

OFFICIAL PLAT

I, Terrence E. Rothenbacher, hereby certify that the work was undertaken by or reviewed and approved by me for this SEVENTH SUPPLEMENTAL CIC Plat of CIC Number 141, WATERFORD PLACE, A CONDOMINIUM, being located upon

Lots 3, 8, and 23, Block 1, CLUB WEST NINTH ADDITION, Anoka County, Minnesota, and the additional real estate is located upon the following described property designated as: Lot 9, Block 1; Lots 13 and 14, Block 1; Lots 16 through 21, inclusive, Block 1; CLUB WEST NINTH ADDITION, Anoka County, Minnesota, and Lots 1 through 11, inclusive, Block 1, CLUB WEST TENTH ADDITION, Anoka County, Minnesota,

and that this CIC Plat fully and accurately depicts all information required by Minnesota Statutes, Section 515B.2-110.

Dated this 6th day of October, 2004.

Terrence E. Rothenbacher, Land Surveyor
Minnesota License No. 20595

I HEREBY CERTIFY THAT THE CURRENT AND DELINQUENT TAXES ON THE LANDS DESCRIBED WITHIN ARE PAID AND THE TRANSFER IS ENTERED
OCT 26 2004
MAUREEN J. DEVINE
PROPERTY TAX ADMINISTRATOR
BY: S. Culver
DEPUTY PROPERTY TAX ADMINISTRATOR

STATE OF MINNESOTA
COUNTY OF ANOKA

The foregoing certificate was acknowledged before me this 6th day of October, 2004, by Terrence E. Rothenbacher, a Licensed Professional Land Surveyor.

CHRISTOPHER E SHARP
NOTARY PUBLIC
MY COMM. EXP. 01/31/2005

Christopher E. Sharp
Notary Public, Anoka County, Minnesota
My Commission Expires Jan. 31, 2005

I, BRIAN S. KRSTOMAK, pursuant to Minnesota Statutes, Section 515B.2-101(c), do hereby certify that all the units and all structural components and mechanical systems of all buildings containing or comprising any units hereby created, are substantially completed.

Dated this 6th day of October, 2004.

STATE OF MINNESOTA
COUNTY OF ANOKA

The foregoing certificate was acknowledged before me this 6th day of October, 2004, by BRIAN S. KRSTOMAK, a Registered Professional Engineer.

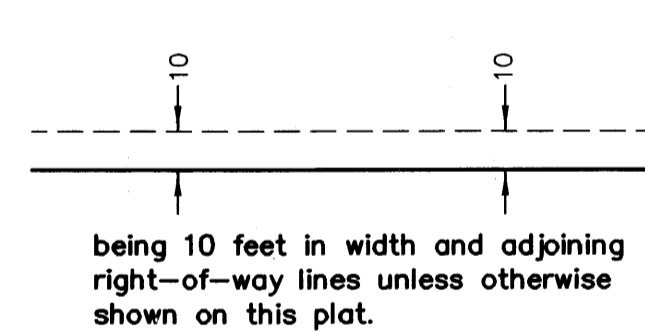
CHRISTOPHER E SHARP
NOTARY PUBLIC
MY COMM. EXP. 01/31/2005

Christopher E. Sharp
Notary Public, Anoka County, Minnesota
My Commission Expires Jan. 31, 2005

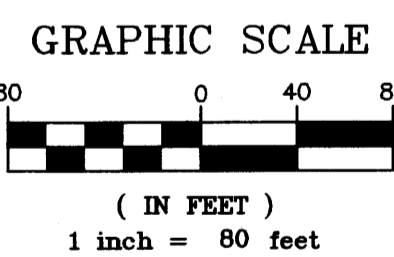
Checked and approved this 6th day of October, 2004.

Larry O. Heism by Charles F. Kitzner, Deputy
Anoka County Surveyor

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS: (NOT TO SCALE)



being 10 feet in width and adjoining right-of-way lines unless otherwise shown on this plat.



- Denotes Restricted Right of Access as dedicated in the plat of CLUB WEST
 - Denotes 1/2 inch by 14 inch iron monument set and marked with license number 20595
 - Denotes found monument
- BENCH MARK
Top nut hydrant ± 400' (FT.) West of Intersection of 113th Avenue NE. & Arnold Palmer Drive on North side of Street.
Elevation= 905.59 (NGVD 1929)
- For the purposes of this plat, the south line of Lot 1, Block 1, CLUB WEST TENTH ADDITION is assumed to have a bearing of North 89°49'20" East.

