

OFFICIAL PLAT

COMMON INTEREST COMMUNITY NUMBER 129 BIRCH HILL LODGES, A CONDOMINIUM SIXTH SUPPLEMENTAL CIC PLAT

348 CIC p. 5

This Sixth Supplemental Condominium Plat is part of the Declaration recorded as Document No. _____ on this _____ day of _____, 2004. CIC Book _____ page _____

CITY OF RAMSEY
COUNTY OF ANOKA
SEC. 25, T. 32, R. 25

I Harold C. Peterson do hereby certify that the work was undertaken by or reviewed and approved by me for this SIXTH SUPPLEMENTAL CIC PLAT OF COMMON INTEREST COMMUNITY NUMBER 129, BIRCH HILL LODGES, A CONDOMINIUM being located upon:

Lot 2, Block 1, BIRCH HILL LODGES, according to the plat of record thereof, Anoka County, Minnesota.

and the additional real estate described as:

Lot 1, Block 1, BIRCH HILL LODGES, according to the plat of record thereof, Anoka County, Minnesota.

fully and accurately depicts all information required by Minnesota Statutes, Section 515B.2-110.

Dated this 23rd day of November, 2004.

Harold C. Peterson

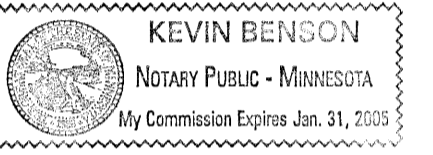
Harold C. Peterson, Land Surveyor
Minnesota License No. 12294

STATE OF MINNESOTA
COUNTY OF Anoka

The foregoing instrument was acknowledged before me this 23rd day of November, 2004 by Harold C. Peterson, a Licensed Surveyor.

Kevin Benson

Kevin Benson
Notary Public - Minnesota
My Commission Expires January 31, 2005



I, Troy D. Livgard pursuant to Minnesota Statutes, Section 515B.2-101, Subd. C, do hereby certify that all structural components and mechanical systems of all buildings containing or comprising any units thereby created, are substantially completed.

Dated this 23rd day of November, 2004.

Troy D. Livgard

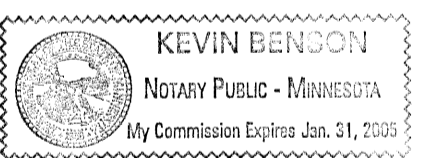
Troy D. Livgard, Registered Engineer.
Minnesota Registration No. 42749

STATE OF MINNESOTA
COUNTY OF Anoka

The foregoing instrument was acknowledged before me this 23rd day of November, 2004 by Troy D. Livgard, a Registered Engineer.

Kevin Benson

Kevin Benson
Notary Public - Minnesota
My Commission Expires January 31, 2005



Checked and approved this 24th day of Feb., 2005

Tary D. Doherty
Anoka County Surveyor

SITE PLAN

FOR THE PURPOSES OF THIS CIC PLAT THE NORTH LINE OF LOT 1, BLOCK 1, BIRCH HILL LODGES IS ASSUMED TO BEAR S 89°46'25" E

SEE SHEET 2 OF 4 SHEETS FOR BUILDING LOCATION AND SITE IMPROVEMENTS.

BENCH MARK:

TOP NUT OF HYDRANT SOUTHWEST OF LOT 1, BLOCK 2, BIRCH HILL LODGES.
ELEVATION = 877.51 FEET (N.G.V.D.-1929)

● DENOTES 1/2 INCH x 14 INCH IRON PIPE FOUND AND MARKED BY R.L.S. NO. 12294.

