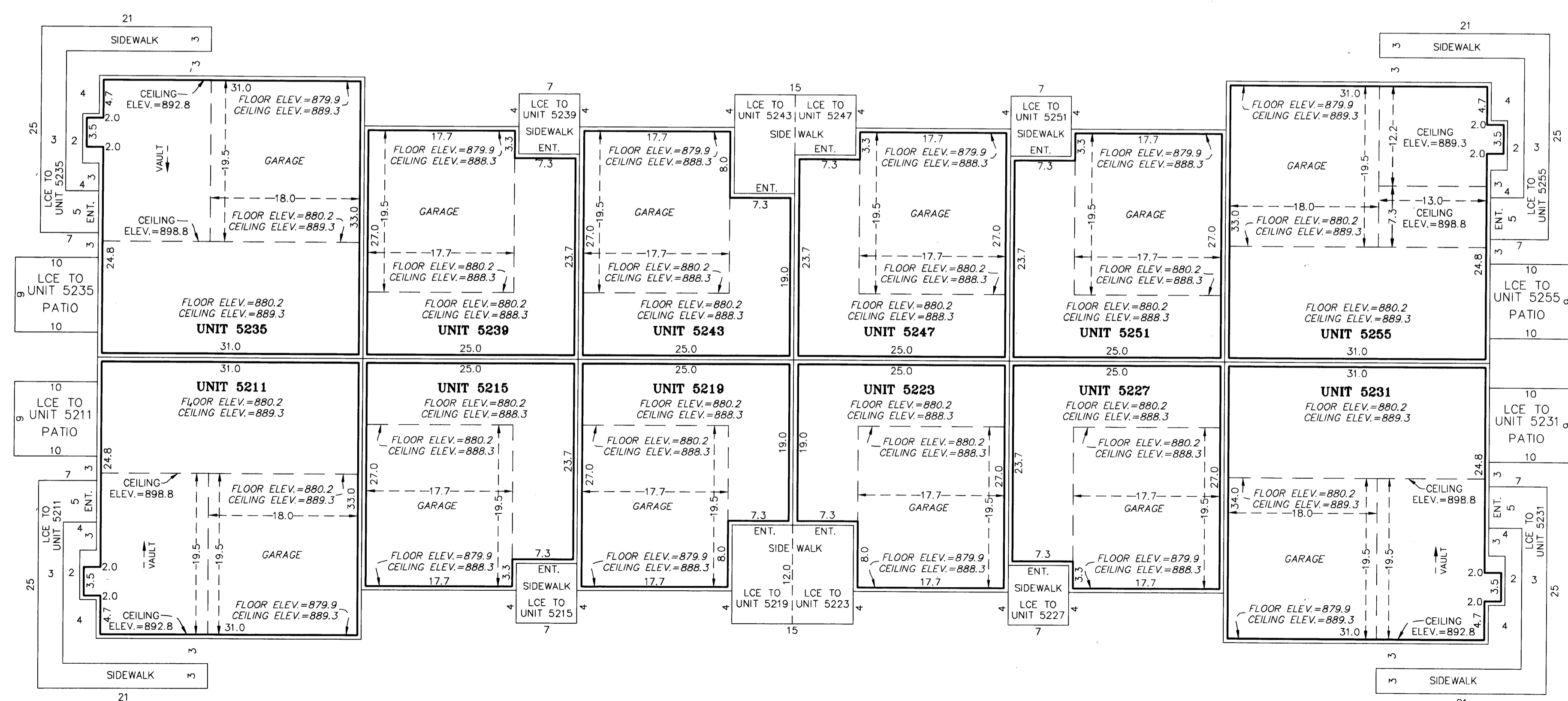
LCE = LIMITED COMMON ELEMENT

ELEVATIONS ARE REFERRED TO A BENCHMARK AS NOTED ON SHEET 1 OF 4 SHEETS AND ARE SHOWN IN FEET AND TENTHS OF A FOOT

INTERIOR DIMENSIONS SHOWN ARE TO UNFINISHED PERIMETER WALLS, FLOORS AND CEILINGS

F.P. DENOTES FIREPLACE, A LIMITED COMMON ELEMENT ASSIGNED TO ADJOINING UNIT