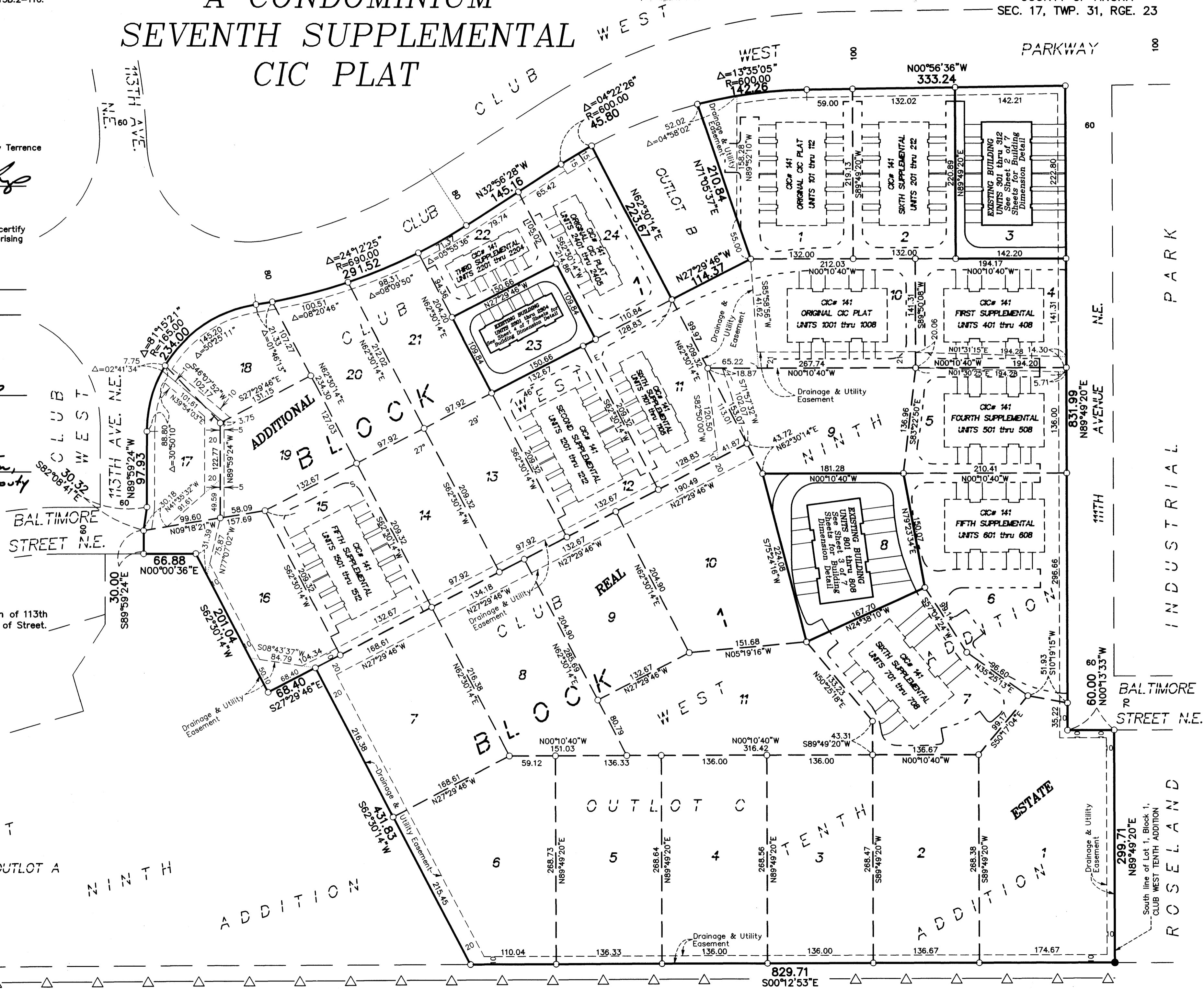
CIC NUMBER 141
WATERFORD PLACE
A CONDOMINIUM
SEVENTH SUPPLEMENTAL
CIC PLAT

Office of REGISTRAR OF TITLES
COUNTY OF ANOKA
477735.0
October 26, 2004
4:15 p.m.
TRAP

Bk 7 of C16, Pg 31

This SEVENTH SUPPLEMENTAL CIC PLAT is part of the SEVENTH Declaration filed as Document No. 477735.0 on this 26th day of October, 2004.
Thibault, Deputy
ANOKA COUNTY RECORDER

CITY OF BLAINE
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23



PIONEER engineering
LAND SURVEYORS • CIVIL ENGINEERS
LAND PLANNERS • LANDSCAPE ARCHITECTS

STATE TRUNK HIGHWAY NO. 65
(MINNESOTA DEPARTMENT OF TRANSPORTATION MONUMENTATION PLAT 02-M17)

200413416 \$ 866.50

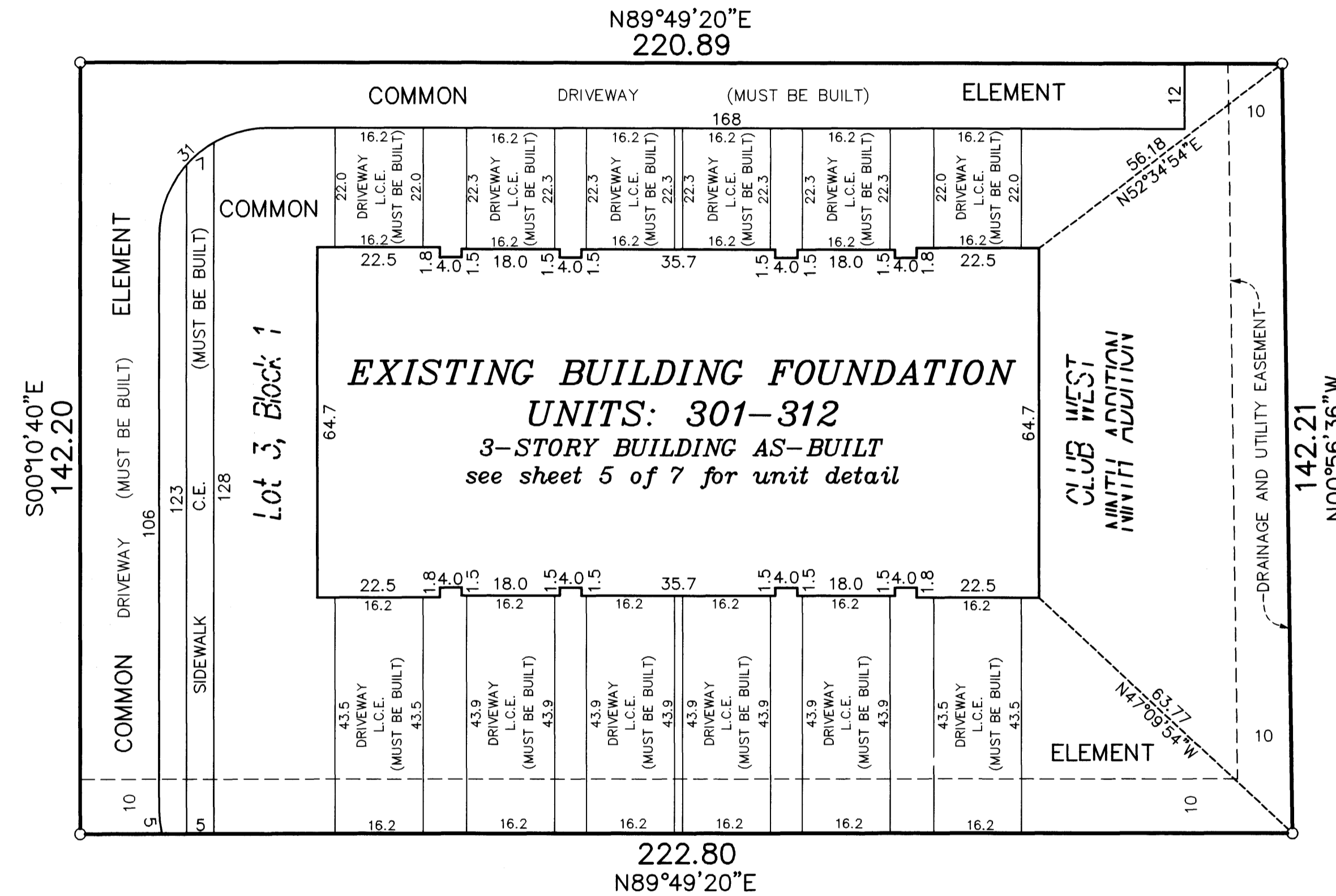
OFFICIAL PLAT
SITE PLAN
(AS-BUILT)