—△—△— DENOTES RIGHT OF ACCESS DEDICATED TO THE STATE OF MINNESOTA AS SHOWN ON THE PLAT OF BIRCH HILL LODGES

\$415.00

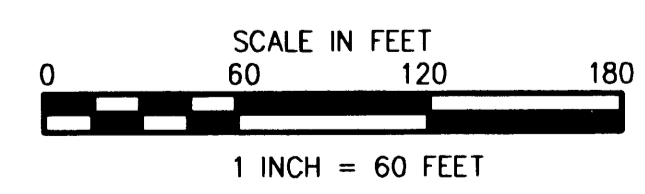
JAMES R. HILL, INC.

SHEET 1 OF 4 SHEETS



481891.002 Torrens
STATE OF MINNESOTA
COUNTY OF ANOKA
I HEREBY CERTIFY THAT THE CURRENT AND DELINQUENT TAXES ON THE LOTS DESCRIBED WITHIN ARE PAID AND THE TRANSFER IS ENTERED IN THE PUBLIC RECORDS.
DATE: 2/23/05
By: *TAD*
Deputy Registrar of Titles

I HEREBY CERTIFY THAT THE CURRENT AND DELINQUENT TAXES ON THE LOTS DESCRIBED WITHIN ARE PAID AND THE TRANSFER IS ENTERED IN THE PUBLIC RECORDS.
DATE: 2/23/05
By: *Stelmu*
DEPUTY REGISTER OF TITLES



COMMON INTEREST COMMUNITY NUMBER 129

BIRCH HILL LODGES, A CONDOMINIUM SIXTH SUPPLEMENTAL CIC PLAT

BK 4 - ACIL P. 5

CITY OF RAMSEY
COUNTY OF ANOKA
SEC. 25, T. 32, R. 25

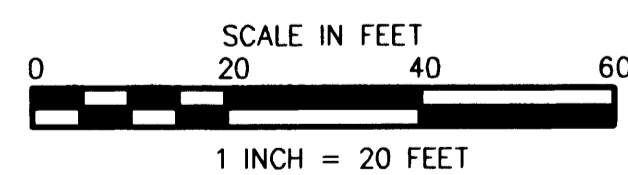
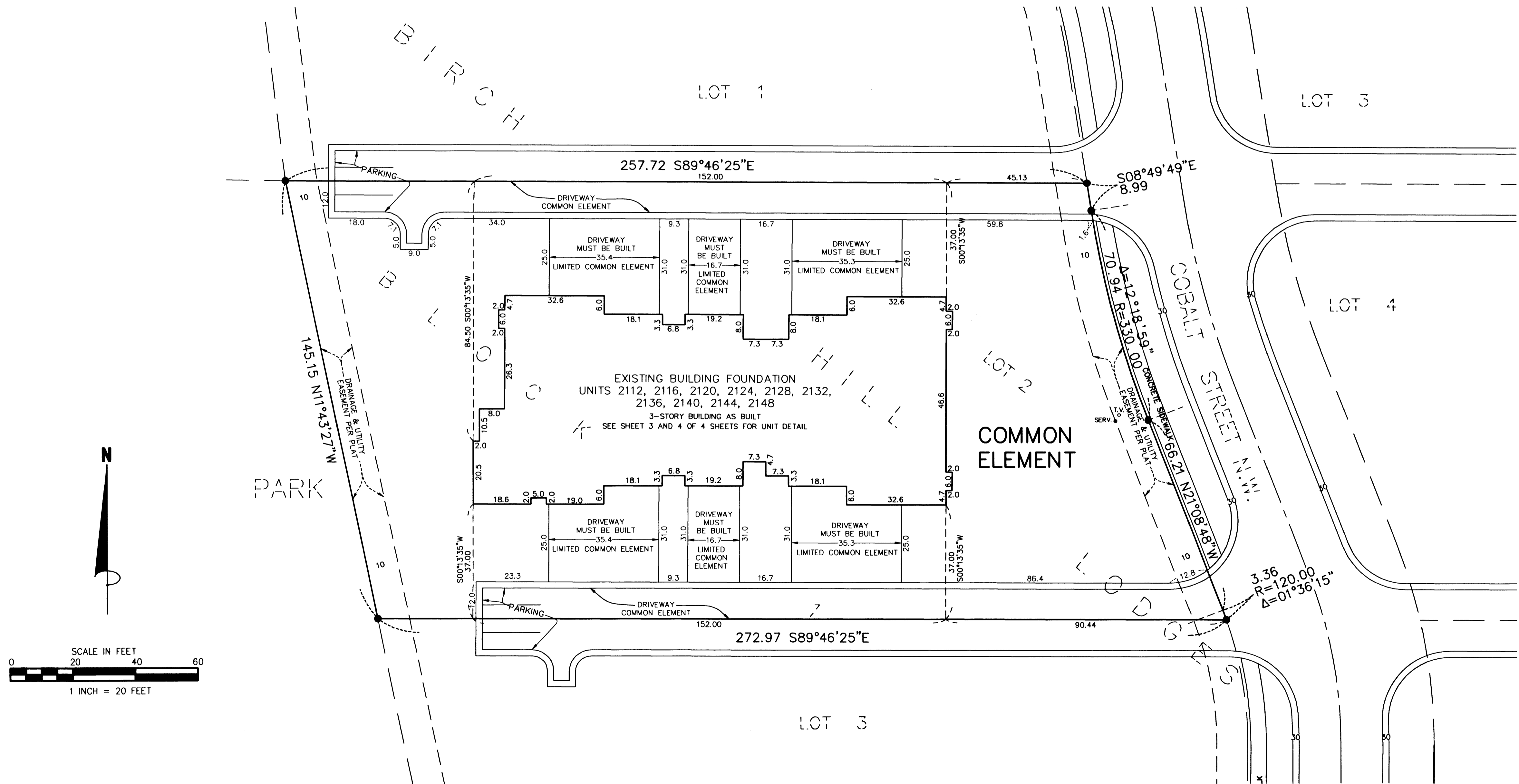
SITE PLAN
(AS BUILT)

