This Sixth Supplemental Condominium Plat is part of the Declaration recorded as Document COMMON INTEREST COMMUNITY NUMBER 129 OFFICIAL PLAT No. _____ on this ___ day of ________ 2004.
CIC Book ___ page ___ 344. CIC 13.5 BIRCH HILL LODGES, A CONDOMINIUM SIXTH SUPPLEMENTAL CIC PLAT CITY OF RAMSEY COUNTY OF ANOKA SEC. 25, T. 32, R. 25 I Harold C. Peterson do hereby certify that the work was undertaken by or reviewed and approved by me for this SIXTH SUPPLEMENTAL CIC PLAT of COMMON INTEREST COMMUNITY NUMBER 129, BIRCH HILL LODGES, A CONDOMINIUM being located upon: Lot 2, Block 1, BIRCH HILL LODGES, according to the plat of record thereof, Anoka County, Minnesota. and the additional real estate described as: Lot 1, Block 1, BIRCH HILL LODGES, according to the plat of record thereof, Anoka County, Minnesota. fully and accurately depicts all information required by Minnesota Statutes, Section 515B.2-110. Dated this 23'd day of Wovember, 2004. 374.90 S89°46'25"E 306.57 DRAINAGE AND UTILITY 8147TH CIR. N.W. -EASEMENT PER PLAT -STATE OF MINNESOTA
COUNTY OF _AAOK2 The foregoing instrument was acknowledged before me this 23dday of November, 2004 by Harold C. Peterson, a Licensed Surveyor. KEVIN BENSON NOTARY PUBLIC - MINNESOTA Kevin Benson

Notary Public Carver County, Minnesota My Commission Expires Jan. 31, 200 DRAINAGE AND UTILITY EASEMENT I, Troy D. Livgard pursuant to Minnesota Statutes, Section 515B.2-101, Subd. C, do hereby certify that all structural components and mechanical systems of all buildings containing or comprising any units thereby created, are substantially NORTH LINE OF LOT 1, BLOCK 1, BIRCH HILL LODGES Dated this 232 day of November, 2004 DRAINAGE AND UTILITY / EASEMENT PER PLAT-----OF BIRCH HILL LODGES Troy D. Livgard, Registered Enginee OUTLOT ates in this ocios on 2/23/06

at 1 o'clock 24 M STATE OF MINNESOTA COUNTY OF 140 K2 The foregoing instrument was acknowledged before me this 232 day of November, 2004 by Troy D. Livgard, a Registered Engineer. SECOND SUPPLEMENTAL ADDITIONAL REAL ESTATE KEVIN BENSON NOTARY PUBLIC - MINNESOTA Notary Public Carver County, Minnesota My Commission Expires January 31, 2005 My Commission Expires Jan. 31, 2000 S89°46'25"E I HEREBY CREEKE THAT THE CURRENT AND DELINQUENT TAKES ON THE LANCE DESCRIBED SEE SHEET 2 OF 4 SHEETS FOR BUILDING LOCATION AND SITE DEPUTY PROPERTY TAX ADMINISTRATOR IMPROVEMENTS SITE PLAN $\Delta = 08^{\circ}20'30''$ S89°46'25"E S89°46'25"E FOR THE PURPOSES OF THIS CIC PLAT THE NORTH LINE OF LOT 1, BLOCK 1, BIRCH HILL LODGES IS $\Delta = 13^{\circ}01'53''$ ASSUMED TO BEAR S 89°46'25" E PARK SEE SHEET 2 OF 4 SHEETS FOR BUILDING LOCATION AND SITE IMPROVEMENTS. BENCH MARK: TOP NUT OF HYDRANT SOUTHWEST OF LOT 1, BLOCK 2, BIRCH HILL LODGES. ELEVATION = 877.51 FEET (N.G.V.D.-1929) DRAINAGE AND UTILITY EASEMENT PER PLAT OF BIRCH HILL LODGES _DRAINAGE AND UTILITY EASEMENT مرابعة PER PLAT OF BIRCH HILL LODGES SCALE IN FEET • DENOTES 1/2 INCH x 14 INCH IRON PIPE FOUND AND MARKED BY R.L.S. NO. 12294. 243.22 N89°46'25"W 1 INCH = 60 FEET DENOTES RIGHT OF ACCESS DEDICATED TO THE STATE OF MINNESOTA AS SHOWN ON THE PLAT OF BIRCH HILL LODGES 4415.00

JAMES R. HILL, INC.

OFFICIAL PLAT COMMON INTEREST COMMUNITY NUMBER 129

BIRCH HILL LODGES, A CONDOMINIUM SIXTH SUPPLEMENTAL CIC PLAT

BK4 PCIC +5.5

C.R. DOC. NO.