CIC NUMBER 141
WATERFORD PLACE
A CONDOMINIUM
SEVENTH SUPPLEMENTAL
CIC PLAT

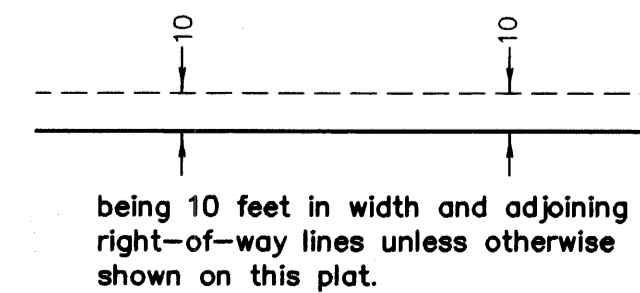
Bk 7 of C10, pg 31

C.R. DOC. NO. 479735

CITY OF BLAINE
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23



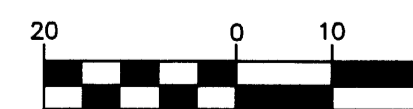
DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)



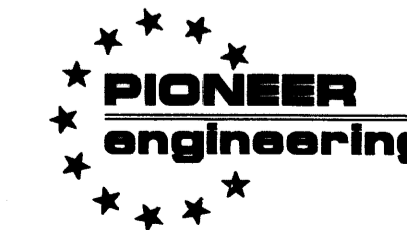
○ Denotes 1/2 inch by 14 inch iron monument set and marked with license number 20595

For the purposes of this plat, the south line of Lot 1, Block 1, CLUB WEST TENTH ADDITION is assumed to have a bearing of North 89°49'20" East.

GRAPHIC SCALE



(IN FEET)
1 inch = 20 feet



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2004134169 \$866.50

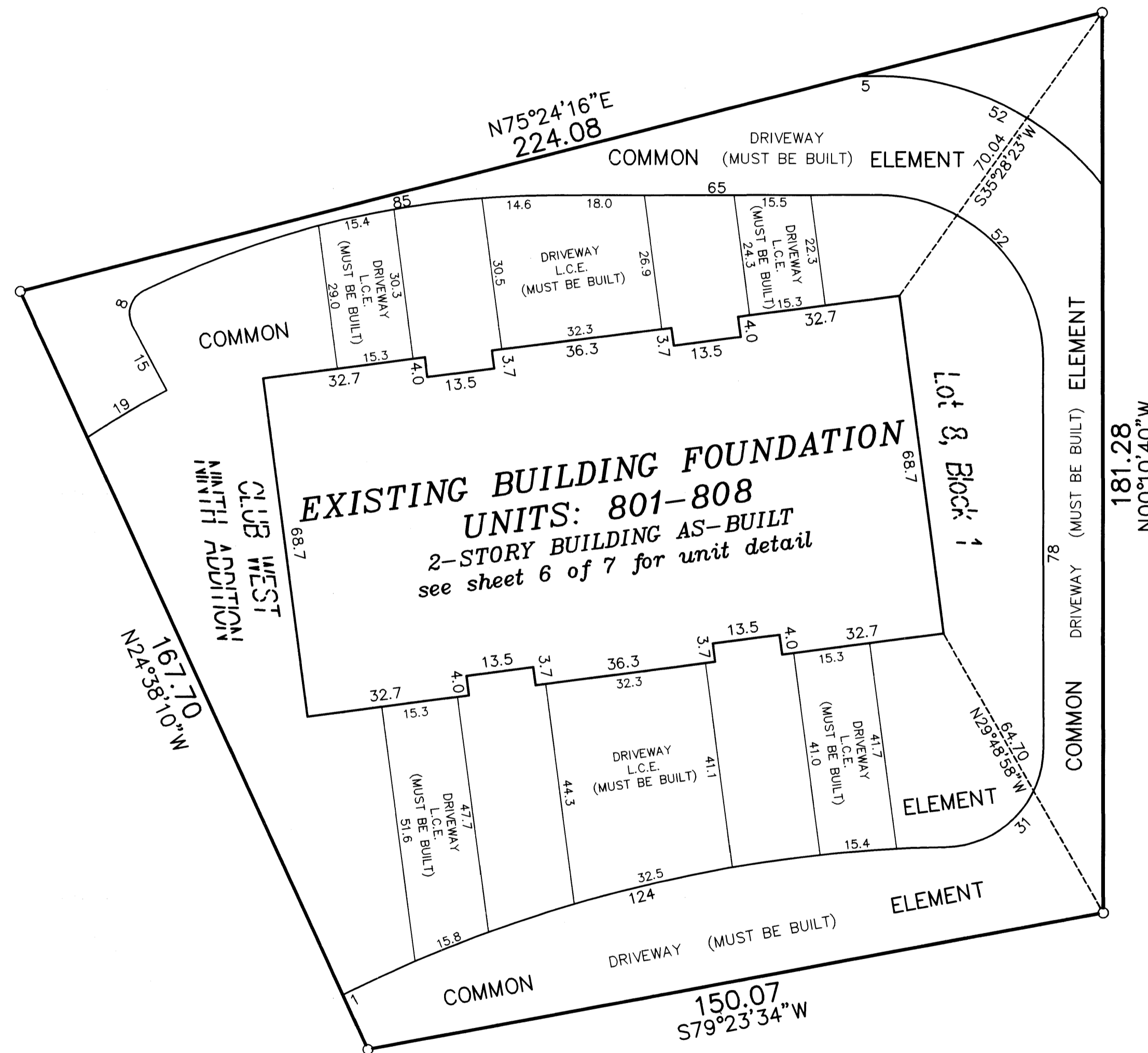
OFFICIAL PLAT
 SITE PLAN
 (AS-BUILT)

Bk 7 of C 10, pg 31

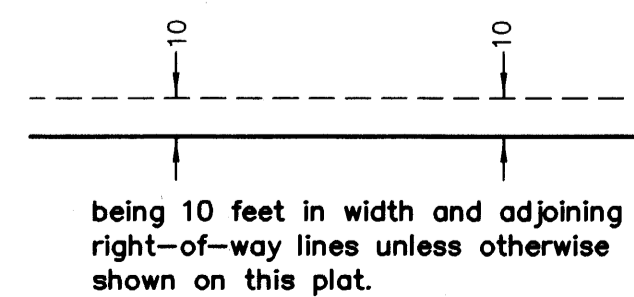
C.R. DOC. NO. 479735

CITY OF BLAINE
 COUNTY OF ANOKA
 SEC. 17, TWP. 31, RGE. 23

CIC NUMBER 141
WATERFORD PLACE
A CONDOMINIUM
SEVENTH SUPPLEMENTAL
CIC PLAT



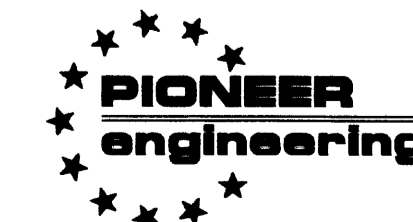
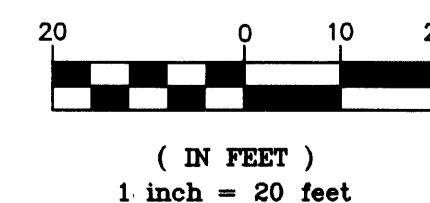
DRAINAGE AND UTILITY
 EASEMENTS ARE SHOWN THUS:
 (NOT TO SCALE)



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 set and marked with license number 20595

For the purposes of this plat, the south
 line of Lot 1, Block 1, CLUB WEST TENTH
 ADDITION is assumed to have a bearing
 of North 89°49'20" East.

