

SITE PLAN OFFICIAL PLAT
(AS-BUILT)

CIC NUMBER 141

WATERFORD PLACE

A CONDOMINIUM

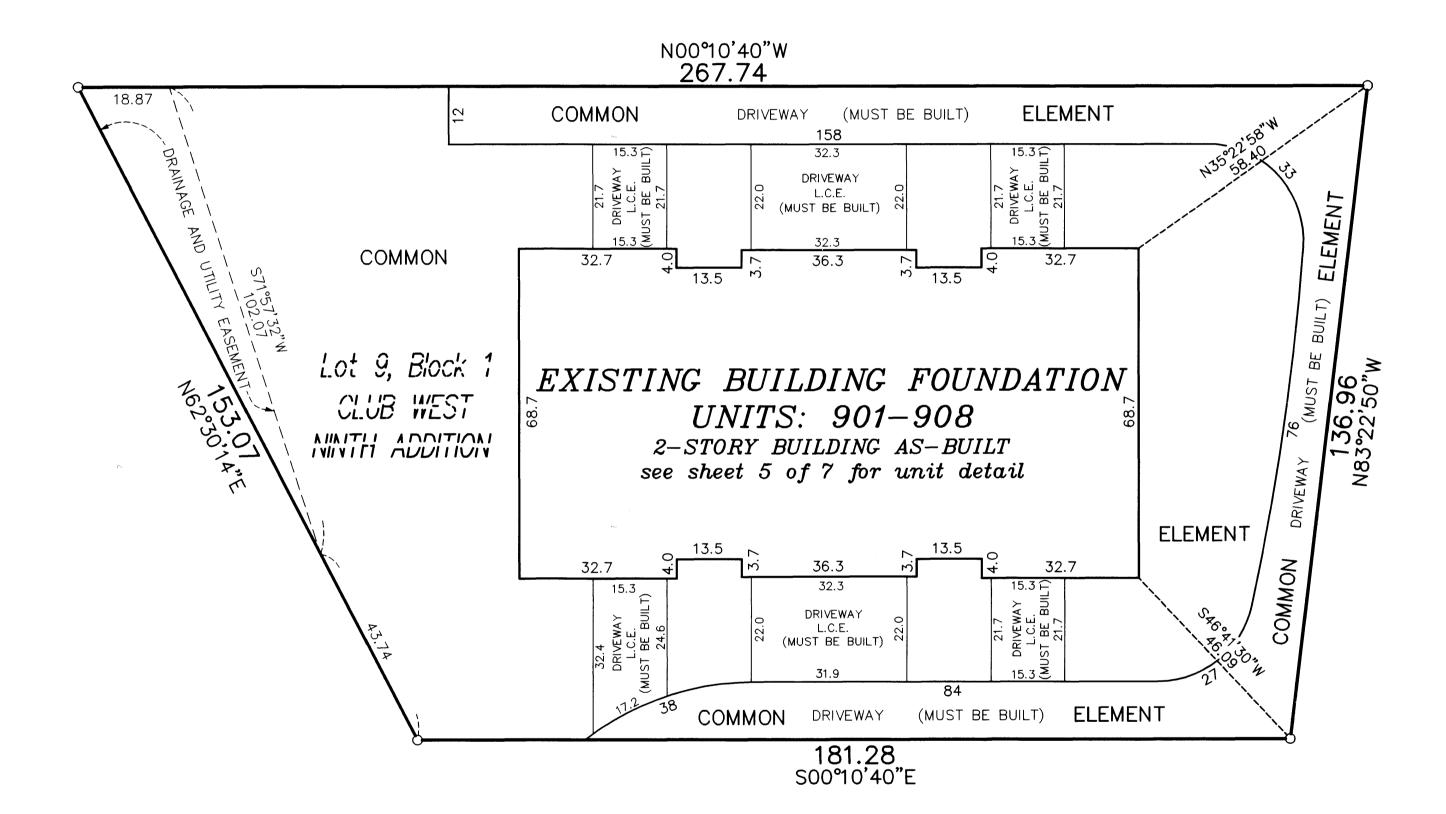
EIGHTH SUPPLEMENTAL

CIC PLAT

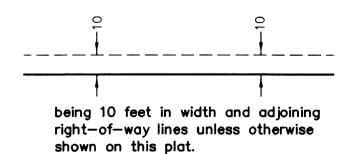
BK7 of CIC pg 38

C.R. DOC. NO_____

CITY OF BLAINE COUNTY OF ANOKA SEC. 17, TWP. 31, RGE. 23

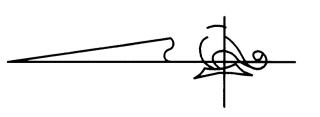


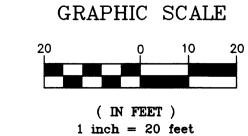
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS: (NOT TO SCALE)



