









BK 7 of CIC pg 38

UNIT DETAIL **OFFICIAL PLAT**  
(AS-BUILT)

# CIC NUMBER 141

## WATERFORD PLACE

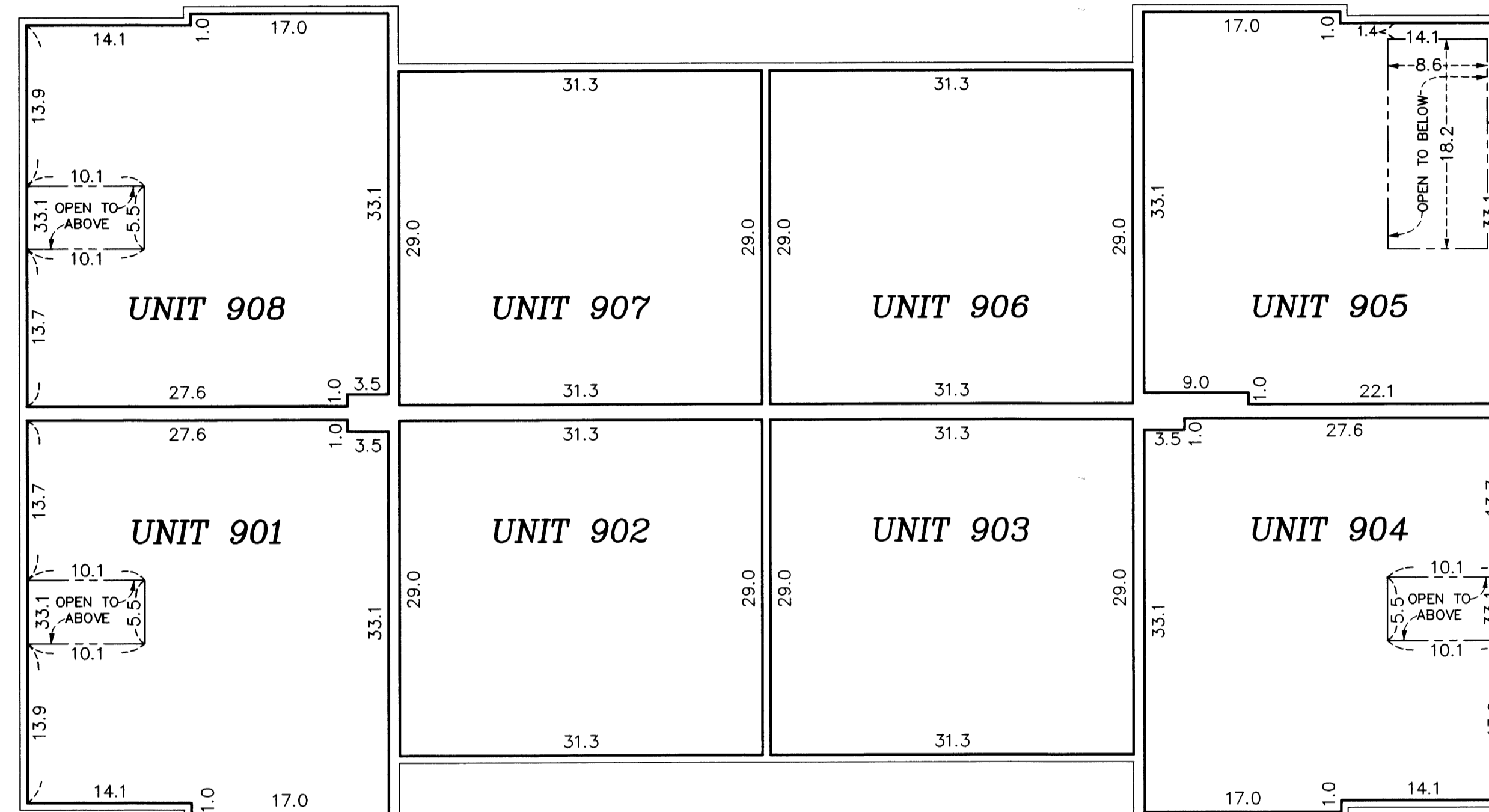
### A CONDOMINIUM

#### EIGHTH SUPPLEMENTAL CIC PLAT

##### SECOND LEVEL

CR DOC. NO. \_\_\_\_\_

CITY OF BLAINE  
COUNTY OF ANOKA  
SEC. 17, TWP. 31, RGE. 23



#### First Level Elevations

All units garage floor elevation at door = 897.5 feet  
 All units garage floor elevation in back of garage = 897.7 feet  
