

I, Terrence E. Rothenbacher, hereby certify that the work was undertaken by or reviewed and approved by me for this NINTH SUPPLEMENTAL CIC Plat of CIC Number 141, WATERFORD PLACE, A CONDOMINIUM, being located upon

Lot 2, Block 1, CLUB WEST TENTH ADDITION, Anoka County, Minnesota,

OFFICIAL PLAT

CIC NUMBER 141 WATERFORD PLACE A CONDOMINIUM NINTH SUPPLEMENTAL CIC PLAT

RECORDED
12-22-2004
SHE
COUNTY OF ANOKA
PROPERTY RECORDS ADMINISTRATION

BK 7 of CIC pg 39

This NINTH SUPPLEMENTAL CIC PLAT is part of the NINTH Declaration filed as Document No. 481078.002 on this 22 day of December, 2004.

ANOKA COUNTY RECORDER
CITY OF BLAINE
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23

and the additional real estate is located upon the following described property designated as:

Lot 14, Block 1; Lots 16 through 21, inclusive, Block 1; CLUB WEST NINTH ADDITION, Anoka County, Minnesota, and Lot 1, Lots 3 through 6, inclusive, and Lots 8 through 11, Block 1, CLUB WEST TENTH ADDITION, Anoka County, Minnesota,

and that this CIC Plat fully and accurately depicts all information required by Minnesota Statutes, Section 515B.2-110.

Dated this 9th day of November, 2004.

Terrence E. Rothenbacher
Terrence E. Rothenbacher, Land Surveyor
Minnesota License No. 20595

481078.002-Terrans
Office of REGISTER OF TITLES
3:48 12/02/04
GKE

STATE OF MINNESOTA
COUNTY OF ANOKA

The foregoing certificate was acknowledged before me this 9th day of November, 2004, by Terrence E. Rothenbacher, a Licensed Professional Land Surveyor.

CHRISTOPHER E SHARP
NOTARY PUBLIC
MY COMM. EXP. 01/31/2005

Christopher E. Sharp
Notary Public, Anoka County, Minnesota
My Commission Expires Jan. 31, 2005

I, *Brian F. Kallio* pursuant to Minnesota Statutes, Section 515B.2-101(c), do hereby certify that all the units and all structural components and mechanical systems of all buildings containing or comprising any units hereby created, are substantially completed.

Dated this 9th day of November, 2004.

STATE OF MINNESOTA
COUNTY OF ANOKA

The foregoing certificate was acknowledged before me this 9th day of November, 2004, by *Brian F. Kallio*, a Registered Professional Engineer.

CHRISTOPHER E SHARP
NOTARY PUBLIC
MY COMM. EXP. 01/31/2005

Christopher E. Sharp
Notary Public, Anoka County, Minnesota
My Commission Expires Jan. 31, 2005

Checked and approved this 17th day of NOVEMBER, 2004.

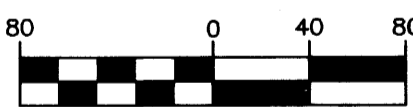
Harry D. Whelan
Anoka County Surveyor

DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)



being 10 feet in width and adjoining right-of-way lines unless otherwise shown on this plat.

GRAPHIC SCALE



(IN FEET)
1 inch = 80 feet

CLUB WEST
FOURTH
ADDITION

- △ Denotes Restricted Right of Access as dedicated in the plat of CLUB WEST
- Denotes 1/2 inch by 14 inch iron monument set and marked with license number 20595
- Denotes found monument

BENCH MARK

Top nut hydrant ± 400' (FT.) West of Intersection of 113th Avenue NE. & Arnold Palmer Drive on North side of Street.
Elevation= 905.59 (NGVD 1929)

For the purposes of this plat, the south line of Lot 1, Block 1, CLUB WEST TENTH ADDITION is assumed to have a bearing of North 89°49'20" East.