O Denotes 1/2 inch by 14 inch iron monument set and marked with license number 20595

For the purposes of this plat, the south line of Lot 1, Block 1, CLUB WEST TENTH ADDITION is assumed to have a bearing of North 89°49'20" East.







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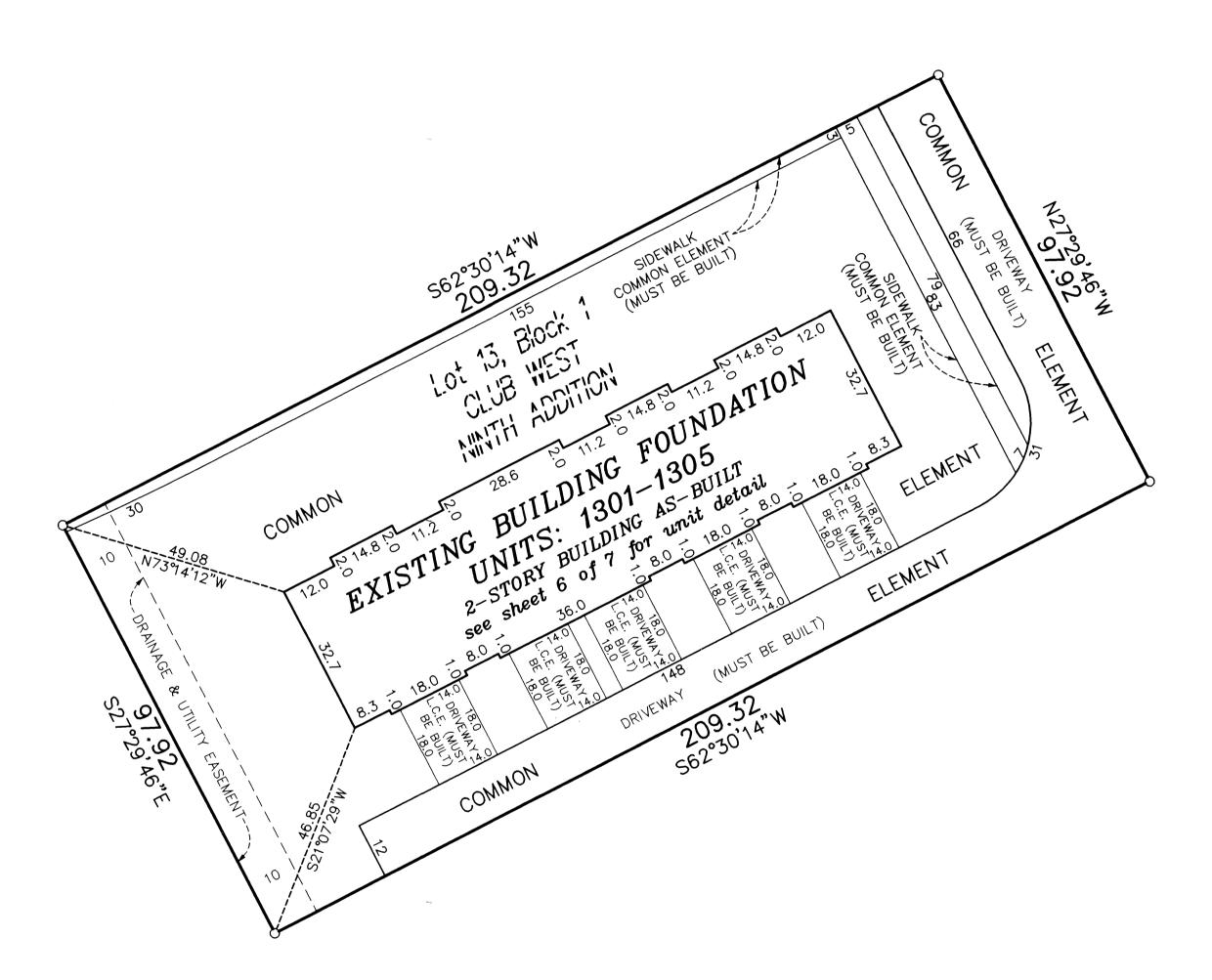
LAND PLANNERS • LANDSCAPE ARCHITECTS