GRAPHIC SCALE



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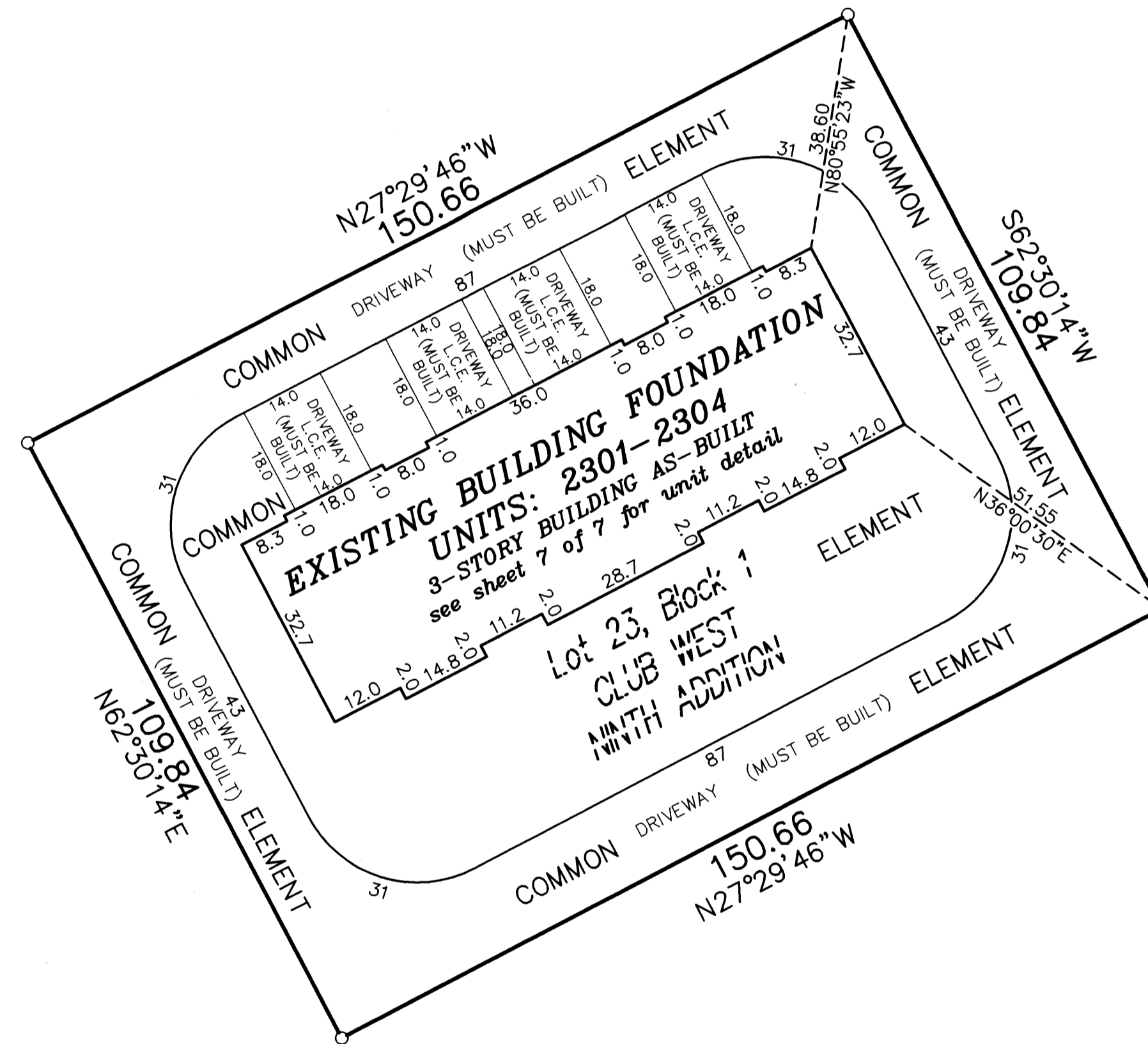
OFFICIAL PLAT

SITE PLAN
(AS-BUILT)

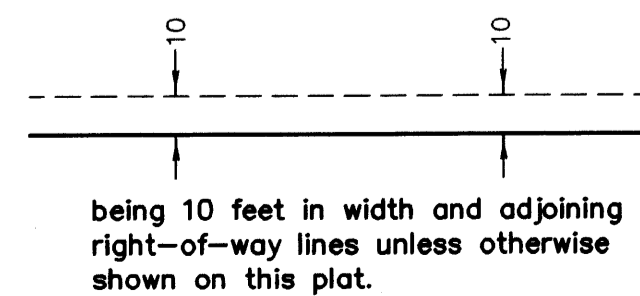
CIC NUMBER 141 WATERFORD PLACE A CONDOMINIUM SEVENTH SUPPLEMENTAL CIC PLAT

C.R. DOC. NO. 479735

CITY OF BLAINE
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23

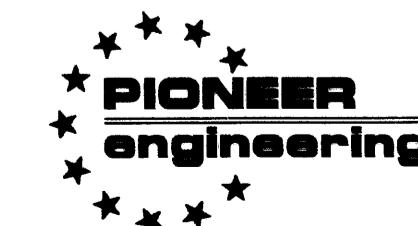
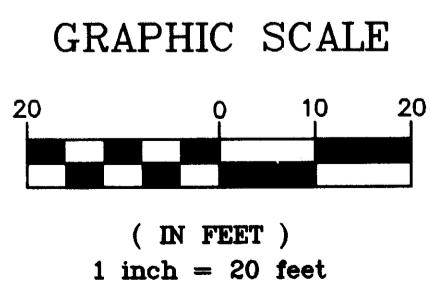
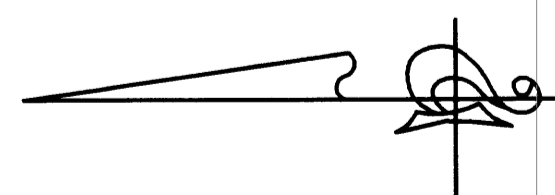


DRAINAGE AND UTILITY
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(NOT TO SCALE)



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set and marked with license number 20595

For the purposes of this plat, the south
line of Lot 1, Block 1, CLUB WEST TENTH
ADDITION is assumed to have a bearing
of North 89°49'20" East.