LAND SURVEYORS • CIVIL ENGINEERS
LAND PLANNERS • LANDSCAPE ARCHITECTS

STATE TRUNK HIGHWAY NO. 65
(MINNESOTA DEPARTMENT OF TRANSPORTATION MONUMENTATION PLAT 02-M17)

\$357.00

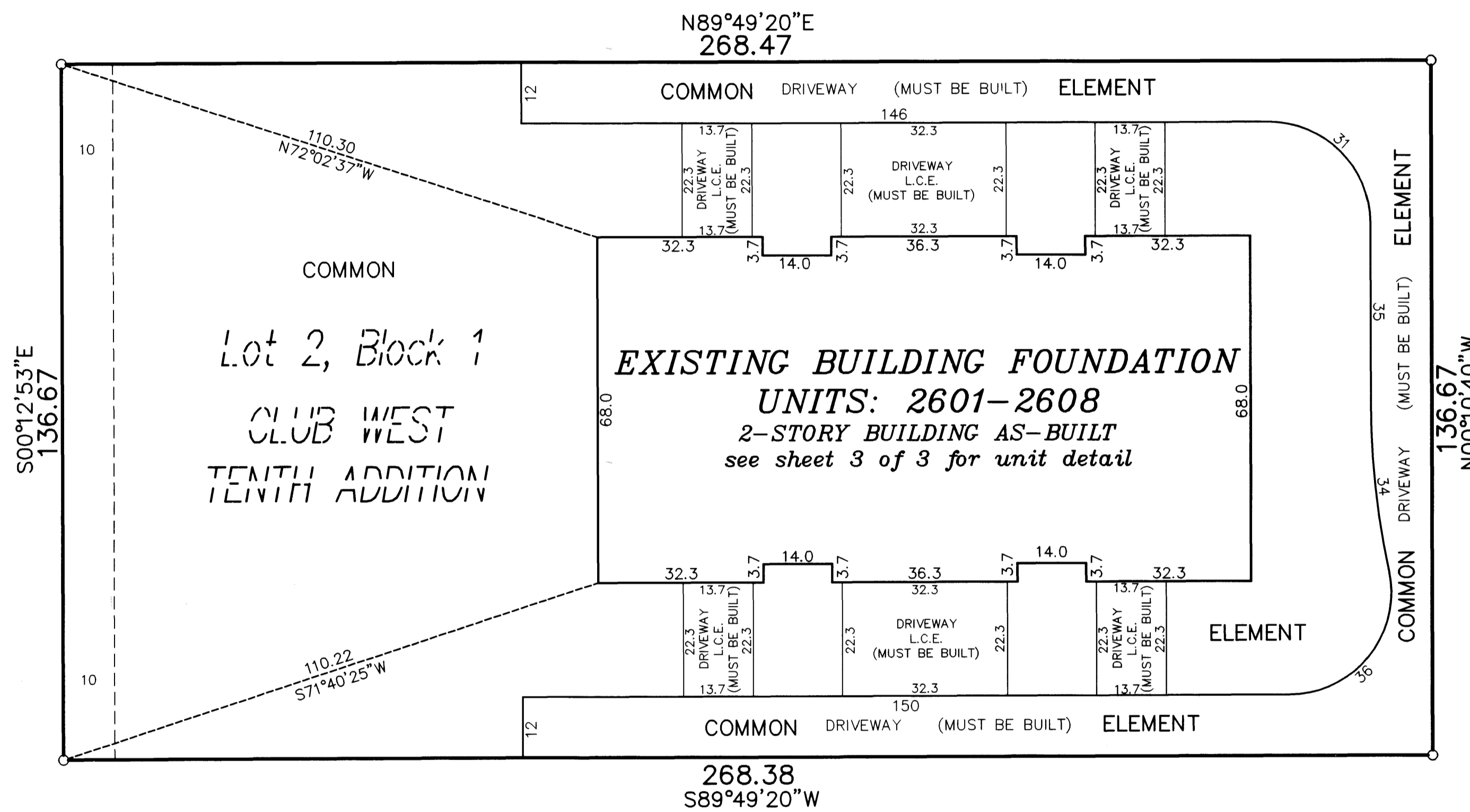
SITE PLAN **OFFICIAL PLAT**
(AS-BUILT)