SITE PLAN OFFICIAL PLAT (AS-BUILT)

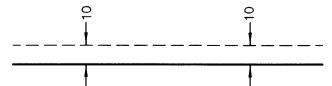
CIC NUMBER 141

WATERFORD PLACE
A CONDOMINIUM
EIGHTH SUPPLEMENTAL
CIC PLAT

> CITY OF BLAINE COUNTY OF ANOKA SEC. 17, TWP. 31, RGE. 23



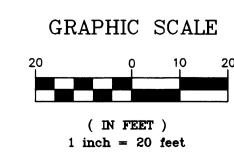
DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)

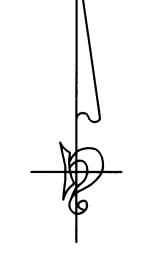


being 10 feet in width and adjoining right—of—way lines unless otherwise shown on this plat.

O Denotes 1/2 inch by 14 inch iron monument set and marked with license number 20595

For the purposes of this plat, the south line of Lot 1, Block 1, CLUB WEST TENTH ADDITION is assumed to have a bearing of North 89°49'20" East.





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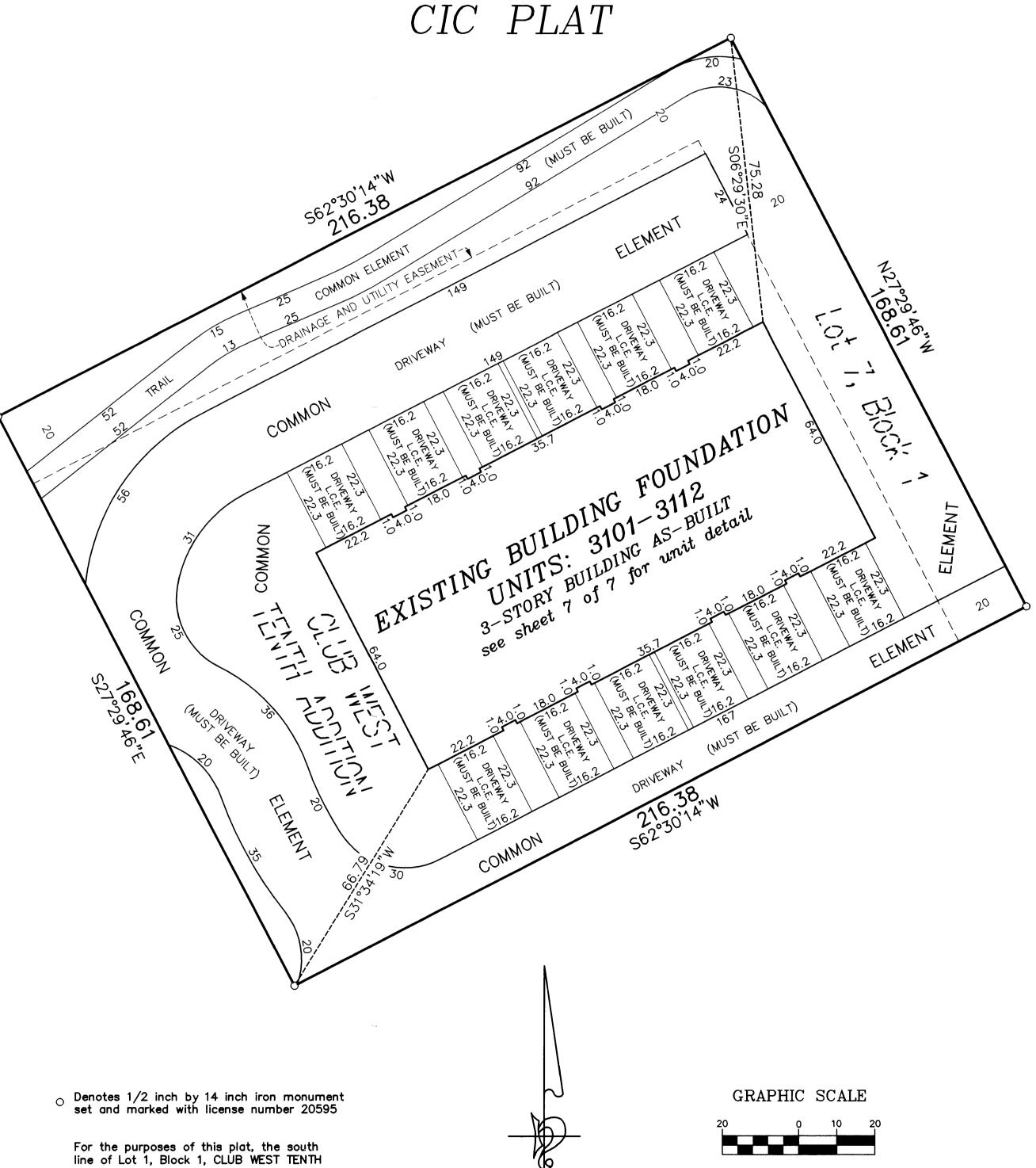
LAND PLANNERS • LANDSCAPE ARCHITECTS