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OFFICIAL PLAT
UNIT DETAIL
(AS-BUILT)

CIC NUMBER 141

WATERFORD PLACE

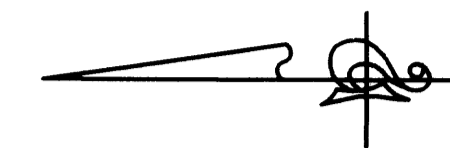
A CONDOMINIUM

SEVENTH SUPPLEMENTAL CIC PLAT

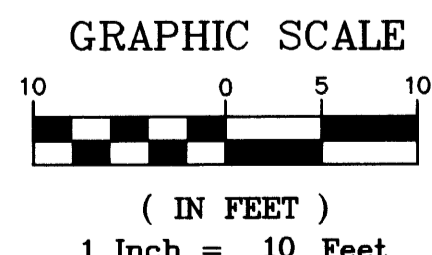
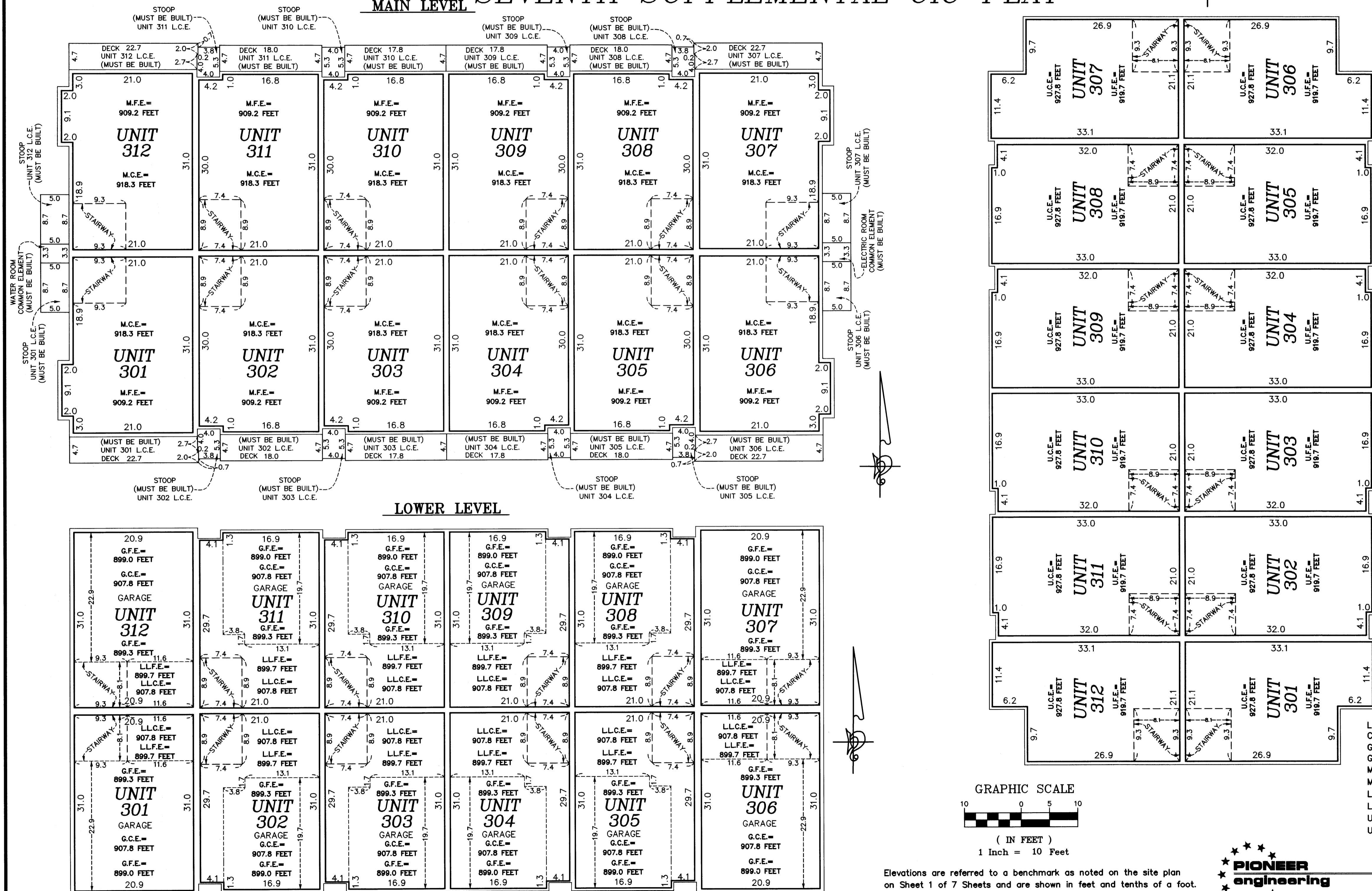
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C.R. DOC. NO. 479735

UPPER LEVEL



CITY OF BLAINE
 COUNTY OF ANOKA
 SEC. 17, TWP. 31, RGE. 23



Limited Common Element = L.C.E.
 Common Element = C.E.
 Garage Floor Elevation = G.F.E.
 Garage Ceiling Elevation = G.C.E.
 Main Floor Elevation = M.F.E.
 Main Ceiling Elevation = M.C.E.
 Lower Level Floor Elevation = L.L.F.E.
 Lower Level Ceiling Elevation = L.L.C.E.
 Upper Level Floor Elevation = U.F.E.
 Upper Level Ceiling Elevation = U.C.E.

Elevations are referred to a benchmark as noted on the site plan on Sheet 1 of 7 Sheets and are shown in feet and tenths of a foot.
 Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.



