

I, Terrence E. Rothenbacher, hereby certify that the work was undertaken by or reviewed and approved by me for this THIRTEENTH SUPPLEMENTAL CIC Plat of CIC Number 141, WATERFORD PLACE, A CONDOMINIUM, being located upon

Lots 5 and 11, Block 1, CLUB WEST TENTH ADDITION, Anoka County, Minnesota,

and the additional real estate is located upon the following described property designated as:

Lots 16 through 21, inclusive, Block 1, CLUB WEST NINTH ADDITION, Anoka County, Minnesota, and Lot 1, and Lot 6, Block 1, CLUB WEST TENTH ADDITION, Anoka County, Minnesota,

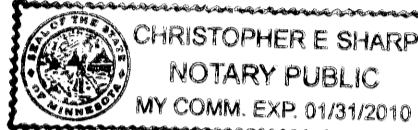
and that this CIC Plat fully and accurately depicts all information required by Minnesota Statutes, Section 515B.2-110.

Dated this 21st day of September 2005.

Terrence E. Rothenbacher, Land Surveyor
Minnesota License No. 20595

STATE OF MINNESOTA
COUNTY OF ANOKA

The foregoing certificate was acknowledged before me this 21st day of September 2005, by Terrence E. Rothenbacher, a Licensed Professional Land Surveyor.



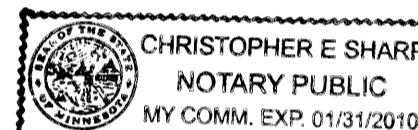
Notary Public, Anoka County, Minnesota
My Commission Expires January 31, 2010

I, Bryan J. Krystofiak pursuant to Minnesota Statutes, Section 515B.2-101(c), do hereby certify that all the units and all structural components and mechanical systems of all buildings containing or comprising any units hereby created, are substantially completed.

Dated this 21st day of September 2005.

STATE OF MINNESOTA
COUNTY OF ANOKA

The foregoing certificate was acknowledged before me this 21st day of September 2005, by Bryan J. Krystofiak, a Registered Professional Engineer.

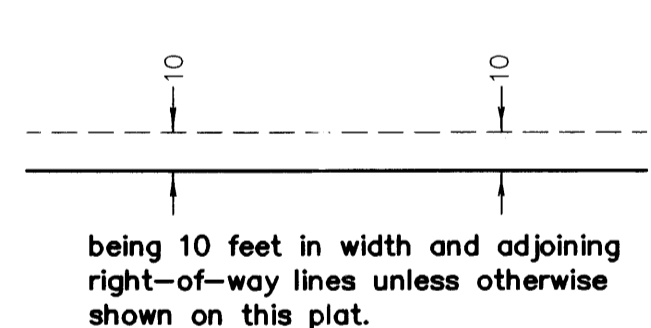


Registered Professional Engineer
Minnesota Registration No. 25063

Checked and approved this 23rd day of SEPTEMBER 2005.

Anoka County Surveyor

DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)



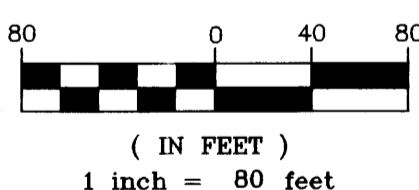
- Denotes Restricted Right of Access as dedicated in the plat of CLUB WEST
- Denotes 1/2 inch by 14 inch iron monument set and marked with license number 20595
- Denotes found monument

BENCH MARK

Top nut hydrant ± 400' (FT.) West of Intersection of 113th Avenue NE. & Arnold Palmer Drive on North side of Street.
Elevation= 905.59 (NGVD 1929)

For the purposes of this plat, the south line of Lot 1, Block 1, CLUB WEST TENTH ADDITION is assumed to have a bearing of North 89°49'20" East.