 All units garage ceiling elevations = 907.2 feet  
 All units first level floor elevations = 898.1 feet  
 Units 901, 904, 905, and 908 first level ceiling elevation varies from 907.2 feet to 916.7 feet  
 Units 902, 903, 906, and 907 first level ceiling elevations = 907.2 feet

#### Second Level Elevations

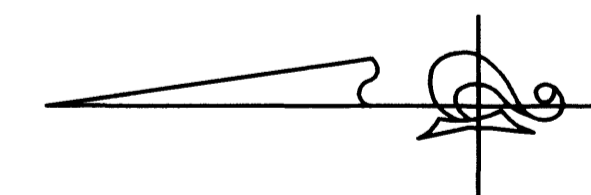
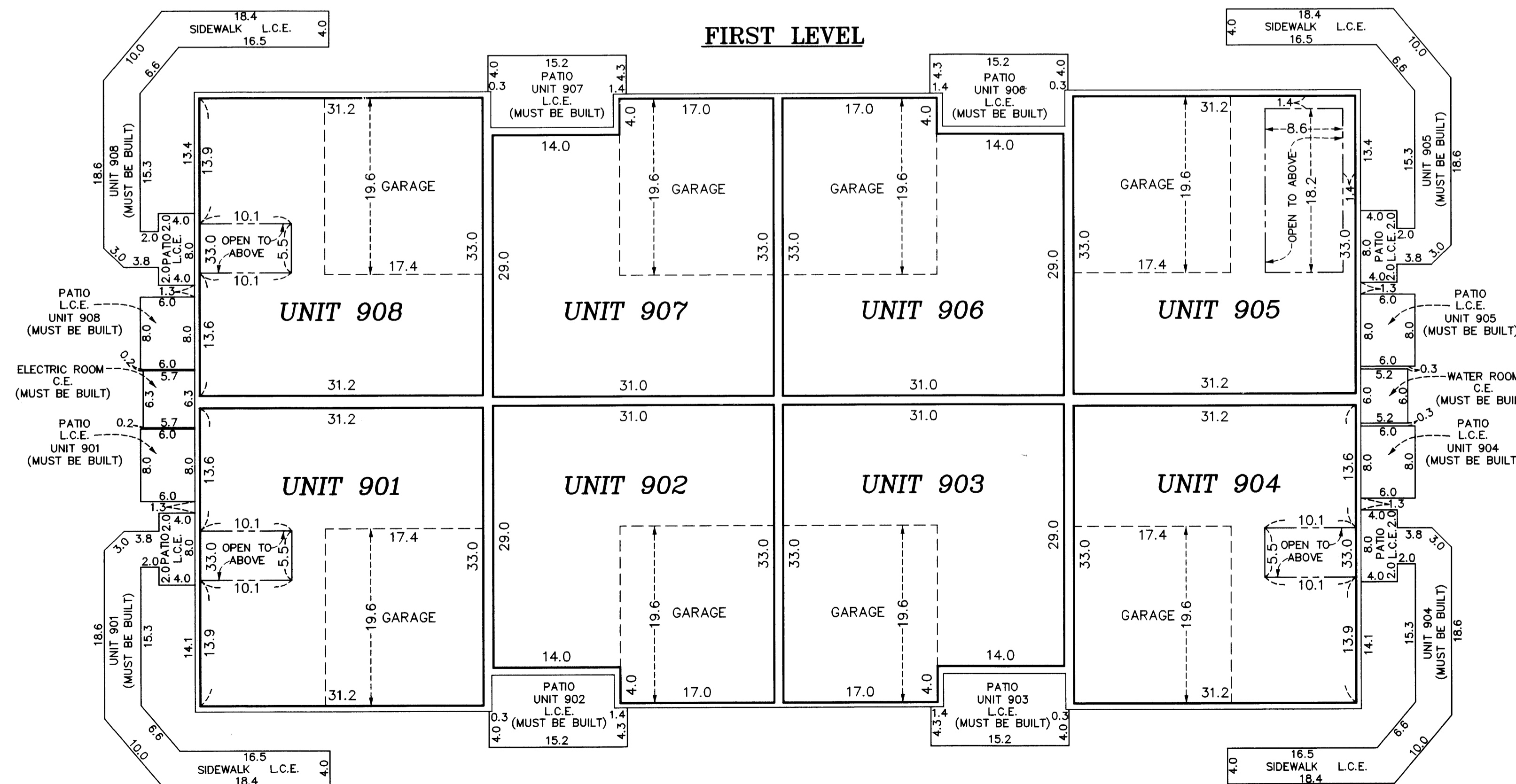
All units second level floor elevation = 908.6 feet  
 All units second level ceiling elevations = 916.7 feet