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OFFICIAL PLAT

UNIT DETAIL
(AS-BUILT)

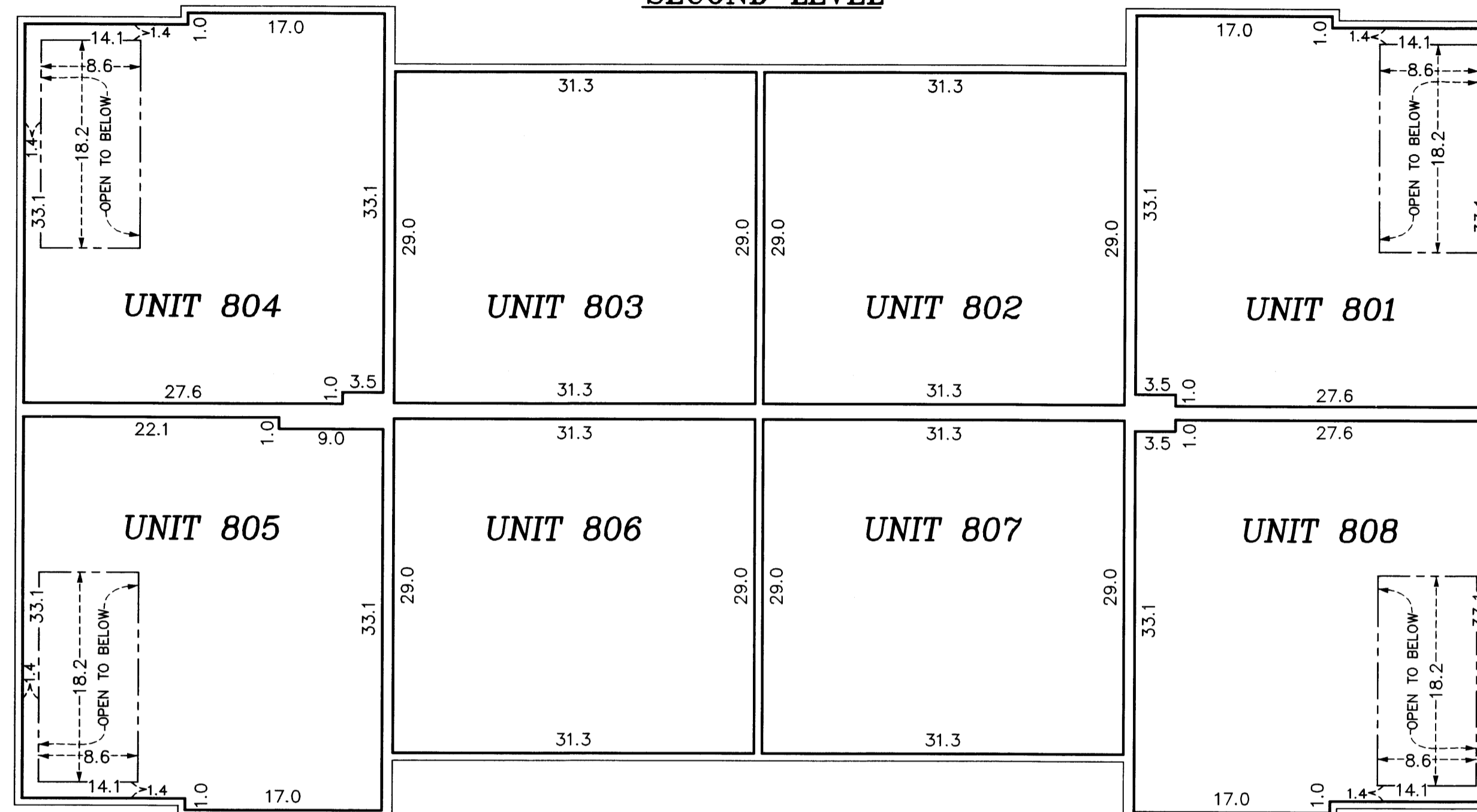
CIC NUMBER 141
WATERFORD PLACE
A CONDOMINIUM
SEVENTH SUPPLEMENTAL CIC PLAT

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CR DOC. NO. 479735

CITY OF BLAINE
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23

SECOND LEVEL



First Level Elevations

All units garage floor elevation at door = 899.2 feet
All units garage floor elevation in back of garage = 899.4 feet
All units garage ceiling elevations = 908.9 feet
All Units first level floor elevations = 899.8 feet
Units 801, 804, 805, and 808 first level ceiling elevation varies from 908.9 feet to 918.4 feet
Units 802, 803, 806, and 807 first level ceiling elevations = 908.9 feet

Second Level Elevations

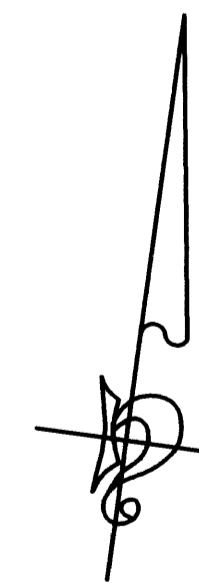
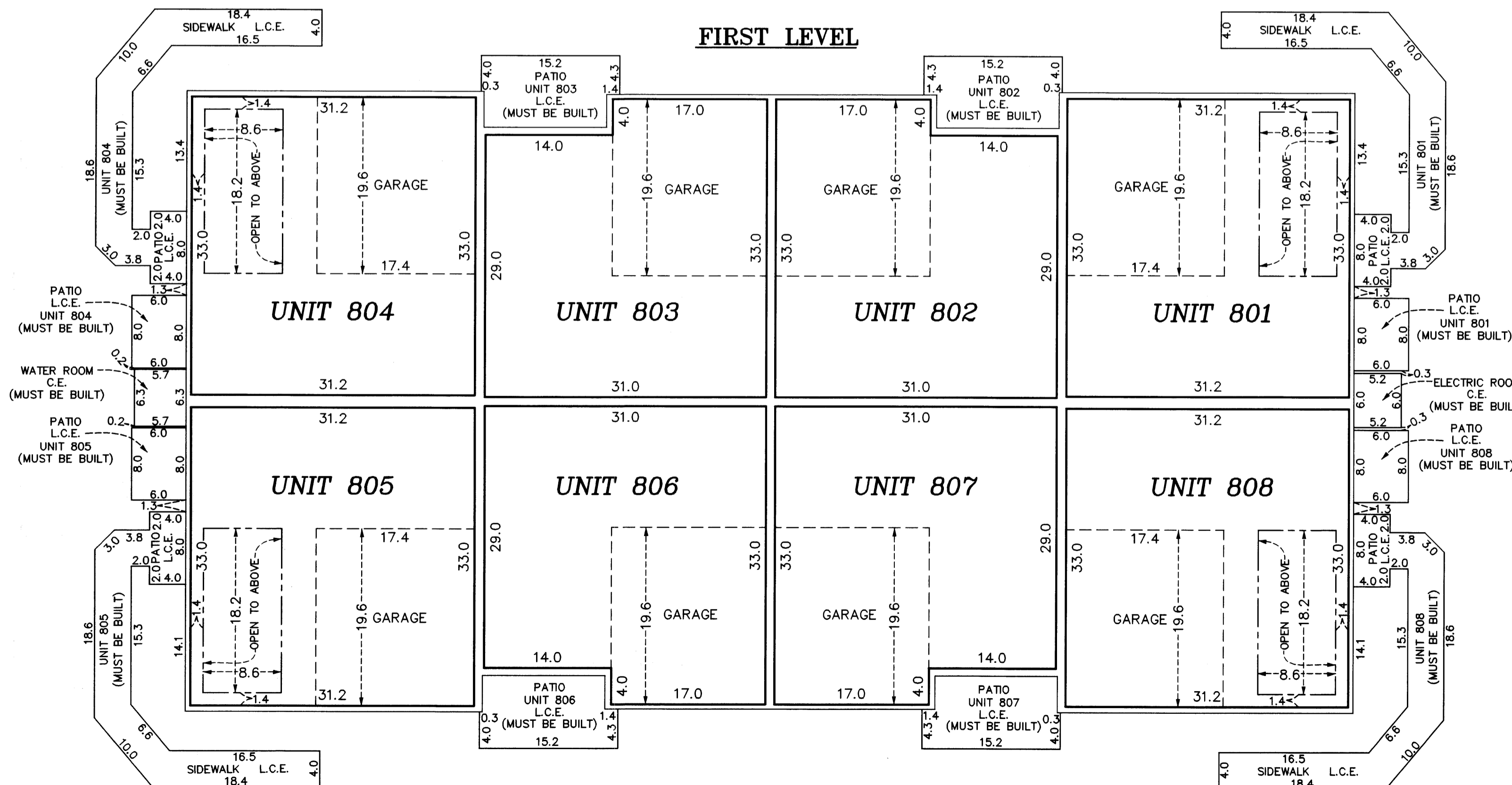
All units second level floor elevation = 910.3 feet
All units second level ceiling elevations = 918.4 feet