GRAPHIC SCALE



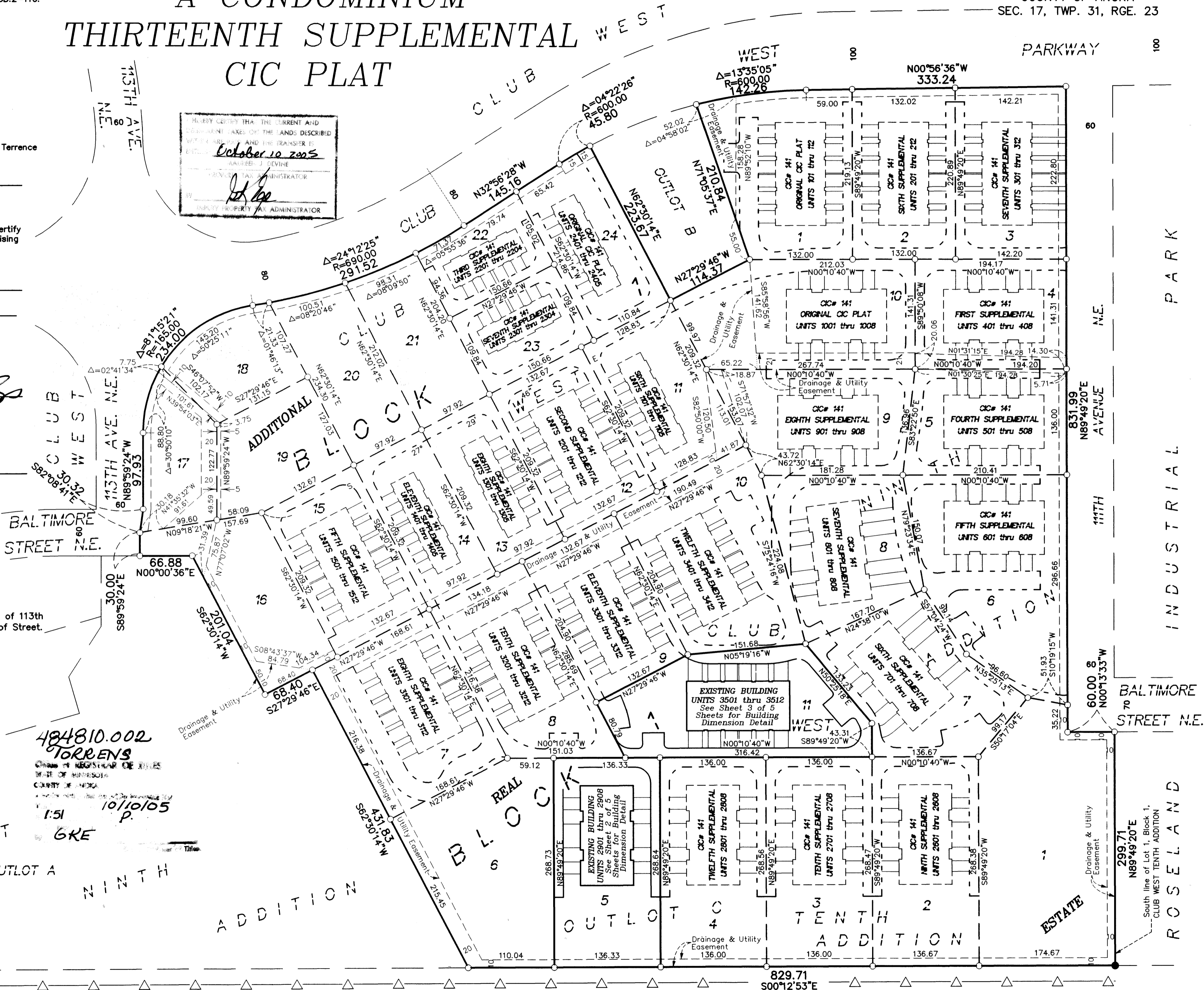
CLUB WEST TENTH ADDITION

CIC NUMBER 141 WATERFORD PLACE A CONDOMINIUM THIRTEENTH SUPPLEMENTAL CIC PLAT

OFFICIAL PLAT
BK8 OF CIC PG39

This THIRTEENTH SUPPLEMENTAL CIC PLAT is part of the THIRTEENTH Declaration filed as Document No. 484810.002 on this 10th day of OCTOBER 2005.