SEE SHEET 1 OF 4 SHEETS FOR LOCATION OF BENCH MARK

- DENOTES 1/2 INCH X 14 INCH IRON PIPE FOUND AND MARKED BY R.L.S. NO. 12294.

SEE SHEETS 3 AND 4 OF 4 SHEETS FOR UNIT DIMENSIONS

FOR THE PURPOSES OF THIS CIC PLAT THE NORTH LINE
OF LOT 1, BLOCK 1, BIRCH HILL LODGES IS ASSUMED TO
BEAR S 89°46'25" E



COMMON INTEREST COMMUNITY NUMBER 129

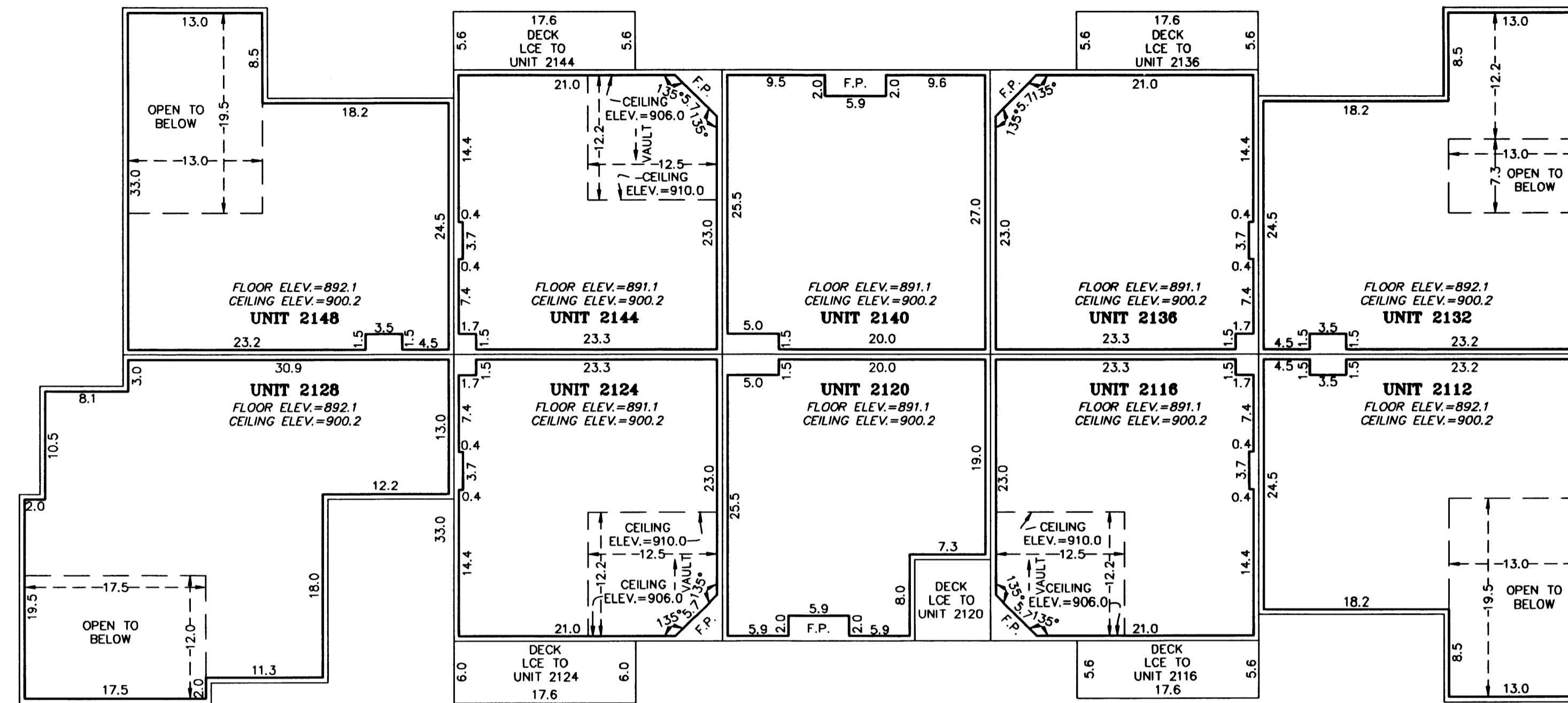
BIRCH HILL LODGES, A CONDOMINIUM

SIXTH SUPPLEMENTAL CIC PLAT

BK 7 P.C.L.P. 5

C.R. DOC. NO.