BK 7 of CIC P339

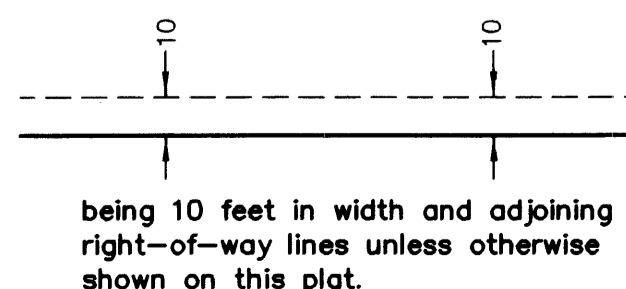
CIC NUMBER 141 WATERFORD PLACE A CONDOMINIUM NINTH SUPPLEMENTAL CIC PLAT

C.R. DOC. NO. _____

CITY OF BLAINE
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23

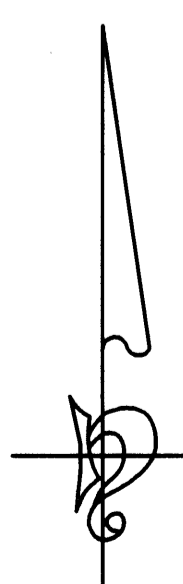


DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)

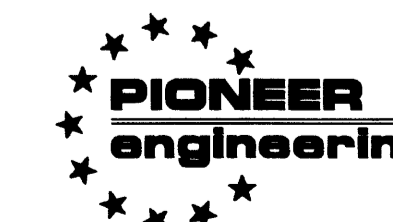
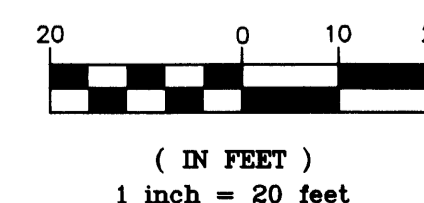


○ Denotes 1/2 inch by 14 inch iron monument
set and marked with license number 20595

For the purposes of this plat, the south
line of Lot 1, Block 1, CLUB WEST TENTH
ADDITION is assumed to have a bearing
of North 89°49'20" East.



GRAPHIC SCALE



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UNIT DETAIL
(AS-BUILT)