SECOND FLOOR



SCALE IN FEET
0 10 20 30
1 INCH = 10 FEET

FIRST FLOOR

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FLOOR PLAN

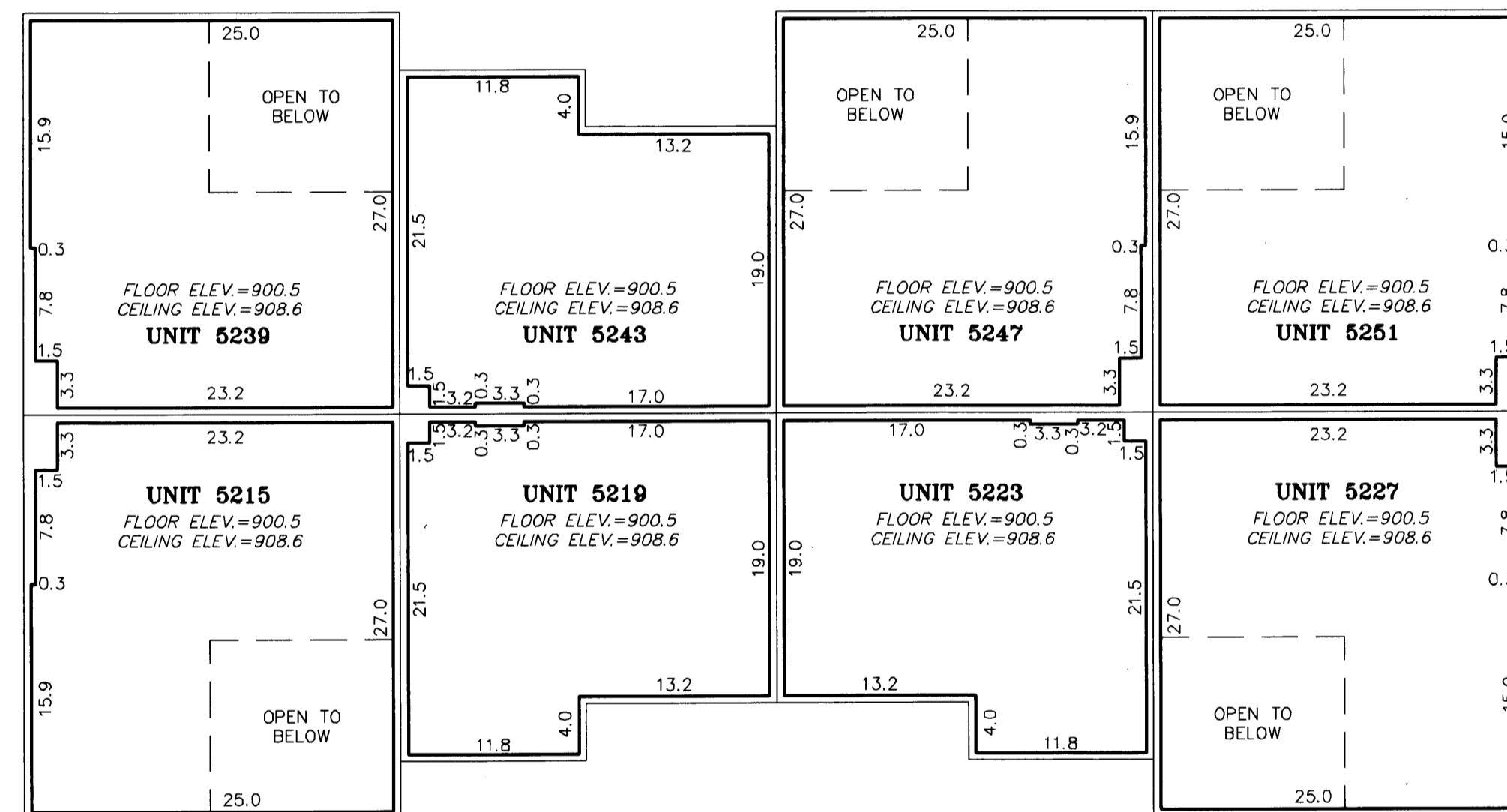
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F.P. DENOTES FIREPLACE, A LIMITED COMMON ELEMENT ASSIGNED TO ADJOINING UNIT



THIRD FLOOR