CITY OF RAMSEY
COUNTY OF ANOKA
SEC. 25, T. 32, R. 25



FLOOR PLAN

DECKS, PATIOS AND SIDEWALKS ARE LIMITED COMMON ELEMENTS - MUST BE BUILT

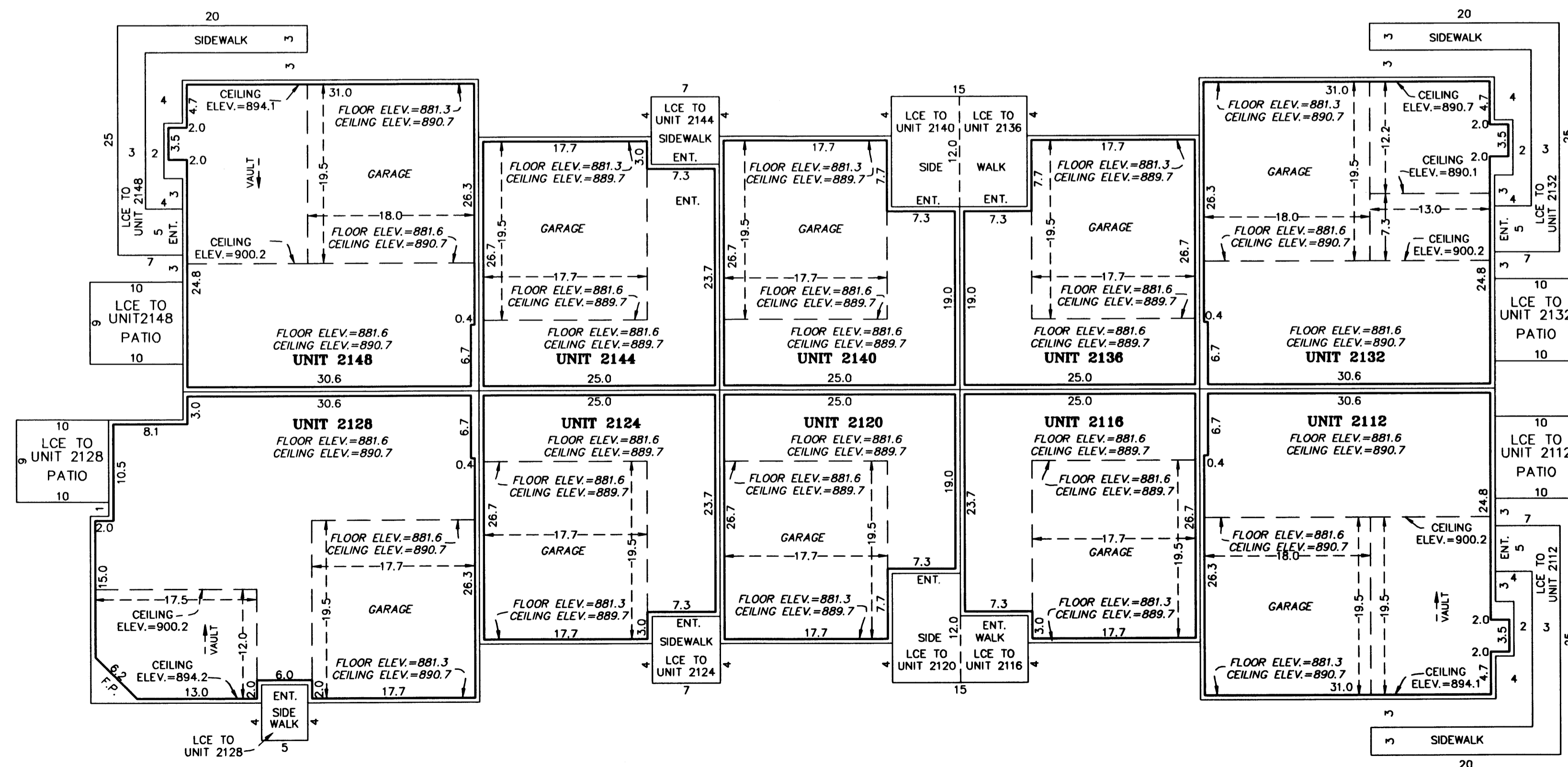
LCE = LIMITED COMMON ELEMENT

ELEVATIONS ARE REFERRED TO A BENCHMARK AS NOTED ON SHEET 1 OF 4 SHEETS AND ARE SHOWN IN FEET AND TENTHS OF A FOOT

INTERIOR DIMENSIONS SHOWN ARE TO UNFINISHED PERIMETER WALLS, FLOORS AND CEILINGS

F.P. DENOTES FIREPLACE, A LIMITED COMMON ELEMENT ASSIGNED TO ADJOINING UNIT

SECOND FLOOR



FIRST FLOOR

COMMON INTEREST COMMUNITY NUMBER 129

BIRCH HILL LODGES, A CONDOMINIUM
SIXTH SUPPLEMENTAL CIC PLAT

6 of 8 of CIC PD-5

C.R. DOC. NO.