CITY OF RAMSEY COUNTY OF ANOKA SEC. 25, T. 32, R. 25

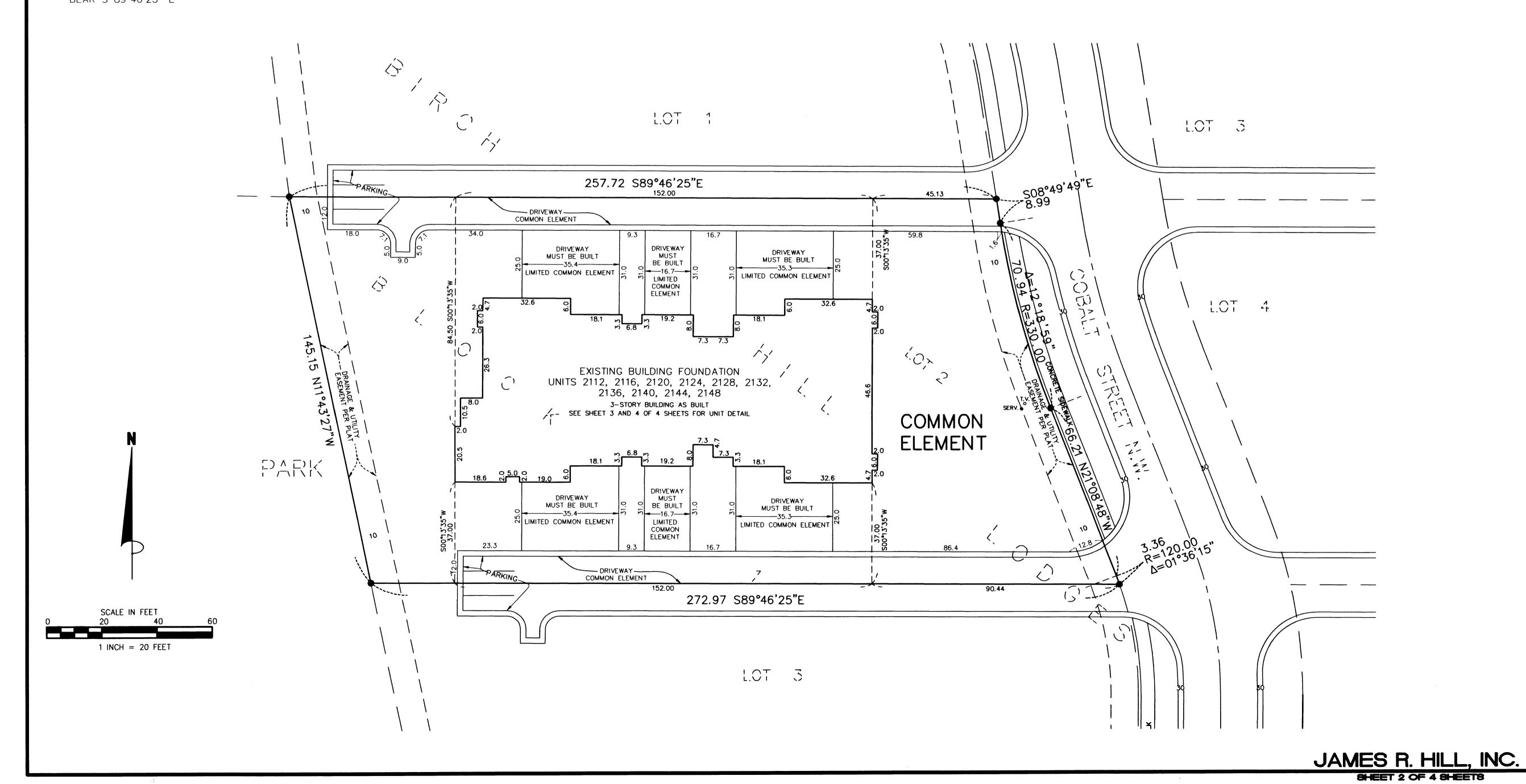
SITE PLAN (AS BUILT)

SEE SHEET 1 OF 4 SHEETS FOR LOCATION OF BENCH MARK

● DENOTES 1/2 INCH X 14 INCH IRON PIPE FOUND AND MARKED BY R.L.S. NO. 12294.