Elevations are referred to a benchmark as noted on the site plan on Sheet 1 of 7 Sheets and are shown in feet and tenths of a foot.

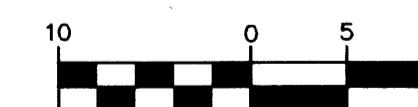
L.C.E. = Limited Common Element  
 C.E. = Common Element

Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.

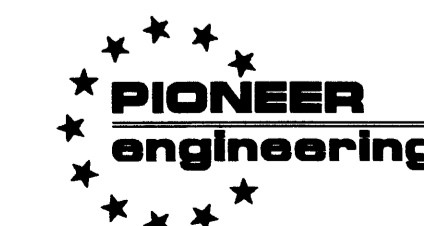
#### FIRST LEVEL



GRAPHIC SCALE



( IN FEET )  
 1 inch = 10 feet



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UNIT DETAIL OFFICIAL PLAT  
(AS-BUILT)

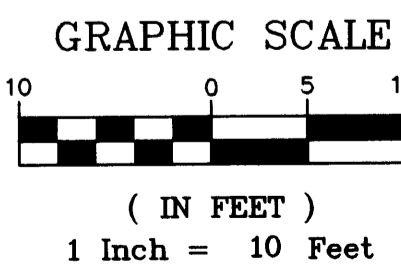
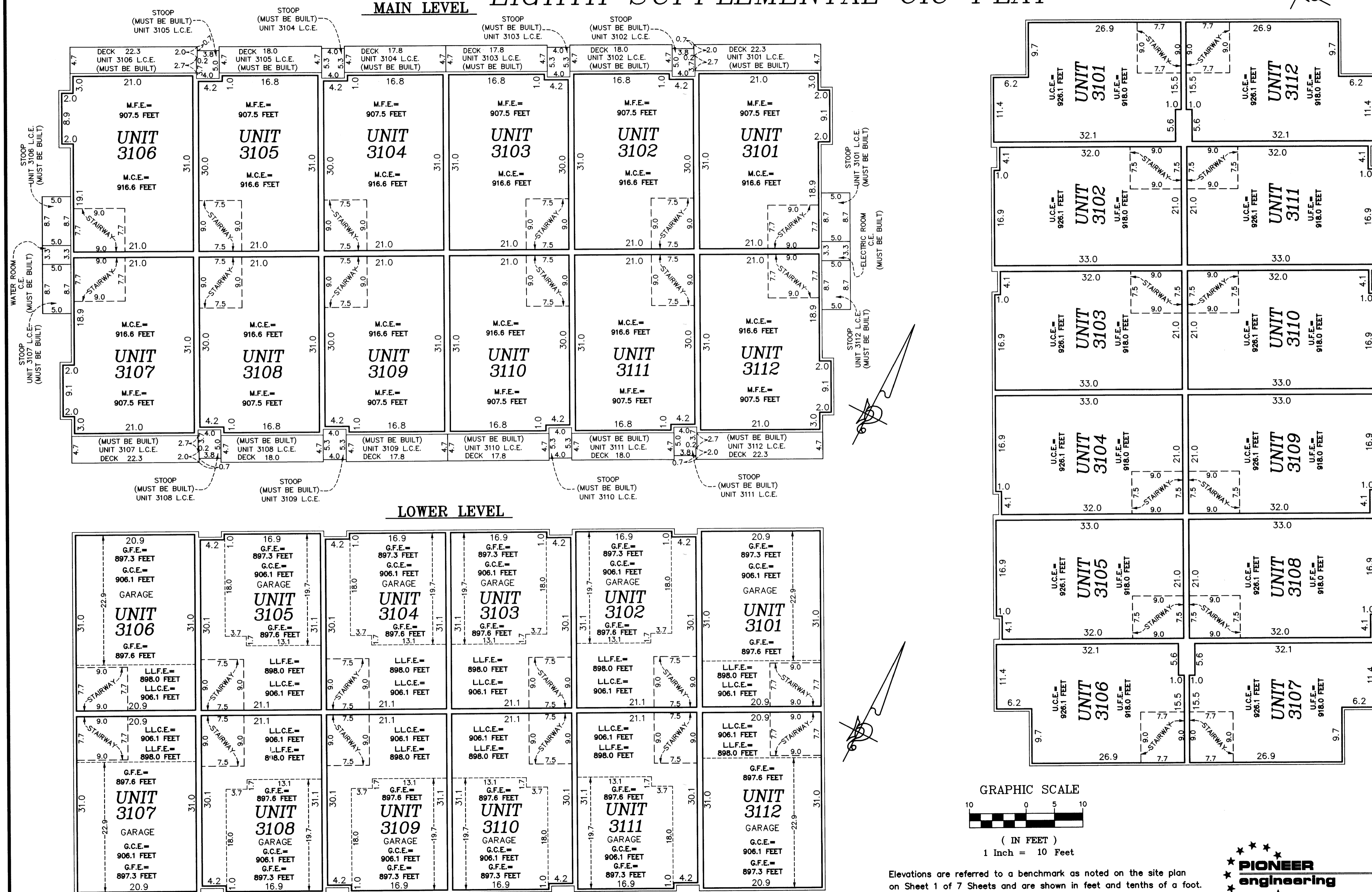
# CIC NUMBER 141 WATERFORD PLACE A CONDOMINIUM

## EIGHTH SUPPLEMENTAL CIC PLAT

UPPER LEVEL

C.R. DOC. NO. \_\_\_\_\_

CITY OF BLAINE  
COUNTY OF ANOKA  
SEC. 17, TWP. 31, RGE. 23



Limited Common Element = L.C.E.  
Common Element = C.E.  
Garage Floor Elevation = G.F.E.  
Garage Ceiling Elevation = G.C.E.  
Main Floor Elevation = M.F.E.  
Main Ceiling Elevation = M.C.E.  
Lower Level Floor Elevation = L.L.F.E.  
Lower Level Ceiling Elevation = L.L.C.E.  
Upper Level Floor Elevation = U.F.E.  
Upper Level Ceiling Elevation = U.C.E.

Elevations are referred to a benchmark as noted on the site plan on Sheet 1 of 7 Sheets and are shown in feet and tenths of a foot.  
Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.



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