ANOKA COUNTY RECORDER
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23



484810.002
TORRENS
1:51
10/10/05
P. GRE

OFFICIAL PLAT

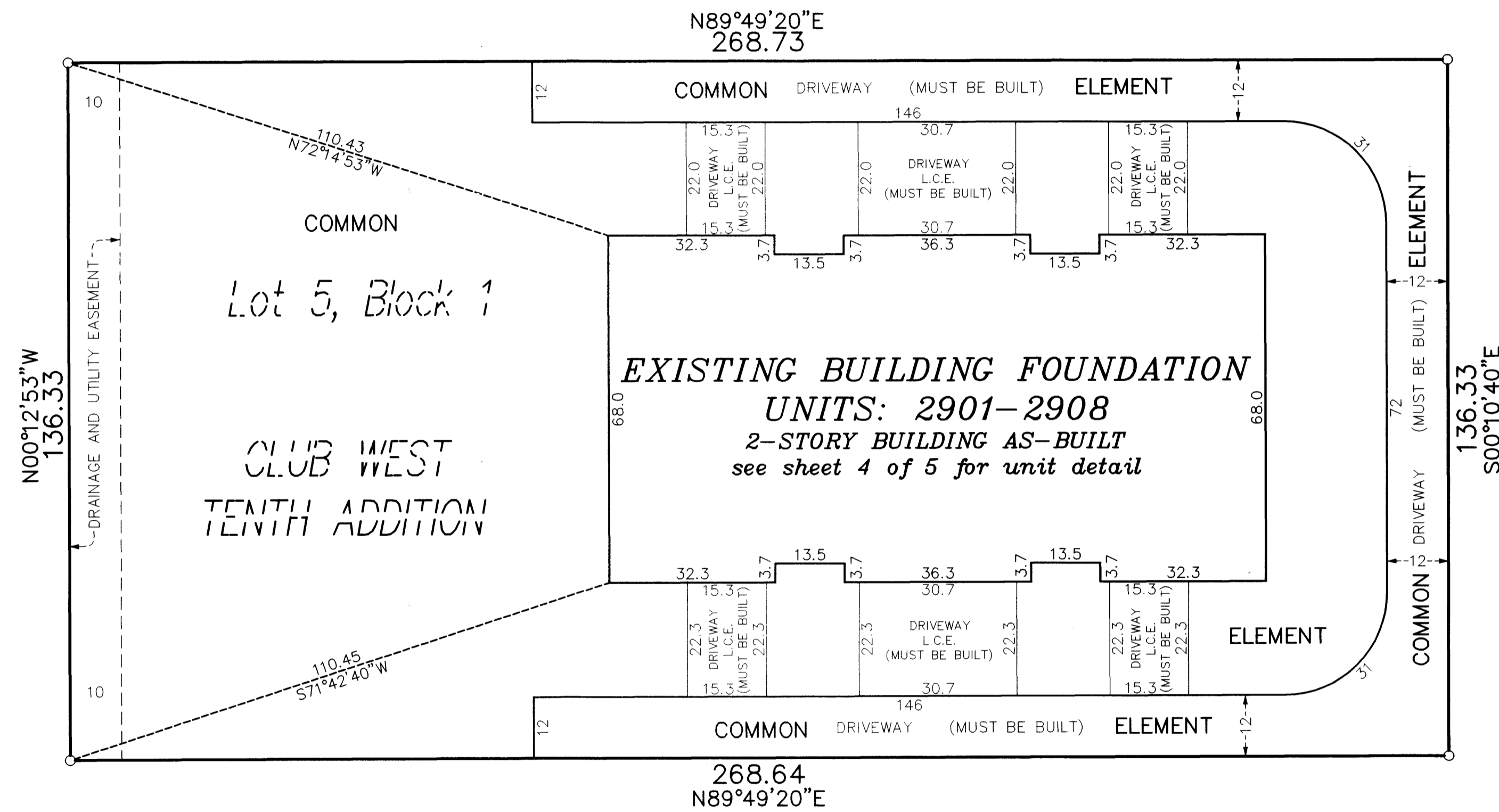
SITE PLAN
(AS-BUILT)