SEE SHEETS 3 AND 4 OF 4 SHEETS FOR UNIT DIMENSIONS

FOR THE PURPOSES OF THIS CIC PLAT THE NORTH LINE OF LOT 1, BLOCK 1, BIRCH HILL LODGES IS ASSUMED TO BEAR S 89°46'25" E



COMMON INTEREST COMMUNITY NUMBER 129 OFFICIAL PLAT C.R. DOC. NO. BKT .ACIC PS. 5 BIRCH HILL LODGES, A CONDOMINIUM SIXTH SUPPLEMENTAL CIC PLAT CITY OF RAMSEY COUNTY OF ANOKA SEC. 25, T. 32, R. 25 DECK LCE TO DECK LCE TO **UNIT 2136** O F.P. O 21.0 ELEV.=906.0 BELOW -13.0- ---- -13.0- - - FLOOR PLAN DELOW NO O DECKS, PATIOS AND SIDEWALKS ARE LIMITED COMMON ELEMENTS - MUST BE BUILT LCE = LIMITED COMMON ELEMENT FLOOR ELEV.=891.1 FLOOR ELEV.=891.1 FLOOR ELEV.=891.1 FLOOR ELEV.=892.1 FLOOR ELEV.=892.1 CEILING ELEV. = 900.2 ELEVATIONS ARE REFERRED TO A BENCHMARK AS NOTED UNIT 2144 UNIT 2140 **UNIT 2136** UNIT 2132 UNIT 2148 ON SHEET 1 OF 4 SHEETS AND ARE SHOWN IN FEET AND 23.3 23.3 TENTHS OF A FOOT UNIT 2112 UNIT 2128 **UNIT 2124 UNIT 2120** UNIT 2116 INTERIOR DIMENSIONS SHOWN ARE TO UNFINISHED FLOOR ELEV.=892.1 FLOOR ELEV.=891.1 FLOOR ELEV.=891.1 FLOOR ELEV. = 891.1 FLOOR ELEV.=892.1 PERIMETER WALLS, FLOORS AND CEILINGS CEILING ELEV. = 900.2 CEILING ELEV. = 900.2 CEILING ELEV.=900.2 CEILING ELEV.=900.2 CEILING ELEV. = 900.2 F.P. DENOTES FIREPLACE, A LIMITED COMMON ELEMENT ASSIGNED TO ADJOINING UNIT CEILING CEILING ELEV.=910.0 | | ELEV.=910.0-- - 13.0- -CEILING S DECK LCE TO UNIT 2120 ب OPEN TO DECK LCE TO DECK LCE TO UNIT 2116 UNIT 2124 17.5 17.6 SECOND FLOOR

LCE TO | LCE TO

7.3

ENT.

WALK

SIDE =

LCE TO LCE TO UNIT 2116

FLOOR ELEV. = 881.3

CEILING ELEV.=889.7

GARAGE

FLOOR ELEV.=881.6

FLOOR ELEV. = 881.6

CEILING ELEV.=889.7

UNIT 2136

UNIT 2116

FLOOR ELEV.=881.6 CEILING ELEV.=889.7

FLOOR ELEV. = 881.6

CEILING ELEV.=889.7

GARAGE

FLOOR ELEV. = 881.3

CEILING ELEV. = 889.7

17.7

CEILING ELEV. = 889.7

UNIT 2140 UNIT 2136

SIDEWALK

ELEV.=900.2

LCE TO UNIT2148

PATIO

· — — — -17.5— — -

ELEV.=900.2

CEILING

ELEV.=894.2-

13.0

LCE TO UNIT 2128

SIDE WALK

LCE TO JUNIT 2128

PATIO

CEILING 31.0 ELEV.=894.1 FLO

FLOOR ELEV.=881.3~

CEILING ELEV.=890.7

GARAGE

FLOOR ELEV.=881.6

CEILING ELEV.=890.7

FLOOR ELEV.=881.6 _ CEILING ELEV.=890.7

--| -- -- -- 17.7-- -- -- -

GARAGE

FLOOR ELEV.=881.3

CEILING ELEV. = 890.7

17.7

FLOOR ELEV.=881.6

CEILING ELEV. = 890.7

UNIT 2148

UNIT 2128

FLOOR ELEV.=881.6

CEILING ELEV.=890.7

LCE TO UNIT 2144

SIDEWALK ENT.

ENT.