SITE PLAN OFFICIAL PLAT (AS-BUILT)

CIC NUMBER 141

WATERFORD PLACE A CONDOMINIUM EIGHTH SUPPLEMENTAL BK7 of CIC pg 38 C.R. DOC. NO_

> CITY OF BLAINE COUNTY OF ANOKA SEC. 17, TWP. 31, RGE. 23



ADDITION is assumed to have a bearing of North 89°49'20" East.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

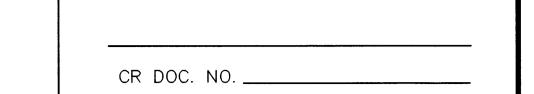
being 10 feet in width and adjoining right-of-way lines unless otherwise shown on this plat.

(IN FEET)

UNIT DETAIL OFFICIAL PLAT (AS-BUILT)

CIC NUMBER 141

WATERFORD PLACE A CONDOMINIUM EIGHTH SUPPLEMENTAL CIC PLAT



CITY OF BLAINE COUNTY OF ANOKA SEC. 17, TWP. 31, RGE. 23

\ 14.1 ← 17.5			- 1.42 14.1 - 14
13.9	31.3	31.3	TO BELOW 9
10.1 -	29.0	29.0	33.1 -OPEN TO
UNIT 908	UNIT 907	UNIT 906	UNIT 905
27.6 9. 3.5	31.3	31.3	9.0 0. 22.1
27.6	31.3	31.3	3.5 - 27.6
UNIT 901	UNIT 902	UNIT 903	UNIT 904
10.1 - TOPEN TO 10 MABOVE 10 10.1 -	29.0	29.0	10.1 -1 10.1 -1 10.1 -1 10.1 -1
13.9	31.3	31.3	13.9
<u>/ 14.1 </u>			17.0 0 14.1
18.4			18.4

SECOND LEVEL

SIDEWALK L.C.E. 9 SIDEWALK L.C.E. 16.5 FIRST LEVEL PATIO UNIT 906 L.C.E. (MUST BE BUILT) 17.0 (MUST BE BUILT) 14.0 14.0 o GARAGE GARAGE 6 o GARAGE GARAGE of 2.0 EL O OPEN TO 15 _____17.4 17.4 <u> </u> РАПО L.C.E. ——— **UNIT 908 UNIT 907 UNIT 906 UNIT 905 UNIT 908 UNIT 905** (MUST BE BUILT) (MUST BE BUILT) 6.0 -0.3 -WATER ROOM ELECTRIC ROOM --C.E. (MUST BE BUILT) 31.2 31.2 31.0 31.0 C.E. (MUST BE BUILT) 31.0 31.0 31.2 31.2 РАПО 0.2-, L.C.E. ----UNIT 901 (MUST BE BUILT) (MUST BE BUILT) **UNIT** 903 **UNIT 904 UNIT 901 UNIT 902** 10.1 -4.0 2 OPEN TO 0.5 ABOVE 55 ABOVE 2.04 - 0.00 OPEN TO 10.00 ABOVE 10.00 MM ABOVE 10.0 GARAGE 6 G GARAGE GARAGE of o GARAGE 14.0 14.0 PATIO 17.0 17.0 UNIT 903 L.C.E. 0.3 (MUST BE BUILT) 16.5 SIDEWALK L.C.E. 9 16.5 SIDEWALK L.C.E. 18.4