CITY OF RAMSEY
COUNTY OF ANOKA
SEC. 25, T. 32, R. 25

FLOOR PLAN

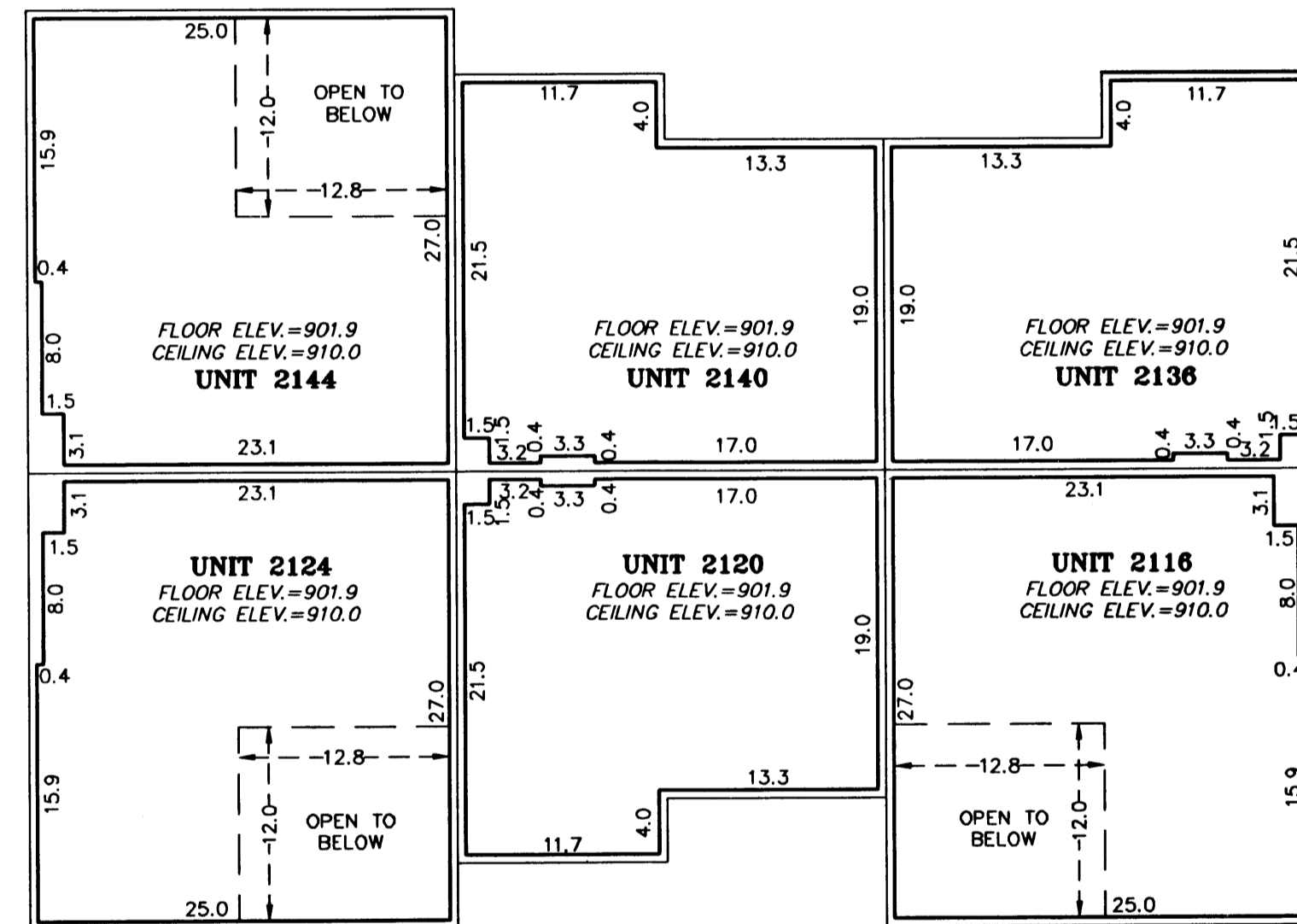
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F.P. DENOTES FIREPLACE, A LIMITED COMMON ELEMENT ASSIGNED TO ADJOINING UNIT



THIRD FLOOR