CIC NUMBER 141
WATERFORD PLACE
A CONDOMINIUM
THIRTEENTH SUPPLEMENTAL
CIC PLAT

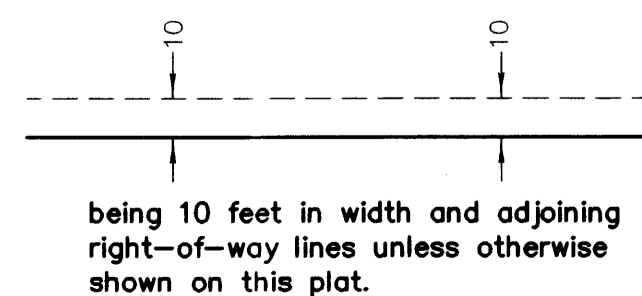
BKB OF CIC PG 39

C.R. DOC. NO. _____

CITY OF BLAINE
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23

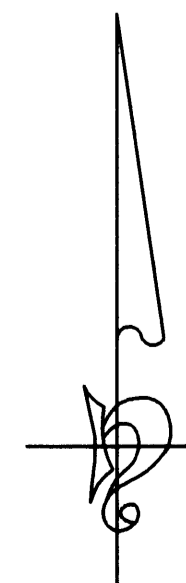


DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)

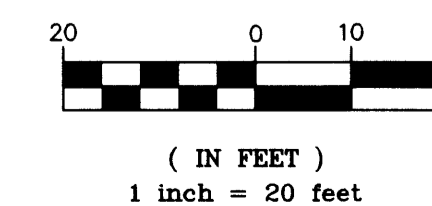


○ Denotes 1/2 inch by 14 inch iron monument
set and marked with license number 20595

For the purposes of this plat, the south
line of Lot 1, Block 1, CLUB WEST TENTH
ADDITION is assumed to have a bearing
of North 89°49'20" East.



GRAPHIC SCALE



PIONEERengineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

UNIT DETAIL
(AS-BUILT)