<u>First Level Elevations</u>

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All units garage floor elevation at door = 897.5 feet All units garage floor elevation in back of garage = 897.7 feet All units garage ceiling elevations = 907.2 feet All Units first level floor elevations = 898.1 feet Units 901, 904, 905, and 908 first level ceiling elevation varies from 907.2 feet to 916.7 feet Units 902, 903, 906, and 907 first level ceiling elevations = 907.2 feet

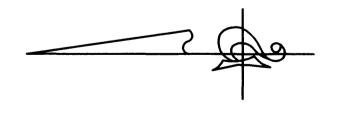
Second Level Elevations

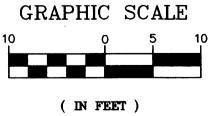
All units second level floor elevation = 908.6 feet All units second level ceiling elevations = 916.7 feet

Elevations are referred to a benchmark as noted on the site plan on Sheet 1 of 7 Sheets and are shown in feet and tenths of a foot.

L.C.E. = Limited Common Element C.E. = Common Element

Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.





1 inch = 10 feet



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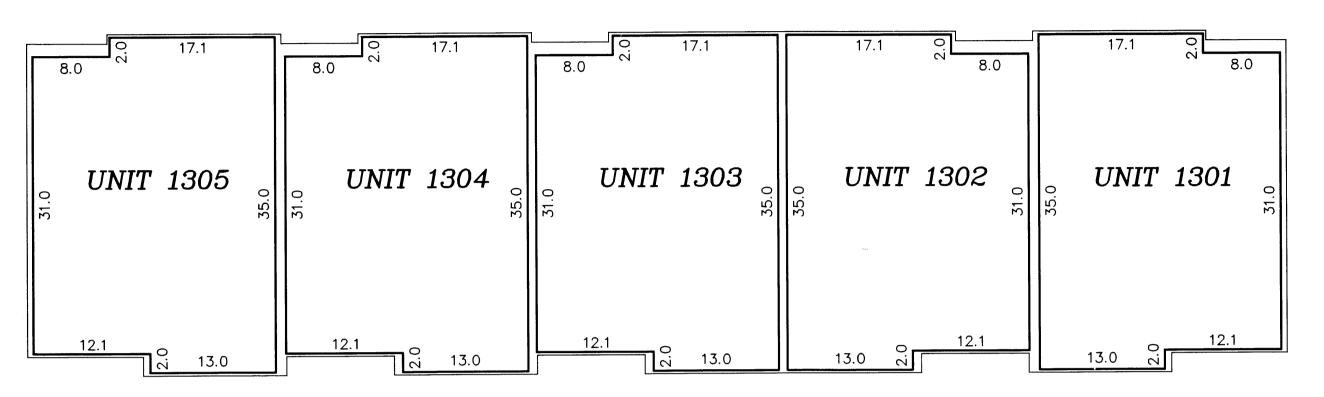
OFFICIAL PLAT UNIT DETAIL

(AS-BUILT)