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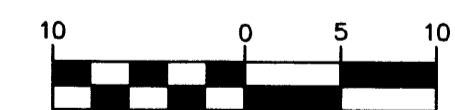
L.C.E. = Limited Common Element
C.E. = Common Element

Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.

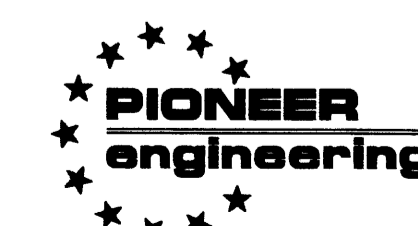
FIRST LEVEL



GRAPHIC SCALE



(IN FEET)
1 inch = 10 feet



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OFFICIAL PLAT

UNIT DETAIL
(AS-BUILT)

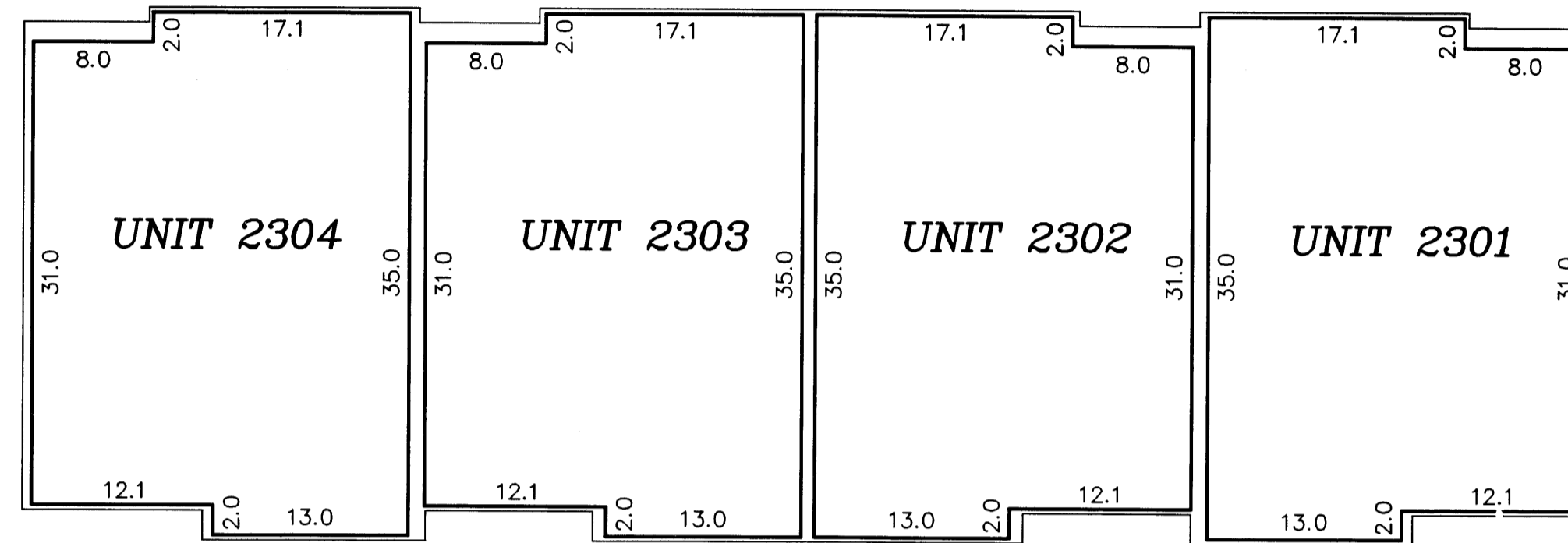
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CIC PLAT