OFFICIAL PLAT

CIC NUMBER 141

WATERFORD PLACE

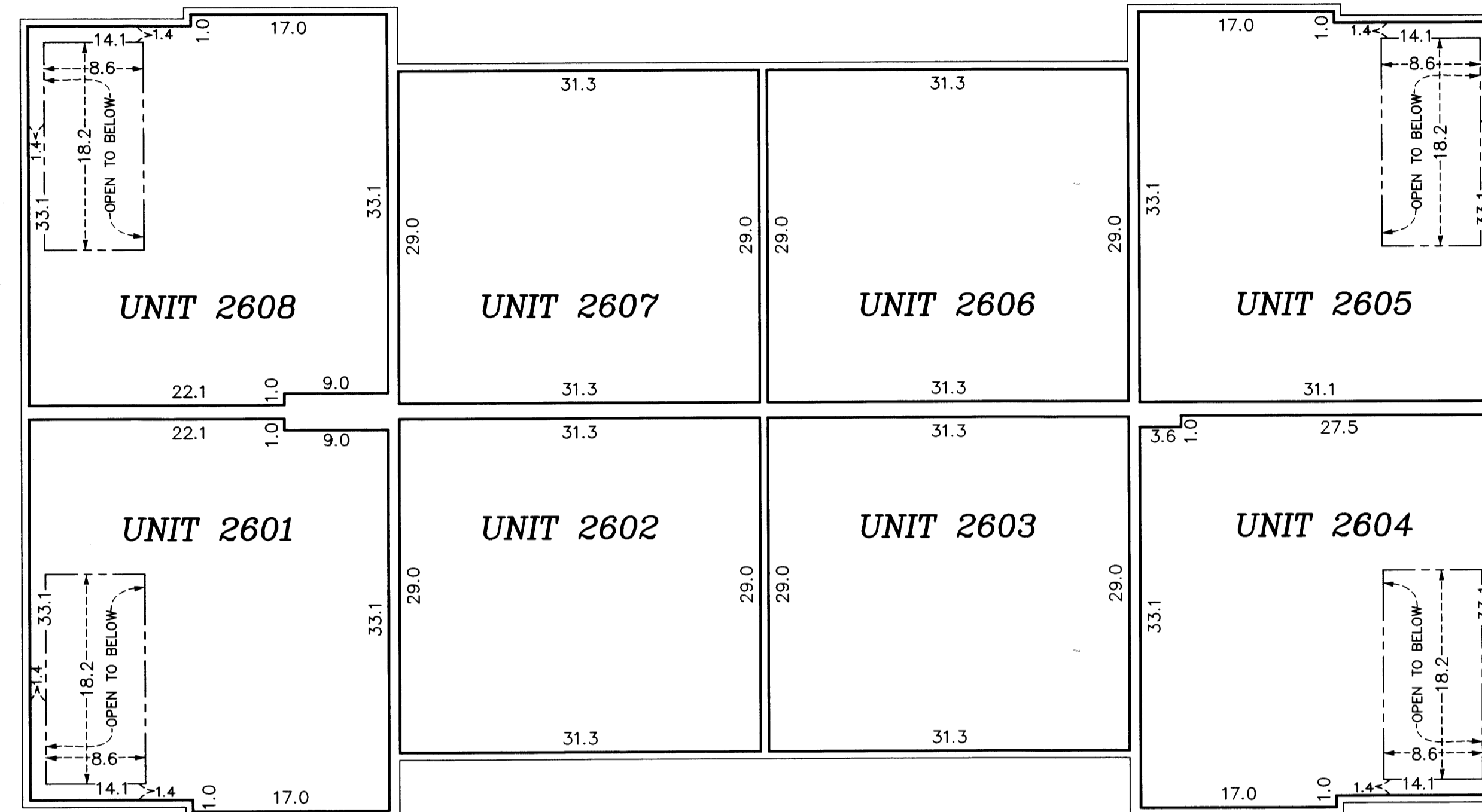
A CONDOMINIUM

NINTH SUPPLEMENTAL CIC PLAT

SECOND LEVEL

CR DOC. NO. _____

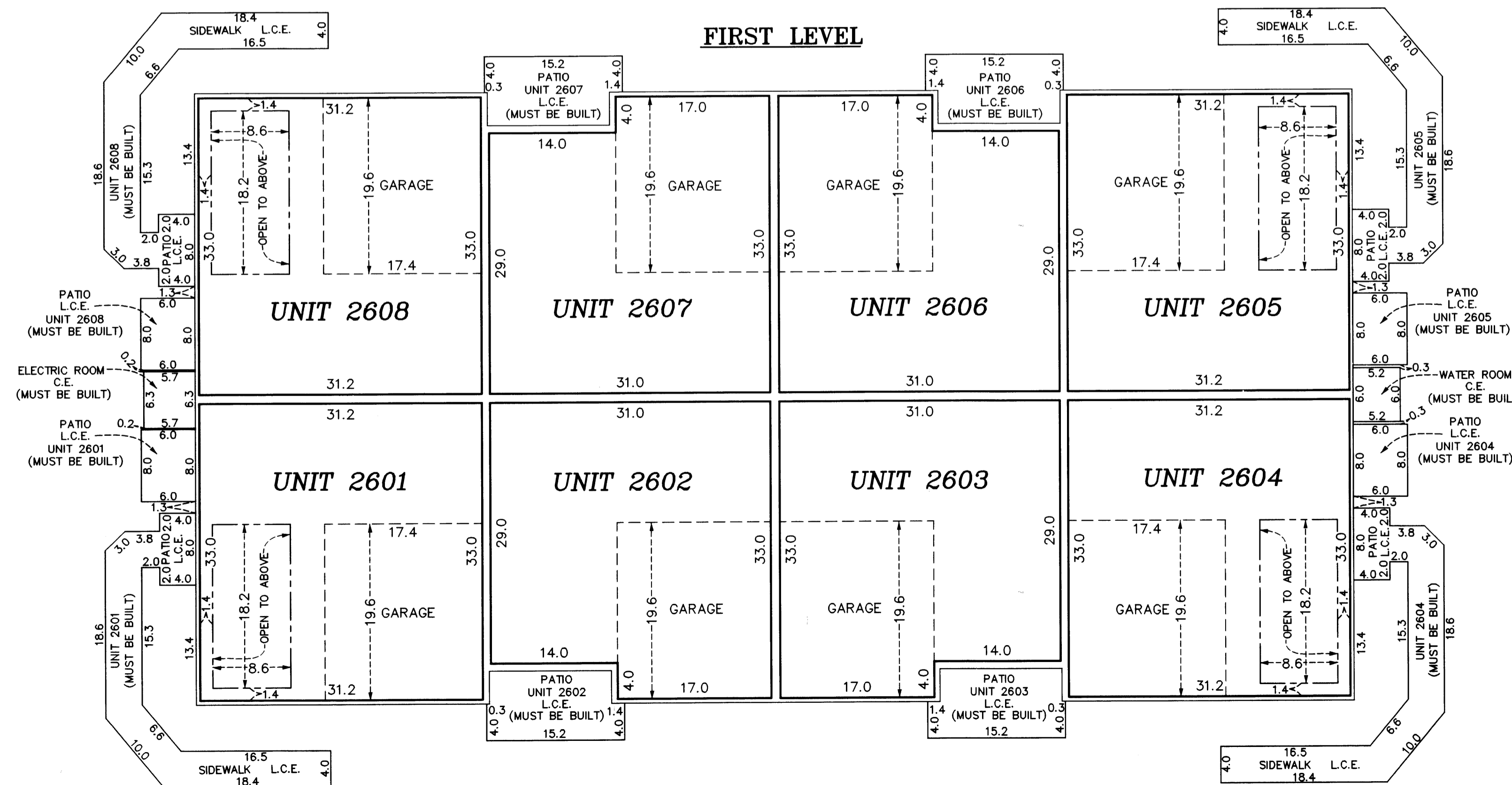
CITY OF BLAINE
COUNTY OF ANOKA
SEC. 17, TWP. 31, RGE. 23



First Level Elevations

All units garage floor elevation at door = 900.0 feet
 All units garage floor elevation in back of garage = 900.2 feet
 All units garage ceiling elevations = 909.7 feet
 All Units first level floor elevations = 909.6 feet
 Units 2601, 2604, 2605, and 2608 first level ceiling elevation varies from 909.7 feet to 919.2 feet
 Units 2602, 2603, 2606, and 2607 first level ceiling elevations = 909.7 feet

FIRST LEVEL



Second Level Elevations

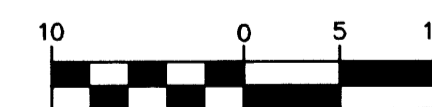
All units second level floor elevation = 911.1 feet
 All units second level ceiling elevations = 919.2 feet

Elevations are referred to a benchmark as noted on the site plan on Sheet 1 of 3 Sheets and are shown in feet and tenths of a foot.

L.C.E. = Limited Common Element
 C.E. = Common Element

Interior dimensions shown are measured to the unfinished surface of the walls, floors and ceiling.

GRAPHIC SCALE



(IN FEET)
 1 inch = 10 feet



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