LCE TO UNIT 2124

| FLOOR ELEV.=881.3

CEILING ELEV.=889.7

GARAGE

FLOOR ELEV. = 881.6 _

FLOOR ELEV.=881.6 CEILING ELEV.=889.7

UNIT 2140

25.0

UNIT 2120

FLOOR ELEV.=881.6 CEILING ELEV.=889.7

FLOOR ELEV.=881.6

CEILING ELEV.=889.7

GARAGE

FLOOR ELEV.=881.3 CEILING ELEV.=889.7

CEILING ELEV. = 889.7

FLOOR ELEV.=881.3_

CEILING ELEV.=889.7

GARAGE

FLOOR ELEV.=881.6

CEILING ELEV. = 889.7

FLOOR ELEV. = 881.6

CEILING ELEV. = 889.7

GARAGE

FLOOR ELEV. = 881.3

CEILING ELEV.=889.7

17.7

FLOOR ELEV.=881.6

CEILING ELEV.=889.7

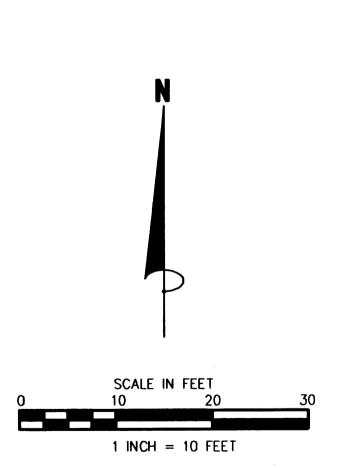
UNIT 2144

25.0

UNIT 2124

FLOOR ELEV.=881.6

CEILING ELEV.=889.7



FIRST FLOOR

20 SIDEWALK

~ELEV.=890.1

ELEV. = 900.

CEILING

890.7 CEILING ELEV.=894.1

ELEV.=900.2

SIDEWALK

LCE TO UNIT 2132 _o

PATIO

LCE TO UNIT 2112 o

PATIO

31.0 CEILING FLOOR ELEV.=881.3 ELEV.=890.7

FLOOR ELEV.=881.6

CEILING ELEV.=890.7

UNIT 2132

UNIT 2112

FLOOR ELEV.=881.6

CEILING ELEV.=890.7

FLOOR ELEV.=881.6 CEILING ELEV.=890.7

GARAGE

FLOOR ELEV.=881.3

CEILING ELEV.=890.7

CEILING ELEV. =890.7

GARAGE

FLOOR ELEV. = 881.6

CEILING ELEV. =890.7

JAMES R. HILL, INC. SHEET 3 OF 4 SHEETS

OFFICIAL PLAT

COMMON INTEREST COMMUNITY NUMBER 129 BIRCH HILL LODGES, A CONDOMINIUM SIXTH SUPPLEMENTAL CIC PLAT

C.R. DOC. NO.

CITY OF RAMSEY COUNTY OF ANOKA SEC. 25, T. 32, R. 25

FLOOR PLAN

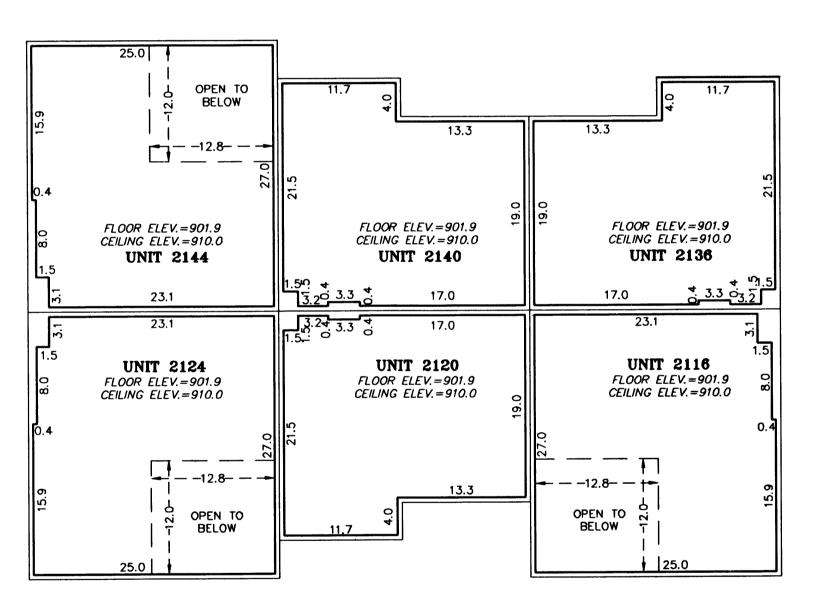
DECKS, PATIOS AND SIDEWALKS ARE LIMITED COMMON ELEMENTS — MUST BE BUILT

LCE = LIMITED COMMON ELEMENT

ELEVATIONS ARE REFERRED TO A BENCHMARK AS NOTED ON SHEET 1 OF 4 SHEETS AND ARE SHOWN IN FEET AND TENTHS OF A FOOT

INTERIOR DIMENSIONS SHOWN ARE TO UNFINISHED PERIMETER WALLS, FLOORS AND CEILINGS

F.P. DENOTES FIREPLACE, A LIMITED COMMON ELEMENT ASSIGNED TO ADJOINING UNIT



THIRD FLOOR