Bk 7 of CIC, pg 31

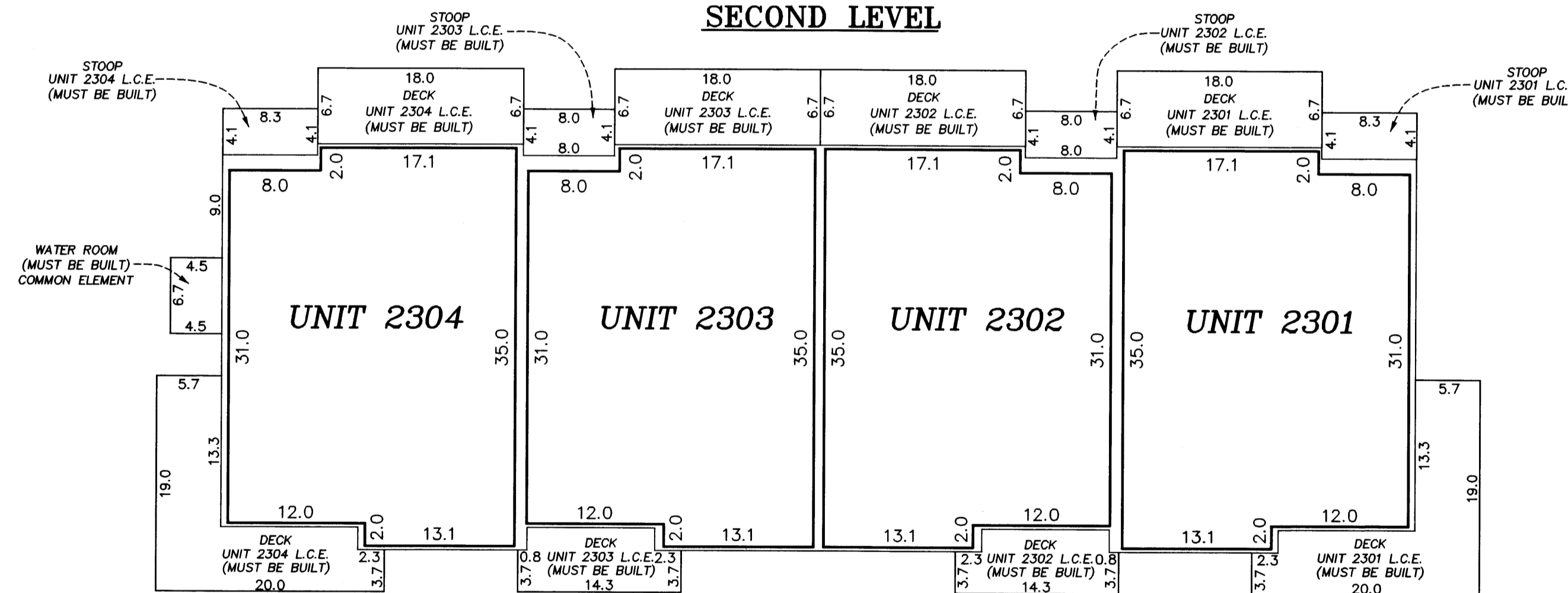
CR DOC. NO. 479735

CITY OF BLAINE
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23

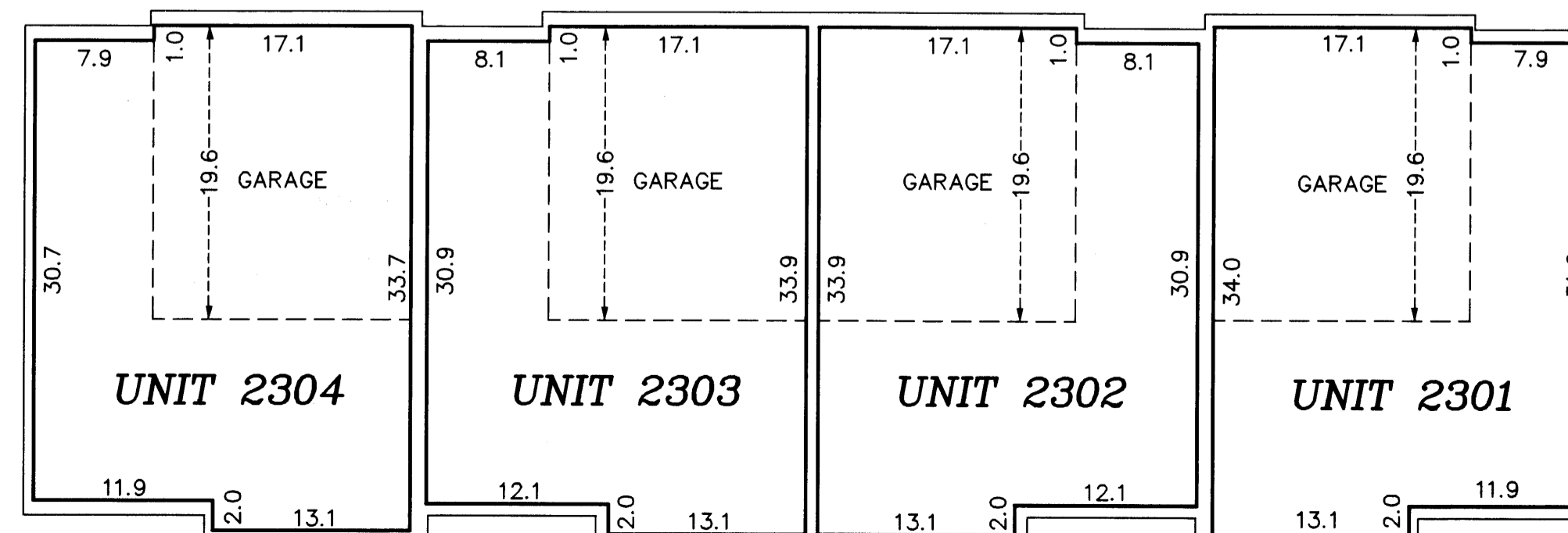
THIRD LEVEL



SECOND LEVEL



FIRST LEVEL



First Level Elevations

All units garage floor elevation at garage door = 899.2 feet
All units garage floor elevation in rear of garage = 899.5 feet
All units garage ceiling elevations = 908.0 feet
All units first level floor elevation = 899.9 feet
All units first level ceiling elevations = 908.0 feet

Second Level Elevations

All units second level floor elevations = 910.2 feet
All units second level ceiling elevation = 919.3 feet

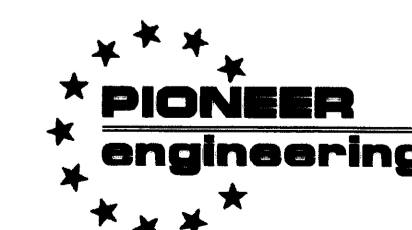
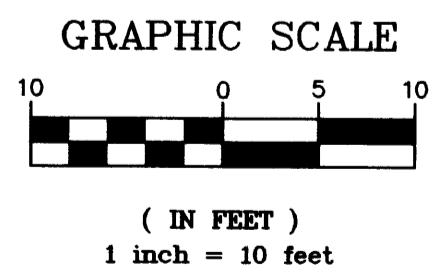
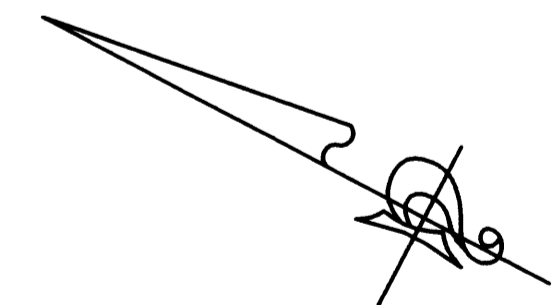
Third Level Elevations

All units third level floor elevations = 920.8 feet
All units third level ceiling elevation = 928.9 feet

Elevations are referenced to a benchmark as noted on the site plan on Sheet 1 of 7 Sheets and are shown in feet and tenths of a foot.

L.C.E. = Limited Common Element
C.E. = Common Element

Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.



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