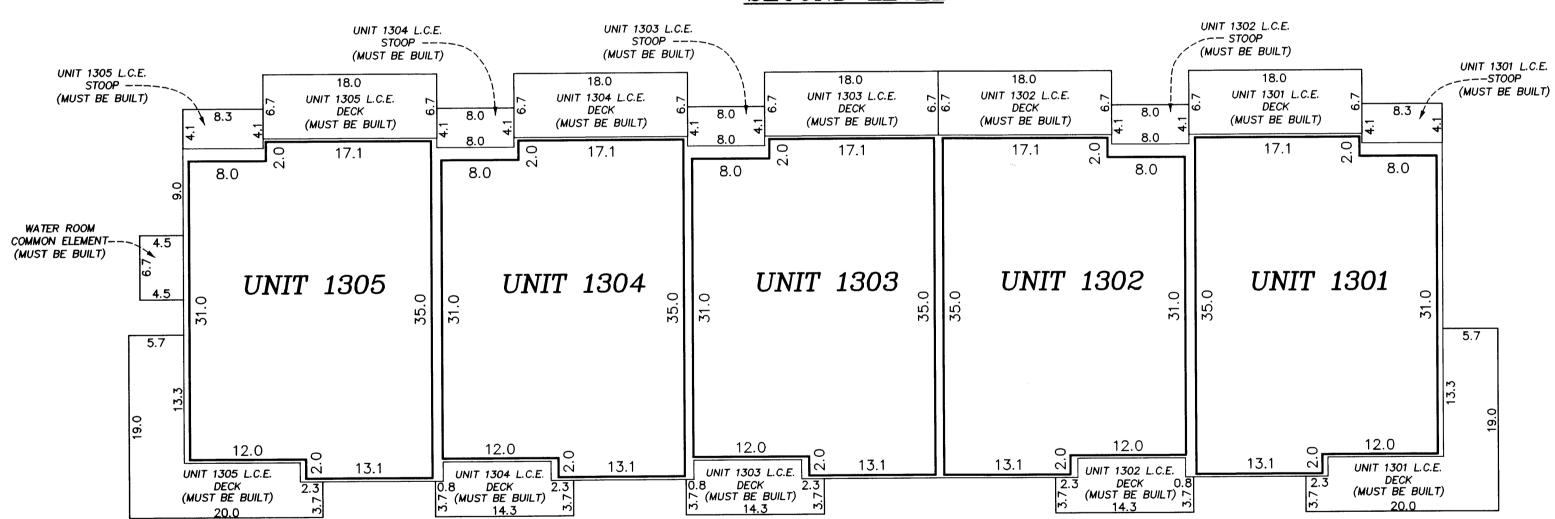
CIC NUMBER 141

WATERFORD PLACE A CONDOMINIUM EIGHTH SUPPLEMENTAL CIC PLAT

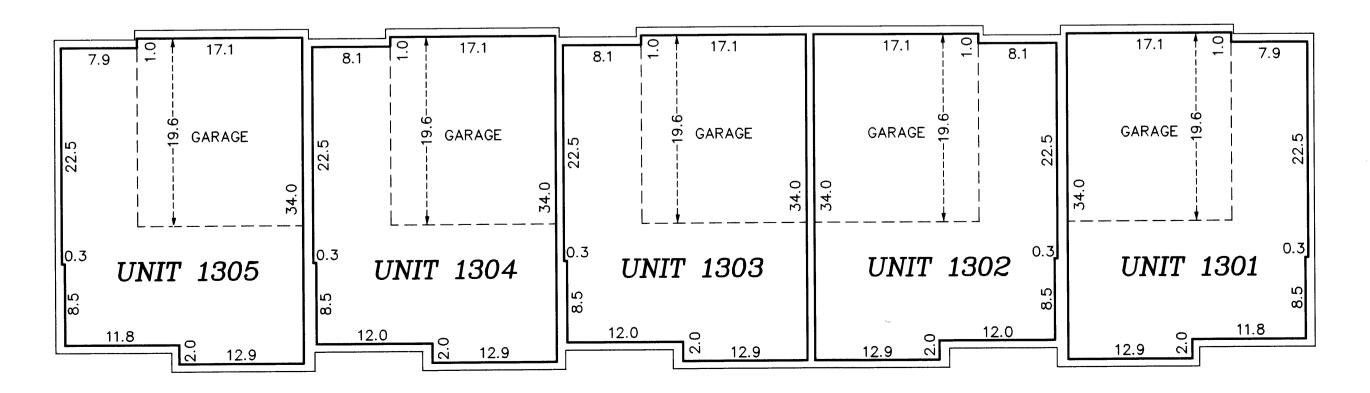
THIRD LEVEL



SECOND LEVEL



FIRST LEVEL



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CR DOC. NO. _

CITY OF BLAINE COUNTY OF ANOKA SEC. 17, TWP. 31, RGE. 23

First Level Elevations

All units garage floor elevation at garage door = 898.4 feet All units garage floor elevation in rear of garage = 898.7 feet