OFFICIAL PLAT

CIC NUMBER 141

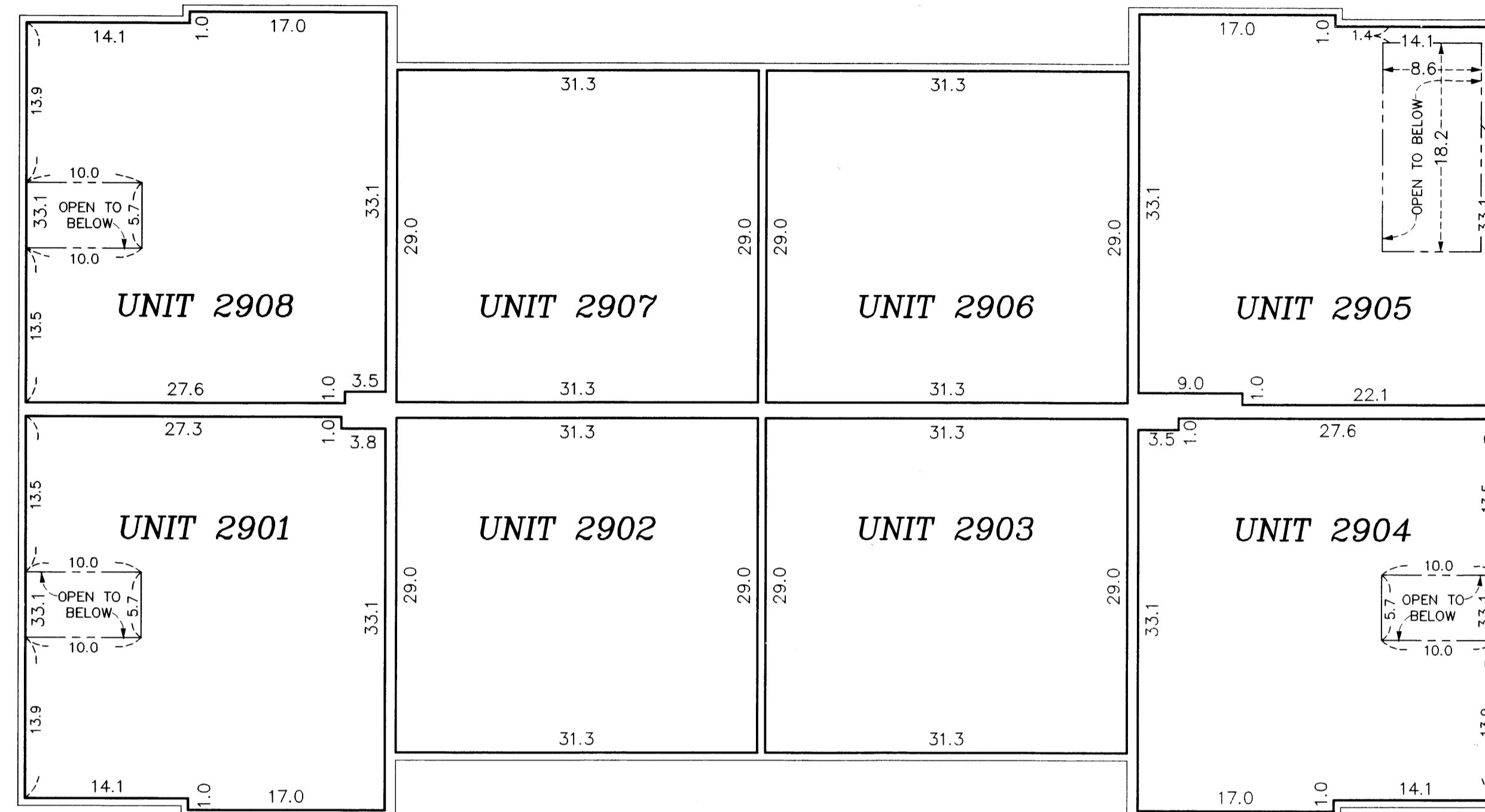
BK8 of CIC PG39

CR DOC. NO. _____

WATERFORD PLACE
A CONDOMINIUM
THIRTEENTH SUPPLEMENTAL CIC PLAT

CITY OF BLAINE
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23

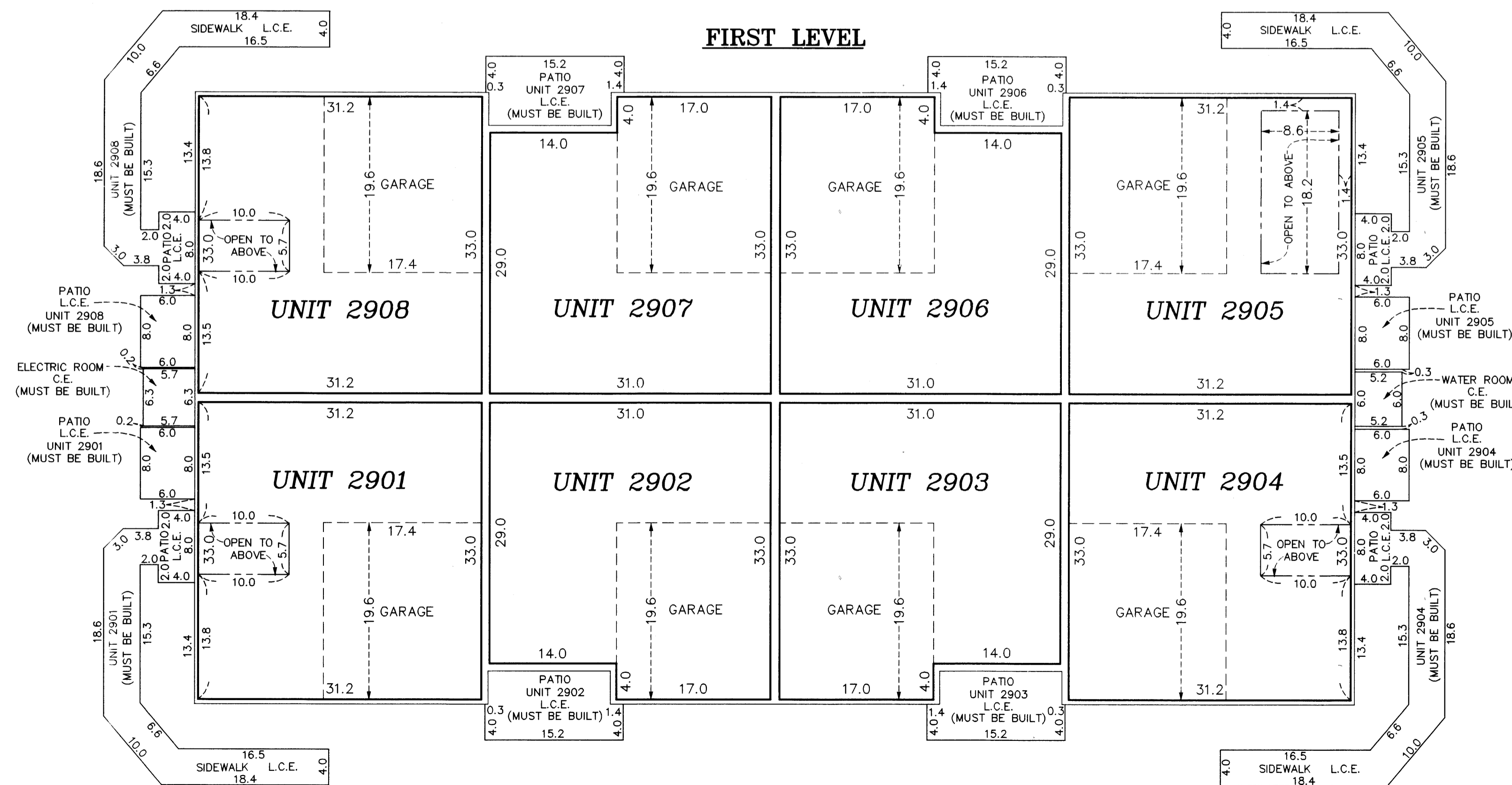
SECOND LEVEL



First Level Elevations

All units garage floor elevation at door = 899.4 feet
 All units garage floor elevation in back of garage = 899.7 feet
 All units garage ceiling elevations = 909.2 feet
 All Units first level floor elevations = 900.1 feet
 Units 2901, 2904, 2905, and 2908 first level ceiling elevation varies from 909.2 feet to 918.6 feet
 Units 2902, 2903, 2906, and 2907 first level ceiling elevations = 909.2 feet

FIRST LEVEL



Second Level Elevations

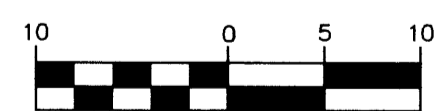
All units second level floor elevation = 910.5 feet
 All units second level ceiling elevations = 918.6 feet

Elevations are referred to a benchmark as noted on the site plan on Sheet 1 of 5 Sheets and are shown in feet and tenths of a foot.

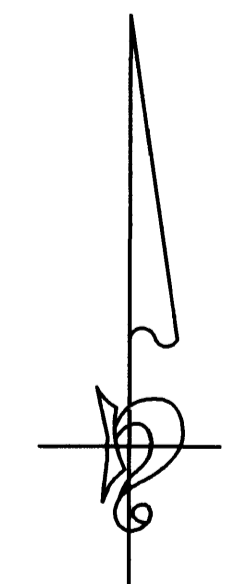
L.C.E. = Limited Common Element
 C.E. = Common Element

Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.

GRAPHIC SCALE



(IN FEET)
 1 inch = 10 feet



UNIT DETAIL
(AS-BUILT)