All units garage ceiling elevations = 907.2 feet

All units first level floor elevation =899.1 feet

All units first level ceiling elevations = 907.2 feet

Second Level Elevations

All units second level floor elevations = 909.4 feet All units second level ceiling elevation = 918.5 feet

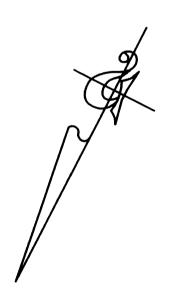
Third Level Elevations

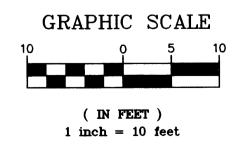
All units third level floor elevations = 920.0 feet All units third level ceiling elevation = 928.1 feet

Elevations are referenced to a benchmark as noted on the site plan on Sheet 1 of 7 Sheets and are shown in feet and tenths of a foot.

L.C.E. = Limited Common Element

Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.







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BK7 of CICpg 38 CIC NUMBER 141 OFFICIAL PLAT UNIT DETAIL (AS-BUILT) WATERFORD PLACE C.R. DOC. NO. A CONDOMINIUM CITY OF BLAINE COUNTY OF ANOKA EIGHTH SUPPLEMENTAL CIC PLAT SEC. 17, TWP. 31, RGE. 23 UPPER LEVEL MAIN LEVEL STOOP (MUST BE BUILT) ---STOOP (MUST BE BUILT) -(MUST BE BUILT)_ (MUST BE BUILT) -UNIT 3104 L.C.E. UNIT 3105 L.C.E. UNIT 3103 L.C.É. UNIT 3102 L.C.E. 3.8 >-2.0 DECK 22.3 UNIT 3101 L.C.E. (MUST BE BUILT) DECK 18.0 UNIT 3102 L.C.E. DECK 17.8 UNIT 3103 L.C.E. DECK 17.8 UNIT 3104 L.C.E. 2.0-< 3.81 UNIT 3105 L.C.E. (MUST BE BUILT) UNIT 3106 L.C.E. (MUST BE BUILT) (MUST BE BUILT) UNIT 3112 (MUST BE BUILT) UNIT 3101 (MUST BE BUILT) M.F.E.= M.F.E.= M.F.E.= M.F.E.= M.F.E.= M.F.E.= 907.5 FEET 907.5 FEET 907.5 FEET 907.5 FEET 907.5 FEET 907.5 FEET UNIT UNIT UNIT UNIT **UNIT** UNIT 32.1 32.1 3102 3101 3103 3106 3105 3104 32.0 M.C.E.= M.C.E.= M.C.E.= M.C.E.= M.C.E.= M.C.E.= 916.6 FEET 916.6 FEET 916.6 FEET 916.6 FEET 916.6 FEET 916.6 FEET UNIT 3102 UNIT 3111 U.F.E.= 18.0 FEE 21.0 | ∮ 7.5 21.0 | € 7.5 7.5 🕴 | 21.0 7.5 | 21.0 33.0 33.0 32.0 32.0 L __ 7.5 _ L _ 7.5 _ <u>___ 7.5</u> __ _ 7.5___ UNIT 3110 UNIT 3103 M.C.E.= M.C.E.= M.C.E.= M.C.E.= M.C.E.= M.C.E.= STOOP UNIT 3107 L.C.E.-(MUST BE BUILT) 916.6 FEET 916.6 FEET 916.6 FEET 916.6 FEET 916.6 FEET 916.6 FEET UNIT UNIT UNIT UNIT UNIT UNIT 3112 3111 3107 3109 3108 33.0 33.0 M.F.E.= M.F.E.= M.F.E.= M.F.E.= M.F.E.= M.F.E.= 907.5 FEET 33.0 907.5 FEET 907.5 FEET 33.0 907.5 FEET 907.5 FEET 907.5 FEET 21.0 16.8 UNIT 3109 (MUST BE BUILT) UNIT 3111 L.C.E. DECK 18.0 (MUST BE BUILT) UNIT 3104 (MUST BE BUILT) (MUST BE BUILT) (MUST BE BUILT) U.C.E.= 26.1 FEE 2.7-(10, 0) 2.0-(10, 2, 10) 2.0-(10, 2, 10) UNIT 3110 L.C.E. DECK 17.8 UNIT 3112 L.C.E. 3.81 >-2.0 DECK 22.3 UNIT 3108 L.C.E. DECK 18.0 UNIT 3109 L.C.E. DECK 17.8 UNIT 3107 L.C.E. STOOP STOOP (MUST BE BUILT) - (MUST BE BUILT) (MUST BE BUILT) --(MUST BE BUILT) --UNIT 3111 L.C.E. UNIT 3110 L.C.E. UNIT 3108 L.C.E. UNIT 3109 L.C.E. LOWER LEVEL 33.0 33.0 16.9 G.F.E.= 897.3 FEET 20.9 4.2 G.F.E.= G.F.E.= G.F.E.= 897.3 FEET G.F.E.= 897.3 FEET G.F.E.= 897.3 FEET 897.3 FEET 897.3 FEET UNIT 3108 UNIT 3105 G.C.E.= G.C.E.= U.C.E.= 926.1 FEE G.C.E.= G.C.E.= G.C.E.= G.C.E.= 906.1 FEET 906.1 FEET 906.1 FEET 906.1 FEET 906.1 FEET 906.1 FEET **GARAGE** GARAGE GARAGE GARAGE GARAGE **UNIT** UNIT GARAGE UNIT 3102 3103 UNIT 3105 3104 3101 G.F.E.= 3.7 897.6 FEET 13.1 G.F.E.= 897.6 FEET 13.1 G.F.E.= 897.6 FEET ____3.7 3106 32.0 G.F.E.= G.F.E.= 32.1 32.1 897.6 FEET 897.6 FEET L.L.F.E.= L.L.F.E.= LLF.E.= 898.0 FEET 898.0 FEET 898.0 FEET 898.0 FEET L.L.F.E.= 898.0 FEET 898.0 FEET L.L.C.E.= L.L.C.E.= UNIT 3107 L.L.C.E.= UNIT 3106 L.L.C.E.= L.L.C.E.= LLC.E.= 906.1 FEET 906.1 FEET 906.1 FEET 906.1 FEET 906.1 FEET 906.1 FEET 6.2 21.1 21.1 6.2 21.1 21.1 21.1 Limited Common Element = L.C.E. L.L.C.E.= L.L.C.E.= L.L.C.E.= LL.C.E.= LLC.E.= LL.C.E.= 906.1 FEET Common Element = C.E. 906.1 FEET 906.1 FEET 906.1 FEET 906.1 FEET 906.1 FEET L.L.F.E.= Garage Floor Elevation = G.F.E. L.L.F.E.= 898.0 FEET L.L.F.E.= LLF.E.= L.L.F.E.= L.L.F.E.= 898.0 FEET 898.0 FEET Garage Ceiling Elevation = G.C.E. 898.0 FEET 898.0 FEET 898.0 FEET __7.5_ __ <u>7.5</u> __**}** _ Main Floor Elevation = M.F.E. 897.6 FEET 13.1 C. 3.7 Main Ceiling Elevation = M.C.E. 897.6 FEET G.F.E.= G.F.E.= 3.7 897.6 FEET GRAPHIC SCALE G.F.E.= 897.6 FEET Lower Level Floor Elevation = L.L.F.E. UNIT UNIT 897.6 FEET 897.6 FEET Lower Level Ceiling Elevation = L.L.C.E. UNIT UNIT 3112 **UNIT** 3107

GARAGE

G.C.E.=

906.1 FEET

G.F.E.=

897.3 FEET

20.9

3111

GARAGE

G.C.E.=

906.1 FEET

G.F.E.=

897.3 FEET

3110

GARAGE

G.C.E.=

906.1 FEET

G.F.E.=

897.3 FEET

3109

GARAGE

G.C.E.=

906.1 FEET

G.F.E.=

897.3 FEET

3108

GARAGE

G.C.E.=

906.1 FEET

G.F.E.=

897.3 FEET

GARAGE

G.C.E.=

906.1 FEET

G.F.E.=

897.3 FEET

PIONEER

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* * *

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(IN FEET)

1 Inch = 10 Feet