OFFICIAL PLAT

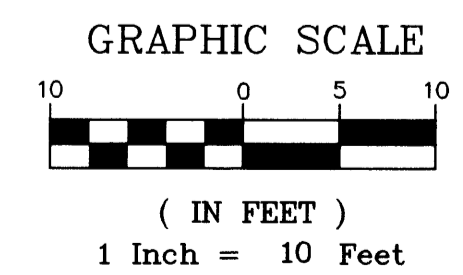
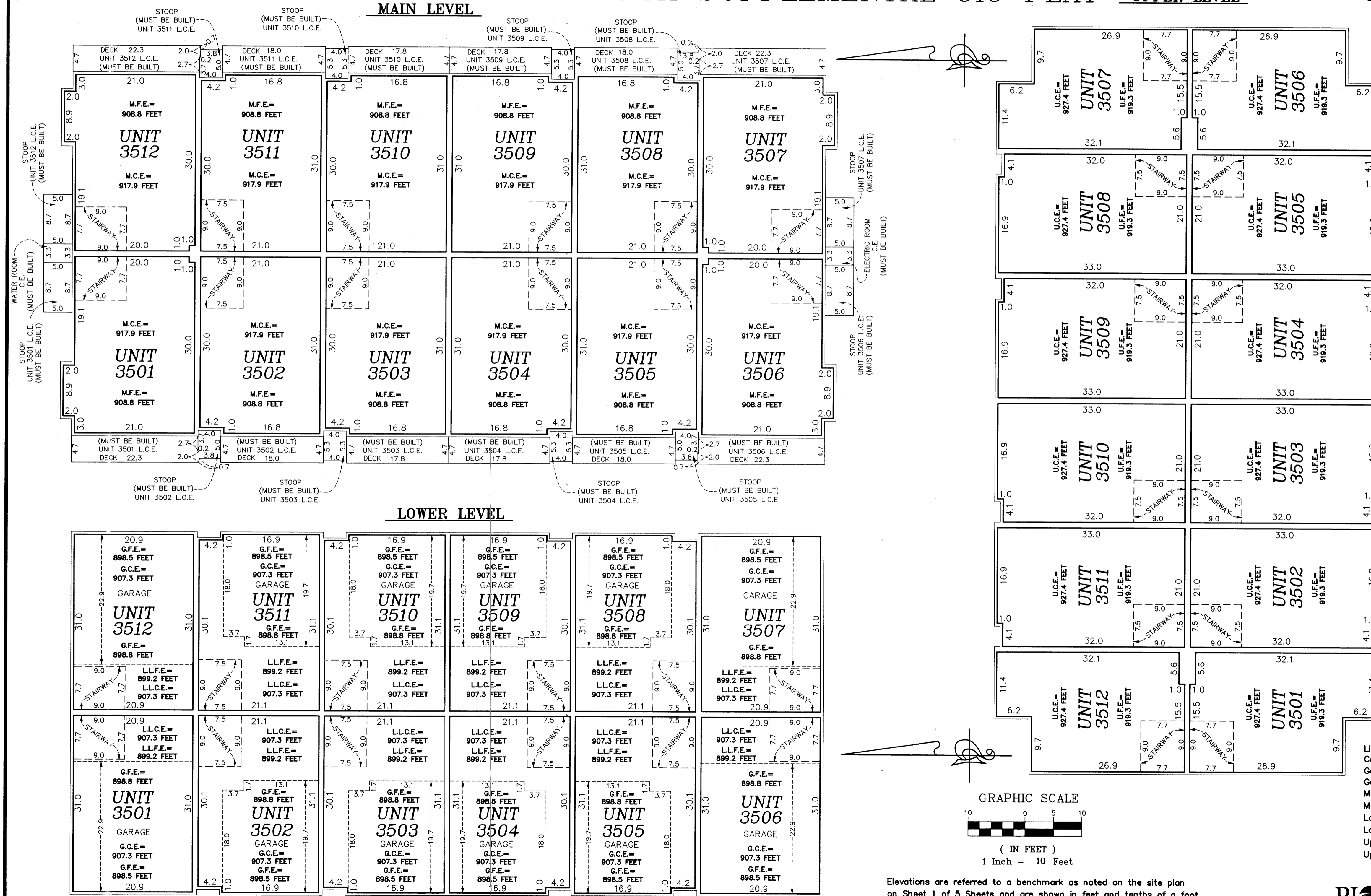
CIC NUMBER 141
WATERFORD PLACE
A CONDOMINIUM

BKBof CIC #139

C.R. DOC. NO. _____

CITY OF BLAINE
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23

THIRTEENTH SUPPLEMENTAL CIC PLAT UPPER LEVEL



Elevations are referred to a benchmark as noted on the site plan on Sheet 1 of 5 Sheets and are shown in feet and tenths of a foot.
Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.

Limited Common Element = L.C.E.
Common Element = C.E.
Garage Floor Elevation = G.F.E.
Garage Ceiling Elevation = G.C.E.
Main Floor Elevation = M.F.E.
Main Ceiling Elevation = M.C.E.
Lower Level Floor Elevation = L.L.F.E.
Lower Level Ceiling Elevation = L.L.C.E.
Upper Level Floor Elevation = U.F.E.
Upper Level Ceiling Elevation = U.C.E.